



**CITY OF MEMPHIS**

**REQUEST FOR QUOTATION**

**#136752.2**

**Mt. Moriah Station Police Precinct New Construction &  
Demolition**

**Addendum #4**

The Following information encompasses Addendum No. 4 for the above reference RFQ. Proposers shall fully consider and acknowledge this Addendum in the preparation and submittal of its formal proposal. Failure to do so may result in the proposal being considered unresponsive.

**Section 1- Revision to RFQ**

This addendum hereby extends the close date to June 14, 2023 and amends the original Project Manual and Specifications and drawings dated December 1, 2022 as prepared by Renaissance Group for work on the project below.

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**ADDENDUM NO. FOUR  
MEMPHIS POLICE DEPARTMENT  
MT MORIAH STATION  
2602 Mt. Moriah Road  
Memphis, Tennessee 38115**

**RENAISSANCE GROUP**  
9700 Village Circle, Suite 100  
Lakeland, TN 38002

RGI Project No. 19005

June 3, 2023



TO ALL PRIME CONTRACT BIDDERS OF RECORD:

The original Project Manual and Drawings, dated December 1, 2022, prepared by Renaissance Group for work on the project, are hereby amended as noted in this Addendum No. Four.

Receipt of this Addendum shall be acknowledged by inserting its number and date in the space provided on the Bid Form.

**GENERAL**

- Item #1:** The Revised Bid date is:  
Sealed bids will be received at the Office of the City of Memphis Purchasing Agent, Room 354, City Hall, 125 N. Main, Memphis, TN 38103, until 12:00 pm, Wednesday, **June 14, 2023**.
- Item #2:** City of Memphis Equal Business Opportunity Program  
Project Goal: **44% MBE**  
**6% WBE**

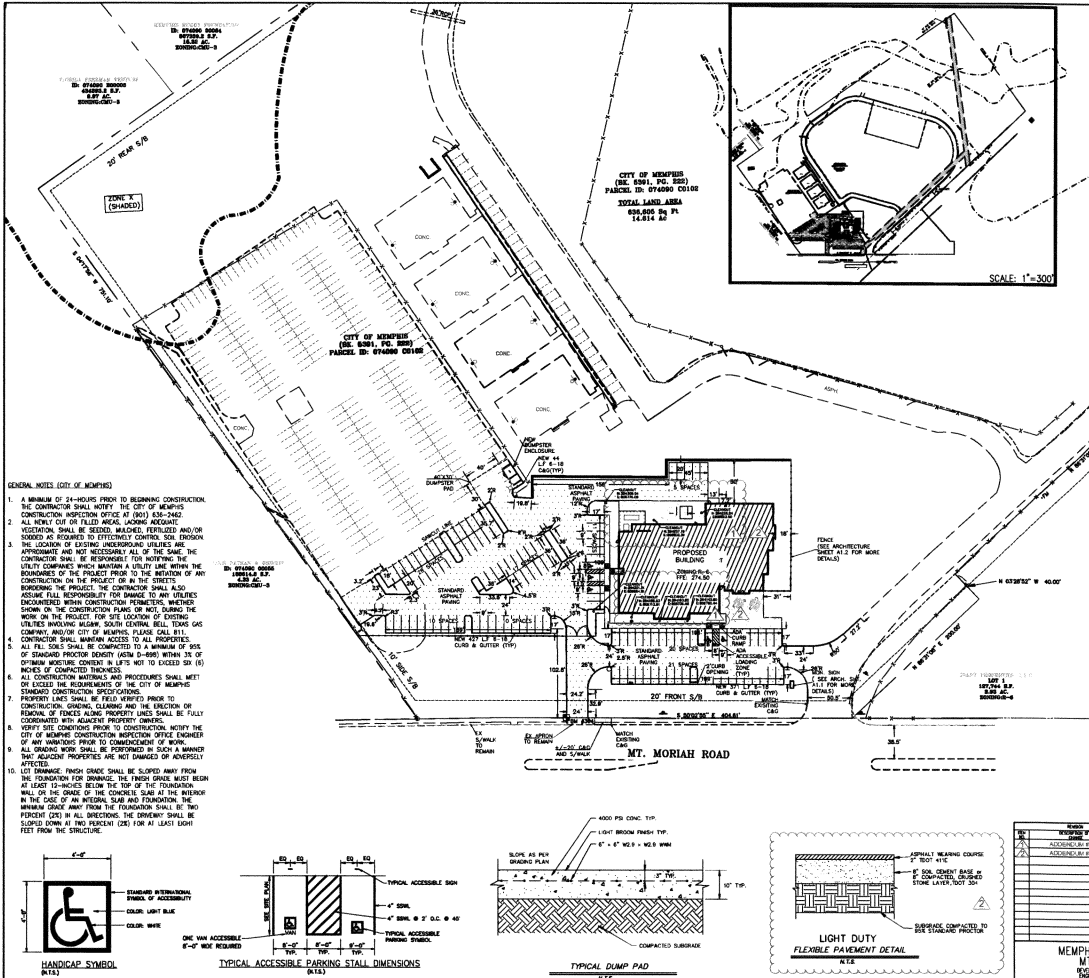
**DRAWINGS**

- Item #6:** **Sheet C1.1 – Site Plan PH 1A:** Replace existing Sheet C1.1 – Site Plan PH 1A dated 03/2023 with revised sheet C1.1 – Site Plan PH 1A dated 6/1/2023.
- Item #6:** **Sheet C2.0 – Grading and Drainage Plan PH 1:** Replace existing Sheet C2.0 – Grading and Drainage Plan PH 1 dated 03/2023 with revised sheet C2.0 Grading and Drainage Plan PH 1 dated 6/1/2023.
- Item #7:** **Sheet C2.1 – Grading and Drainage Plan PH 1A:** Replace existing Sheet C2.1 – Grading and Drainage Plan PH 1A dated 03/2023 with revised sheet C2.1 Grading and Drainage Plan PH 1A dated 6/1/2023.
- Item #8:** **Sheet C2.2 – Spot Grading Plan :** Replace existing Sheet C2.2 – Spot Grading dated 03/2023 with revised sheet C2.2 Spot Grading Plan dated 6/1//2023.

**ADDENDUM NO. FOUR  
MEMPHIS POLICE DEPARTMENT  
MT MORIAH STATION  
2602 Mt. Moriah Road  
Memphis, Tennessee 38115**

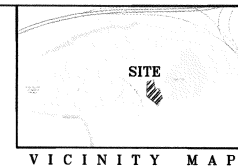
- Item #9:** Sheet C3.1 – EPSC Phase 2 : Replace existing Sheet C3.0 – EPSC Phase 2 dated 03/2023 with revised sheet C3.1 – EPSC Phase 2 dated 6/1/2023.
- Item #11:** Sheet C3.2 – EPSC Phase 3: Replace existing Sheet C3.2 – EPSC Phase 3 dated 03/2023 with revised sheet C3.2 – EPSC Phase 3 dated 6/1/2023.
- Item #10:** Sheet C4.0 – Utility Plan PH1: Replace existing Sheet C4.0 – Utility Plan PH1 dated 03/2023 with revised sheet C4.0 – Utility Plan PH1 dated 6/1/2023.
- Item #11:** Sheet C4.1 – Utility Plan PH 1A: Replace existing Sheet C4.1 Utility Plan PH 1A dated 03/2023 with revised sheet Utility Plan PH 1A dated 6/1/2023.

END OF ADDENDUM NO. FOUR



**GENERAL NOTES (NOTES TO BE MAINTAINED)**

1. A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTOR (CITY) (NOT) 650-3442. ALL NEWLY CUT OR FILLED AREAS, LANDING AREAS, VEGETATION SHALL BE REVEGETATED. REVEGETATION SHALL BE REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION OF EXISTING UTILITIES INVOLVED INCLUDING: WATER, GAS, FIBER OPTIC, AND/OR CITY OF MEMPHIS. PLEASE CALL 811. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES. ALL UTILITIES SHALL BE PROTECTED TO A MINIMUM OF 3 FEET OF STANDARD PROTECTION (FROM CENTER) WITHIN 30' OF EXISTING UTILITY CENTER. ALL UTILITIES SHALL BE PROTECTED TO EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
2. PROPERTY LINES SHALL BE FIELD STRIPPED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OF PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
3. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTOR (CITY) (NOT) 650-3442 OF ANY UNUSUAL PRIOR TO COMMENCEMENT OF WORK.
4. ALL CONSTRUCTION MATERIALS AND PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
5. ALL CONSTRUCTION MATERIALS AND PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
6. PROPERTY LINES SHALL BE FIELD STRIPPED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OF PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
7. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTOR (CITY) (NOT) 650-3442 OF ANY UNUSUAL PRIOR TO COMMENCEMENT OF WORK.
8. ALL CONSTRUCTION MATERIALS AND PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
9. ALL CONSTRUCTION MATERIALS AND PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
10. ALL CONSTRUCTION MATERIALS AND PRODUCTS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.



**SITE DATA**  
MEMPHIS POLICE DEPARTMENT  
MT. MORIAH STATION

LOT AREA	TOTAL = 160314.85 (33.51 AC)
GROSS BLDG. AREA	13068.5 (30.30 AC)
ZONING AC.	CONSTRUCTION TYPE: ...
PERIOD REQUIRED	MIN 24/1/24 MAX 24/1/24
STANDARD SPACES	122
ADA SPACES	5
STORAGE SPACES	300
TOTAL	427
BLDG. FOOTPRINT	30' FT
FR. BLDG. HEIGHT	TO BE DETERMINED BY SPT
FRONT S/F	26.77
REAR S/F	10.77
RIGHT S/F	20.77
PROPOSED USE	INSTITUTIONAL
RUSH DEPOSIT DUMPSTER	

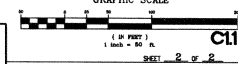
**LEGEND**

- ▨ PROPOSED BUILDING
- NEW ASPHALT SURFACE
- GENERATOR
- TRANSFORMER
- PROPERTY LINE/RIGHT-OF-WAY LINE
- ACCESS EASEMENT (112.87' S.37)

**FEDERAL NOTE:** ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS DETERMINED BY COMBINED PANEL NUMBER AT 17410.00N 81E: 26430.

**CITY BENCH MARK:** BENCH MARK 5341, CITY MONUMENT 5, LOCATED ON THE N. SIDE OF MT. MORIAH, BEHIND 5/406, LOT W. OF NW COR. OF 5/406, APPROX. AT 26022 MT. MORIAH, E. PRESENT MEMPHIS POLICE DEPT. 27542.

**SITE BENCHMARK:** 2" X 4" BENCH MARK 1111, LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT. ELEVATION = 272.40 (NAVD83).



**REVISIONS**

NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR PERMIT	08/23/20	JL
2	ISSUED FOR PERMIT	08/23/20	JL
3	ISSUED FOR PERMIT	08/23/20	JL
4	ISSUED FOR PERMIT	08/23/20	JL
5	ISSUED FOR PERMIT	08/23/20	JL
6	ISSUED FOR PERMIT	08/23/20	JL
7	ISSUED FOR PERMIT	08/23/20	JL
8	ISSUED FOR PERMIT	08/23/20	JL
9	ISSUED FOR PERMIT	08/23/20	JL
10	ISSUED FOR PERMIT	08/23/20	JL

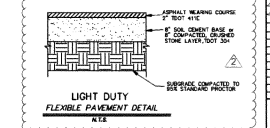
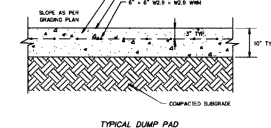
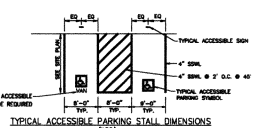
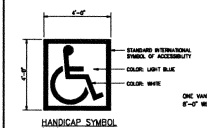
MEMPHIS POLICE DEPARTMENT  
MT. MORIAH STATION

DEPARTMENT OF ENGINEERING  
**SITE PLAN PH 1A**

LOCATION: 2602 Mt. Moriah Road, Memphis, TN, 38115

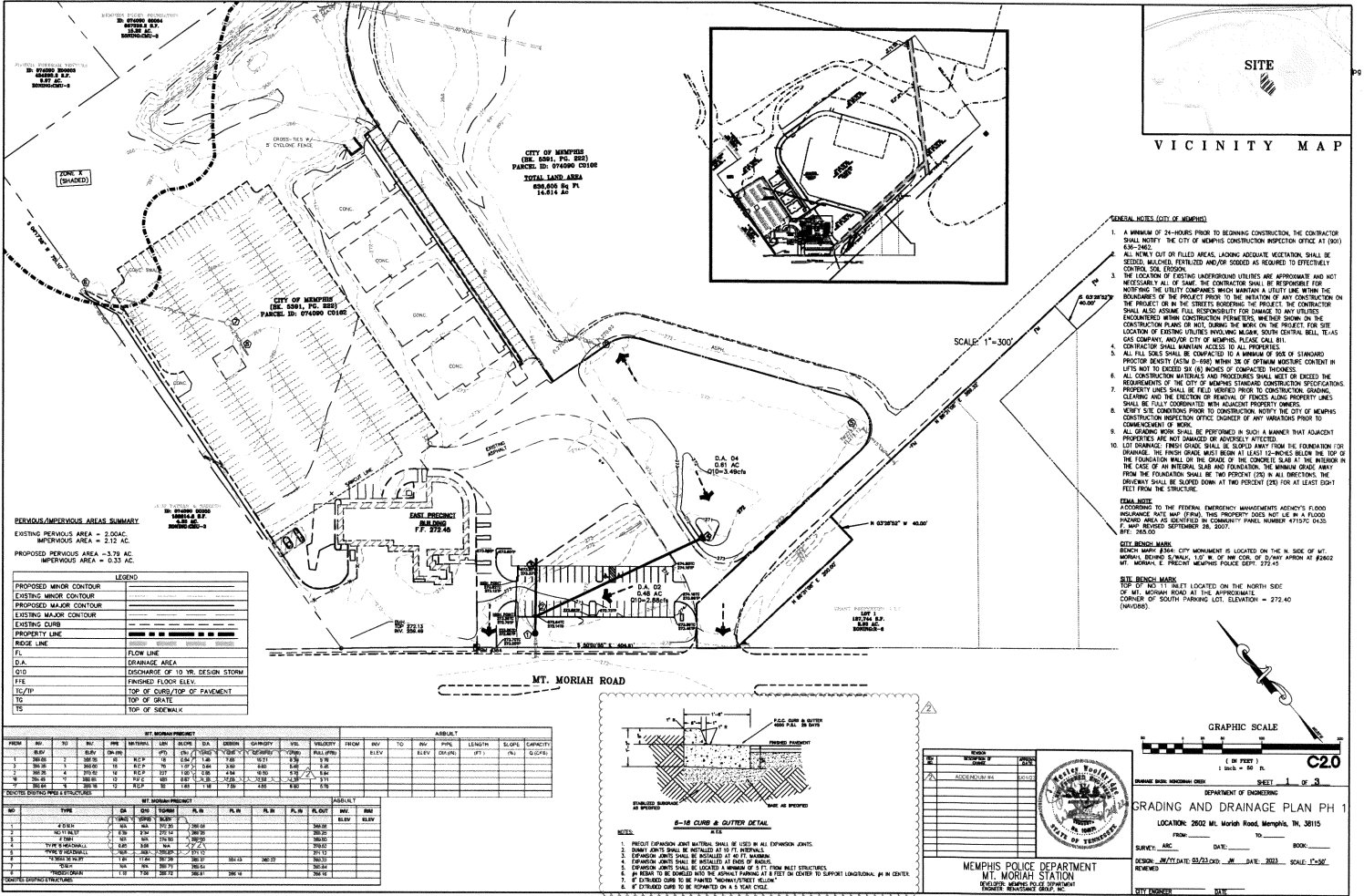
DATE: 08/23/20

SCALE: 1"=30'



RFI JOB NO. 18008

DATE: 08/23/20



PERVIOUS/IMPERVIOUS AREAS SUMMARY  
 EXISTING PERVIOUS AREA = 2.02 AC  
 IMPERVIOUS AREA = 2.12 AC  
 PROPOSED PERVIOUS AREA = 3.79 AC  
 IMPERVIOUS AREA = 0.33 AC

LEGEND	
PROPOSED MINOR CONTOUR	---
EXISTING MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING CURB	---
PROPERTY LINE	---
ROCK LINE	---
FL	FLOW LINE
D.A.	DRAINAGE AREA
C/D	DISCHARGE OF 10 YR DESIGN STORM
F/E	FINISHED FLOOR ELEV.
L/C/P	TOP OF CURB/TOP OF PAVEMENT
T/S	TOP OF SIDEWALK

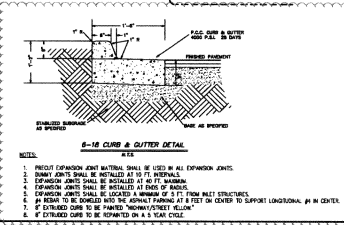
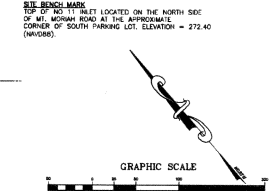
BY MANHOUSING														
FROM	NO.	TO	NO.	APP.	INVERT	LEN.	SLOPE	DA	DESIGN	CAPACITY	VEL.	FROM	REV.	ASBEST.
NO.	NO.	NO.	NO.	NO.	FT.	FT.	PERCENT	AC	INVERT	CUYD	FT/SEC	NO.	NO.	NO.
1	1	2	1	1	1.00	100	0.00	0.00	0.00	0.00	0.00	1	1	1
2	2	3	1	1	1.00	100	0.00	0.00	0.00	0.00	0.00	2	2	2
3	3	4	1	1	1.00	100	0.00	0.00	0.00	0.00	0.00	3	3	3
4	4	5	1	1	1.00	100	0.00	0.00	0.00	0.00	0.00	4	4	4
5	5	6	1	1	1.00	100	0.00	0.00	0.00	0.00	0.00	5	5	5

BY MANHOUSING														
NO.	TYPE	DA	TYPE	PL. IN	PL. IN	PL. IN	PL. IN	PL. OUT	REV.	REV.				
NO.	NO.	AC	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.				
1	2	0.00	1	1.00	1.00	1.00	1.00	1.00	1	1				
2	3	0.00	1	1.00	1.00	1.00	1.00	1.00	2	2				
3	4	0.00	1	1.00	1.00	1.00	1.00	1.00	3	3				
4	5	0.00	1	1.00	1.00	1.00	1.00	1.00	4	4				
5	6	0.00	1	1.00	1.00	1.00	1.00	1.00	5	5				

RGJ JOB NO. 18025

- GENERAL NOTES (CITY OF MEMPHIS)
- A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 526-2400.
  - ALL NEWLY CUT OR FILLED AREAS, UNLESS OTHERWISE SPECIFIED, SHALL BE SEEDING, MULCHED, FERTILIZED AND/OR SOILED AS REQUIRED TO ESTABLISH CONTROL SOIL EROSION.
  - RECORDS OF ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT GUARANTEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS SURROUNDING THE PROJECT. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITH CONSTRUCTION OPERATIONS. WORKER SHALL SHOW ON THE CONSTRUCTION PLANS THE LOCATION OF ALL UTILITIES FOR THE PROJECT. FOR THE LOCATION OF EXISTING UTILITIES INVOLVING ALIENS, SOUTH CENTRAL BELL, TEXAS GAS COMPANY, HUNTER CITY OF MEMPHIS, PLEASE CALL 811.
  - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  - ALL TALL SIGNS SHALL BE CONFINED TO A MINIMUM OF 6 FEET OF SIGNAGE. PROTECT SIGNAGE (AS PER D-650) WITHIN 30 FEET OF UTILITY STRUCTURE CONTENT IN UTILITY NOT TO EXCEED 24 INCHES OF EXPOSED SIGNAGE.
  - ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
  - PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
  - NOTIFY CITY CONSTRUCTION PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE IMMEDIATELY OF ANY VIOLATIONS PRIOR TO COMMENCEMENT OF WORK.
  - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR UNNECESSARILY AFFECTED.
  - LOT DRAINAGE: FINISH GRADE SHALL BE SETBACK AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BE AT LEAST 12-INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTERIOR SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRAINAGE SHALL BE SURGED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.

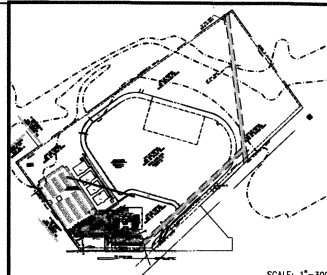
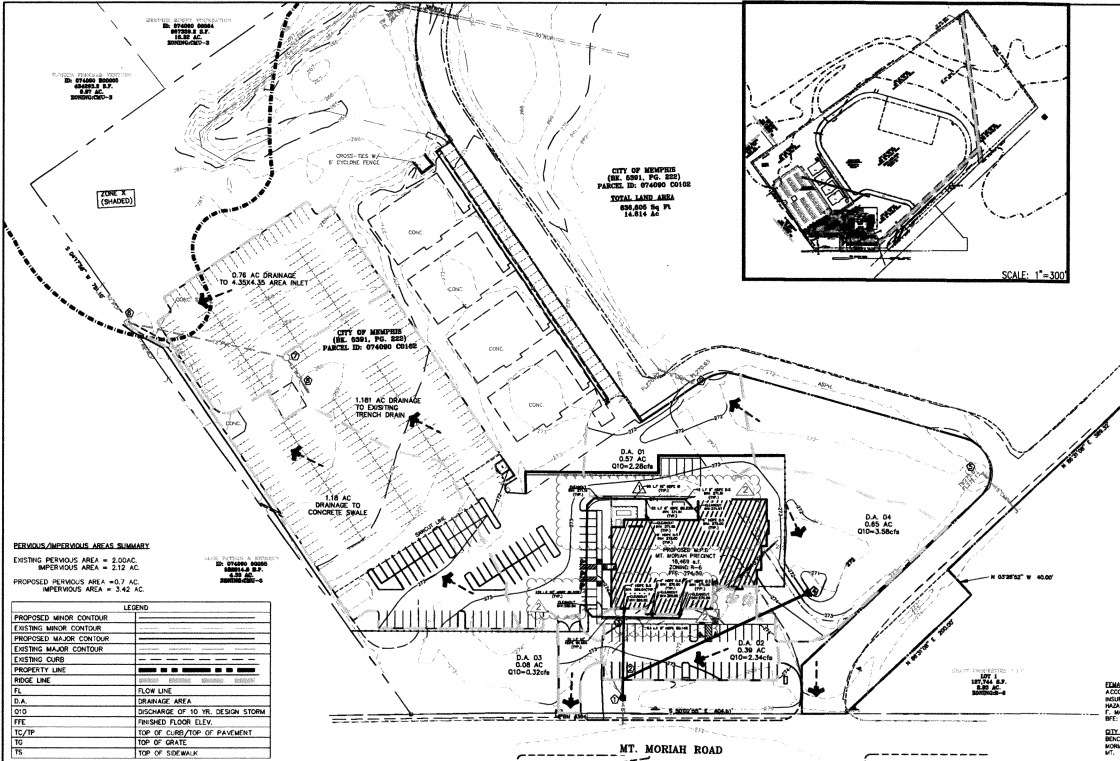
DETAILED NOTES  
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD HAZARD RISK MAP FRAME, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS IDENTIFIED IN COMMUNITY PANEL NUMBER 47137C 0030 E, WHICH PROCESSED SEPTEMBER 26, 2007.  
 CITY BENCHMARK  
 BENCH MARK 2584: CITY MONUMENT IS LOCATED ON THE N. SIDE OF MT. MORIAH ROAD, 120' W. OF THE CORNER OF STANLEY AVENUE #2862 MT. MORIAH. E. PRESENT MEMPHIS POLICE DEPT. 272.40  
 BENCH MARK  
 TOP OF 40" X 16" BULLET LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT. ELEVATION = 272.40 (NVD+88)



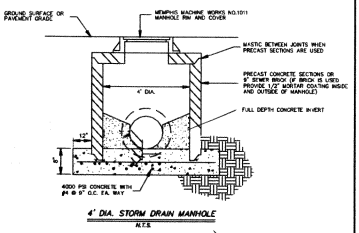
DATE	NOV 14 2012
BY	ASST. CIVIL ENGR.
REVISIONS	

MEMPHIS POLICE DEPARTMENT  
 MT. MORIAH STATION  
 2602 MT. MORIAH ROAD, MEMPHIS, TN, 38115

DATE: 11/14/12  
 SCALE: 1"=30'



- GENERAL NOTES (CITY OF MEMPHIS)**
- A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 526-7465.
  - ALL NEWLY CUT OR FILLED AREAS, LACKING ADEQUATE VEGETATION, SHALL BE SEEDED, MULCHED, FERTILIZED AND TOP SOILED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE UTILITY COMPANIES WHICH MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREETS ADJACENT TO THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION FOOTINGS. THIS IS TO BE SHOWN ON THE CONSTRUCTION PLANS OR NOT DURING THE WORK ON THE PROJECT FOR THE LOCATION OF EXISTING UTILITIES INVOLVING MEGALOX, SOUTH CENTRAL BELL, TEXAS GAS COMPANY, AND/OR CITY OF MEMPHIS PLEASE CALL.
  - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  - ALL FILL SOILS SHALL BE CONTRACTED TO A MINIMUM OF 8% STANDARD PROCTOR DENSITY (ASTM D-1557) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LOTS NOT TO EXCEED 300 (6) INCHES OF COMPACTED MATERIAL.
  - ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
  - PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE ERECTION OR REMOVAL OF FENCES ALONG PROPERTY LINES SHALL BE FULLY COORDINATED WITH ADJACENT PROPERTY OWNERS.
  - VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VIOLATIONS PRIOR TO COMMENCEMENT OF WORK.
  - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR UNDESIRABLY AFFECTED.
  - LOT DRAINAGE FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BEGIN AT LEAST 12-INCHES BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR. IN THE CASE OF AN INTERNAL SLAB AND FOUNDATION, THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRAINWAY SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.



**FINAL NOTE**  
 ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS IDENTIFIED BY COUNTY PANEL NUMBER 4740C D049. FIRM REVISION 26/06/2005.

**CITY BENCHMARK**  
 BENCH MARK 6843 CITY MONUMENT IS LOCATED ON THE N. SIDE OF MT. MORIAH, BEHIND 6.8X14.1' X 6' W. OF AN COR. OF 6" RADIUS APRON AT #2602 MT. MORIAH, E. FRONT MEMPHIS POLICE DEPT. 272.40 (CONV.)

**SITE BENCHMARK**  
 TOP OF 10' TALL CONCRETE MONUMENT IS LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT. ELEVATION = 272.40 (CONV.)

**PREVIOUS/ADJACENT AREAS SUMMARY**

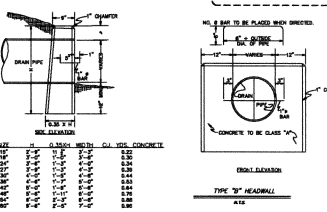
EXISTING PERVIOUS AREA = 2.02 AC  
 IMPERVIOUS AREA = 2.12 AC  
 PROPOSED PERVIOUS AREA = 4.17 AC  
 IMPERVIOUS AREA = 3.42 AC

**LEGEND**

PROPOSED MINOR CONTOUR	---
EXISTING MINOR CONTOUR	---
PROPOSED MAJOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING CURB	---
PROPERTY LINE	---
PRIDE LINE	---
FL	FLOW LINE
D.A.	DRAINAGE AREA
DID	DISCHARGE OF 10 IN. DESIGN STORM
PFE	FINISHED FLOOR ELEV.
TG/P	TOP OF CURB/TOP OF PAVEMENT
TD	TOP OF GRATE
TS	TOP OF SIDEWALK

FROM	TO	PIPE	DIAMETER	LENGTH	START	END	VELOCITY	FROM	TO	ABSOLUTE	LENGTH	SLOPE	CAPACITY
STATION	STATION				ELEV.	ELEV.	(FPS)	ELEV.	ELEV.	ELEV.	(FT)	(%)	(GPM)
1	36+00	12	18"	76	112.7	112.7	2.58	36+00	36+76	112.7	76	0.00	110
2	36+76	12	18"	76	112.7	112.7	2.58	36+76	37+52	112.7	76	0.00	110
3	37+52	12	18"	76	112.7	112.7	2.58	37+52	38+28	112.7	76	0.00	110
4	38+28	12	18"	76	112.7	112.7	2.58	38+28	39+04	112.7	76	0.00	110
5	39+04	12	18"	76	112.7	112.7	2.58	39+04	39+80	112.7	76	0.00	110

NO.	TYPE	SA	OR	TOUR	PL. N.	PL. S.	PL. W.	PL. E.	NO.	NO.
1	CONCRETE	12	18"	76	112.7	112.7	112.7	112.7	36+00	36+76
2	CONCRETE	12	18"	76	112.7	112.7	112.7	112.7	36+76	37+52
3	CONCRETE	12	18"	76	112.7	112.7	112.7	112.7	37+52	38+28
4	CONCRETE	12	18"	76	112.7	112.7	112.7	112.7	38+28	39+04
5	CONCRETE	12	18"	76	112.7	112.7	112.7	112.7	39+04	39+80

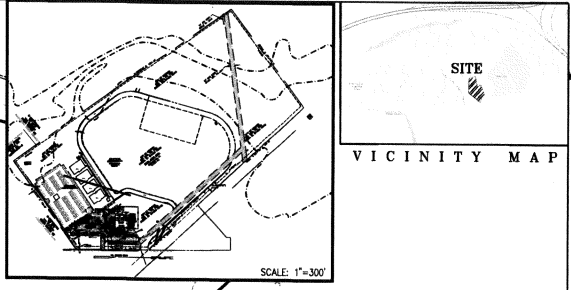
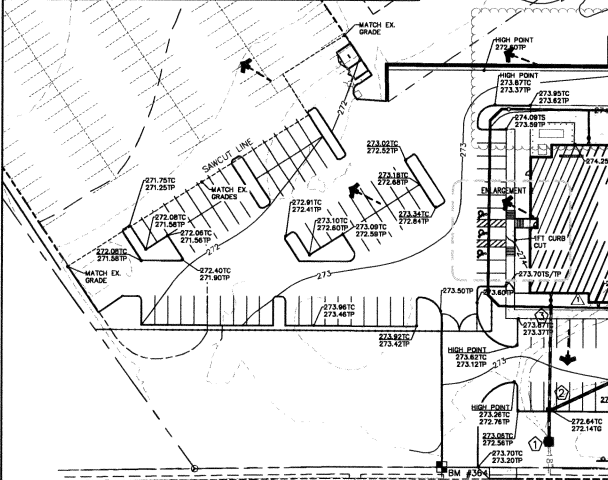


**MEMPHIS POLICE DEPARTMENT**  
 MT. MORIAH STATION

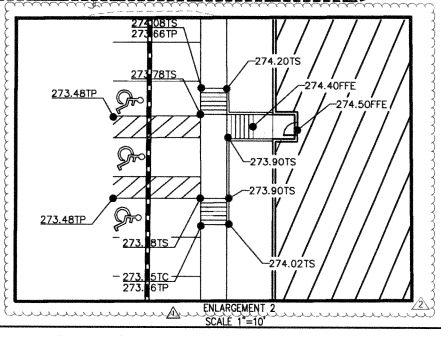
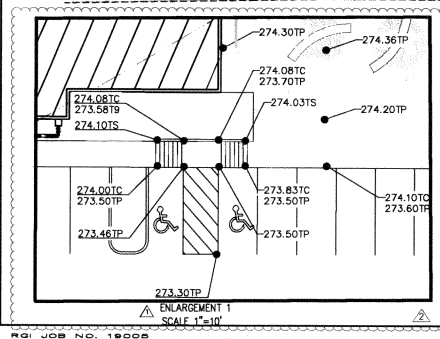
DATE: 07/21/04  
 SCALE: 1"=30'

DESIGNER: [Signature]  
 CHECKER: [Signature]

BY ORGANIZATION													
FROM	NO.	TO	NO.	REV.	DATE	BY	CHKD.	APP.	DATE	BY	CHKD.	APP.	DATE
1	100	1	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
2	100	2	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
3	100	3	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
4	100	4	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
5	100	5	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
6	100	6	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
7	100	7	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20
8	100	8	100	1	10/15/20	JM	JK	10/15/20	10/15/20	JM	JK	10/15/20	10/15/20



- GENERAL NOTES (CITY OF MEMPHIS)**
- A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 656-3462.
  - ALL NEWLY CUT OR FILLED AREAS LACKING ADEQUATE VEGETATION SHALL BE SEEDED, MULCHED, FERTILIZED AND/OR SOILED AS REQUIRED TO EFFECTIVE CONTROL SOIL EROSION.
  - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE VICINITY THEREOF. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES DISCOVERED WHILE CONSTRUCTION PROCEEDS. ADVISE THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE IMMEDIATELY UPON THE DISCOVERY OF EXISTING UTILITIES INVOLVING ALGAL, BROWN OR THE PROJECT. FOR THE LOCATION OF EXISTING UTILITIES INVOLVING ALGAL, BROWN OR THE PROJECT, CONTACT THE CITY OF MEMPHIS, PLEASE CALL SOUTH CENTRAL BELL, BELL SOUTH COMPANY AND/OR CITY OF MEMPHIS.
  - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
  - ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (ASTM D-1557) WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED 30 (30) INCHES OF COMPACTED THICKNESS.
  - ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS 2018 CONSTRUCTION SPECIFICATIONS.
  - PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING OPERATIONS AND ADJACENT PROPERTY OWNERS SHALL BE FULLY AND THE DIRECTOR OF MEMPHIS UTILITIES. PROPERTY LINES SHALL BE FULLY CONSTRUCTION INSPECTION OFFICE ENGINEER OF ANY VARIATIONS PRIOR TO COMMENCEMENT OF WORK.
  - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR INFRINGED UPON.
  - LOT DRAINAGE: FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FINISH GRADE MUST BE AT LEAST 12" HIGHER THAN THE TOP OF THE FOUNDATION WALL ON THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR IN THE CASE OF AN INTERNAL SLAB AND FOUNDATION. THE FINISH GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS THE DRIVEWAY SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.



**GRAPHIC SCALE**  
1" = 30'

**SPOT GRADING PLAN**  
LOCATION: 2602 Mt. Moriah Road, Memphis, TN, 38115  
DATE: 10/15/20  
SCALE: 1"=30'

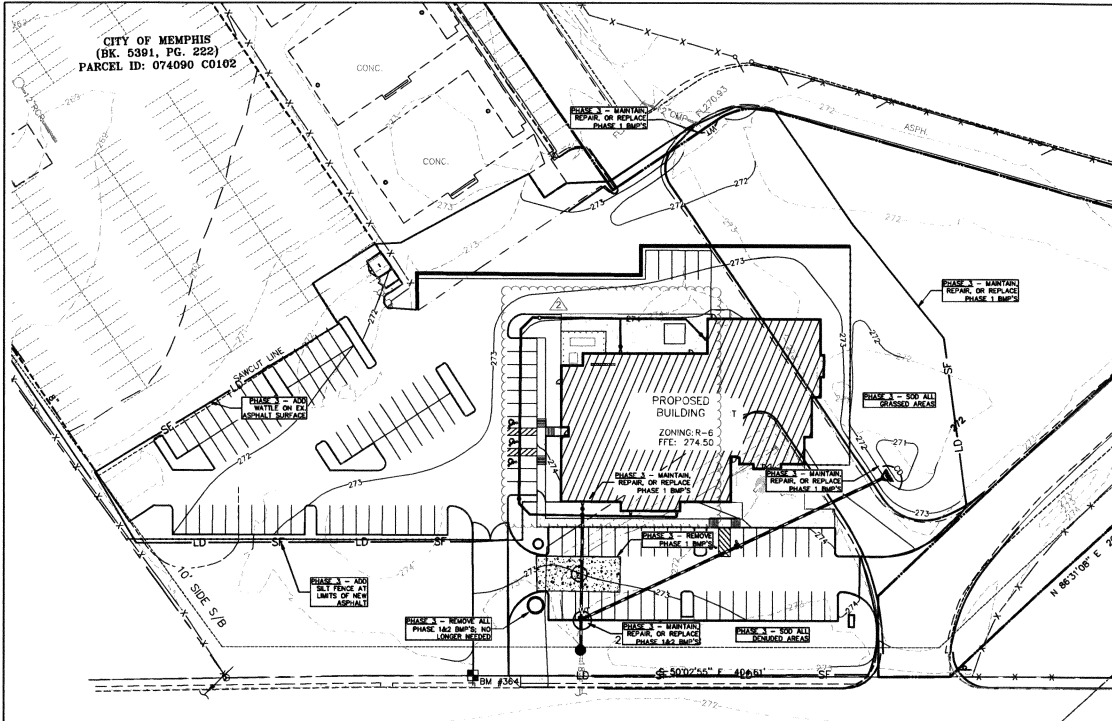
**MEMPHIS POLICE DEPARTMENT**  
MT. MORIAH STATION  
ENGINEER: JAMES R. BROWN, JR.  
CITY OF MEMPHIS

RGI JOB NO. 19008





CITY OF MEMPHIS  
(BK. 5381, PG. 222)  
PARCEL ID: 074090 C0102



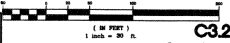
### VICINITY MAP

GENERAL NOTES (CITY OF MEMPHIS)

1. A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 258-2462.
2. ALL NEWLY LOTT OR FILLED AREAS, LACKING SUFFICIENT VEGETATION, SHALL BE SEEDDED, MULCHED, FERTILIZED AND/OR SOAKED AS REQUIRED TO EFFECTIVELY CONTROL SOIL EROSION.
3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROPRIATE AND NOT NECESSARY. ALL OF THE SAME, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE UTILITY COMPANIES WHO MAINTAIN A UTILITY LINE WITHIN THE BOUNDARIES OF THE PROJECT PRIOR TO THE INITIATION OF ANY CONSTRUCTION ON THE PROJECT OR IN THE STREET BORDERING THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES ENCOUNTERED WITHIN CONSTRUCTION LIMITS. WHETHER SHOWN ON THE CONSTRUCTION PLANS OR NOT, DURING THE COURSE OF THE PROJECT, FOR THE LOCATION OF EXISTING UTILITIES, CONTACT THE UTILITY COMPANIES AT THE FOLLOWING NUMBERS: UTILITY COMPANIES: MEMPHIS GAS COMPANY, AND/OR CITY OF MEMPHIS, PLEASE CALL 811.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
5. ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR DENSITY (OR 98% WITHIN 5% OF OPTIMUM MOISTURE CONTENT IN LOTS NOT TO EXCEED 50 (5) INCHES OF COMPACTED THICKNESS).
6. ALL CONCRETE WORK AND PROCEEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS.
7. PROTECTIVE LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION, CLEANING AND THE ERECTION OF FENCES ALONG PROPERTY LINES SHALL BE FIELD VERIFIED WITH ADEQUATE PROTECTIVE MEASURES.
8. VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION. NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE IMMEDIATELY OF ANY VIOLATIONS PRIOR TO COMMENCEMENT OF WORK.
9. ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR INTERFERED WITH.
10. EXISTING DRIVEWAYS SHALL BE SLOTTED AWAY FROM THE FOUNDATION FOR DRAINAGE. THE FRESH CONCRETE SHALL BE AT LEAST 2" THICK BELOW THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR BY THE CASE OF AN INTERNAL SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRAINAGE SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST EIGHT FEET FROM THE STRUCTURE.
11. EROSION CONTROL SHALL BE PROVIDED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN PLACE UNTIL BARRIERS OR PROTECTED BY FILTERBANK THROUGH AN APPROVED DRAINAGE BASIN. SET UP PRIOR TO ITS DISCHARGE INTO SURFACE WATER. WATER MUST BE DISCHARGED TO SURFACE WATER THROUGH A FILTERBANK. TO THE EXTENT POSSIBLE, THE COLOR, ODOR AND ESTIMATION OF THE DISCHARGE MUST NOT CAUSE AN OBNOLESCENT COLOR COMBUST NEAR THE RECEIVING STREAM.
12. EROSION CONTROL SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. CONSTRUCTION SHALL BE STOPPED, EITHER TEMPORARILY OR PERMANENTLY, MUST BE STOPPED WITHIN 14 DAYS.

TOTAL IMPROVED SURFACE	2.86 ACRES
TOTAL PAVED SURFACE	1.12 ACRES
IMPROVED SURFACE	4.24 ACRES
PAVED/PAVED AREA	0.73 ACRES
TOTAL AREA	1.97 ACRES

### GRAPHIC SCALE



**CAUTION NOTICE TO CONSTRUCTION:**  
IN CASE OF CONFLICT BETWEEN THESE CONSTRUCTION PLANS, THE SHIPPY DOCUMENT, ANY PROJECT OR MUNICIPAL ORDINANCES AND THE ACTUAL STATE IMPROVEMENT, THE MOST RECENT DOCUMENT SHALL PREVAIL. IT IS ACKNOWLEDGED THAT NO PLAN CAN BE PREPARED THAT WILL DEPict ALL POSSIBLY OCCURRING SITUATIONS NECESSARY FOR PROGRESS OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BIDDING SO ADEQUATE FUNDING TO PROVIDE ALL UTILITY CONTROL MEASURES NECESSARY TO COMPLY WITH ORDINANCES OF THE CONSTRUCTION PROJECT.

**LIMITS OF DISTURBANCE:**  
ALL GRADING AND SURFACE DISTURBING ACTIVITIES SHALL BE RESTRICTED TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THE EXISTING CONSTRUCTION PLANS. NO EXCESSIVE GRADING OR STORAGE OF SOIL, SAND, GRAVEL OR OTHER MATERIALS OR DEBRIS SHALL OCCUR OR BE ALLOWED TO REMAIN ON THE SITE. ALL EXCESSIVE SOIL, SAND, GRAVEL OR OTHER MATERIALS SHALL BE REMOVED FROM THE SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL INCLUDE IN THE BIDDING SO ADEQUATE FUNDING TO PROVIDE ALL UTILITY CONTROL MEASURES NECESSARY TO COMPLY WITH ORDINANCES OF THE CONSTRUCTION PROJECT.

**BEST MANAGEMENT PRACTICES SEQUENCE:**  
NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING BEST MANAGEMENT PRACTICES (BMPs) SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THESE BMPs SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THESE BMPs SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THESE BMPs SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES:**
1. REMOVE PH 1 & PH 2 IMP'S, RESTORING TO PREVIOUS CONDITION.
  2. 300 AL. DERIVED AREAS.
  3. MAINTAIN REPAIR OR REPLACE PHASE 1 MEASURES.

- LEGEND**
- LD - LIMITS OF DISTURBANCE
  - SE - SEDIMENTATION/SILT FENCE
  - SE - STAKE CONSTRUCTION ENTRANCE/EXIT
  - CE - CONCRETE WASH-OUT
  - ER - ENHANCED ROCK CHECK DAM
  - WP - WATTLE PROTECTION

### MT. MORIAH ROAD

**FINA NOTE:**  
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD HAZARD AREA AS DEVELOPED IN COMMUNITY PANEL NUMBER 4771C 0035 2 AND REVISED SEPTEMBER 26, 2001.

**CITY BOUNDARY:**  
THE CITY BOUNDARY IS LOCATED ON THE N. SIDE OF MT. MORIAH ROAD, 127' W. OF THE CORNER OF 10' W. PARKWAY AT PARCEL MT. MORIAH. E. PRESENT MEMPHIS POLICE DEPT. 372.45.

**SEE BENCHMARK:**  
TOP OF 30" T. W. METEORIC LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT. ELEVATION = 272.40 (NAVD83).

NO.	DESCRIPTION	DATE	BY

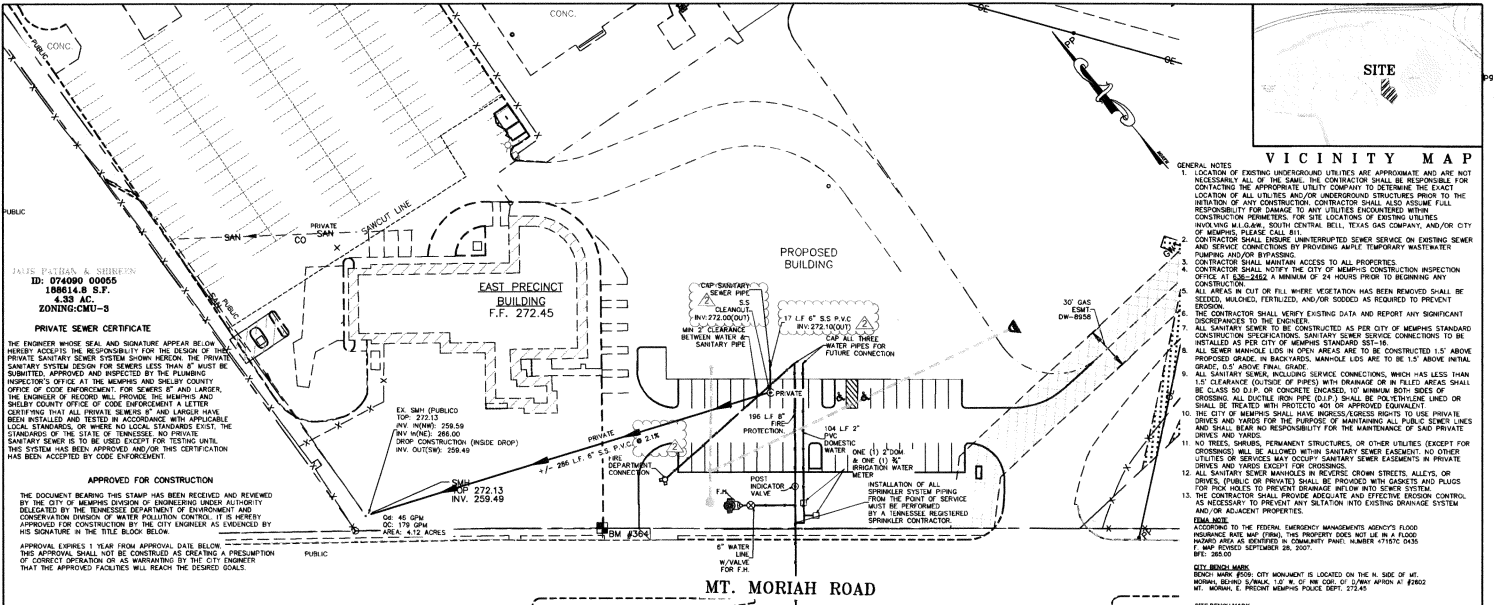


MEMPHIS POLICE DEPARTMENT  
MT. MORIAH STATION  
1100 SOUTH PARKWAY  
MEMPHIS, TENNESSEE 38103

DEPARTMENT OF ENGINEERING  
**EPSC PHASE 3**  
LOCATION: 2802 Mt. Moriah Road, Memphis, TN, 38115

SURVEY: \_\_\_\_\_ DATE: \_\_\_\_\_ BOOK: \_\_\_\_\_  
DESIGN: \_\_\_\_\_ DATE: 03/23/2023 \_\_\_\_\_ SCALE: 1"=30'  
REVIEW: \_\_\_\_\_ DATE: \_\_\_\_\_

C32  
SHEET 3 OF 4



**JAMES P. LUDMAN & SHERBORN**  
**ID: 074080 00085**  
**108614.8 S.F.**  
**4.38 AC**  
**ZONING: CMU-3**

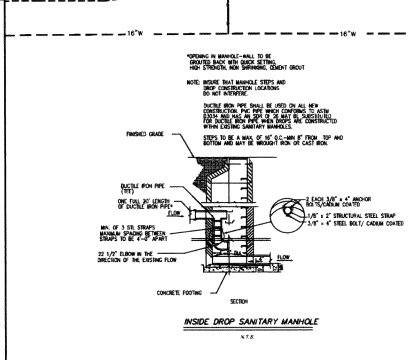
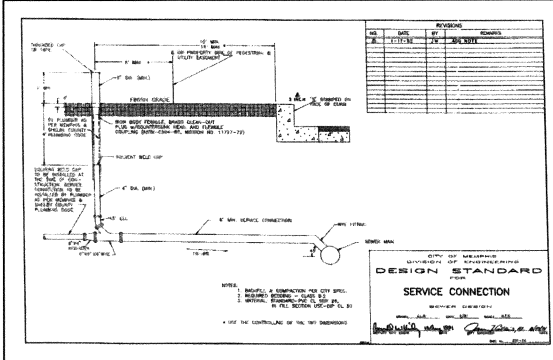
**PRIVATE SEWER CERTIFICATE**

THE ENGINEER WHOSE SEAL AND SIGNATURE APPEAR BELOW HEREBY ACCEPTS THE RESPONSIBILITY FOR THE DESIGN OF THIS PRIVATE SANITARY SEWER SYSTEM SHOWN HEREON. THE PRIVATE SANITARY SYSTEM DESIGN FOR SEWERS LESS THAN 8" MUST BE SUBMITTED, APPROVED AND INSPECTED BY THE PLUMBING INSPECTOR'S OFFICE AT THE MEMPHIS AND SHELBY COUNTY OFFICE OF CODE ENFORCEMENT. FOR SEWERS 8" AND LARGER, THE ENGINEER OF RECORD WILL PROVIDE THE MEMPHIS AND SHELBY COUNTY OFFICE OF CODE ENFORCEMENT A LETTER CERTIFYING THAT ALL PRIVATE SEWERS 8" AND LARGER HAVE BEEN INSTALLED AND TESTED IN ACCORDANCE WITH APPLICABLE LOCAL STANDARDS, OR WHERE NO LOCAL STANDARDS EXIST, THE STANDARDS OF THE STATE OF TENNESSEE. NO PRIVATE SANITARY SEWER IS TO BE USED EXCEPT FOR TESTING UNTIL THIS SYSTEM HAS BEEN APPROVED AND/OR THIS CERTIFICATION HAS BEEN ACCEPTED BY CODE ENFORCEMENT.

**APPROVED FOR CONSTRUCTION**

THE DOCUMENT BEARING THIS STAMP HAS BEEN RECEIVED AND REVIEWED BY THE CITY OF MEMPHIS DIVISION OF ENGINEERING UNDER AUTHORITY DELEGATED BY THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION DIVISION OF WATER POLLUTION CONTROL. IT IS HEREBY APPROVED FOR CONSTRUCTION BY THE CITY ENGINEER AS EVIDENCED BY HIS SIGNATURE IN THE TITLE BLOCK BELOW.

**APPROVAL EXPIRES 1 YEAR FROM APPROVAL DATE BELOW.**  
 THIS APPROVAL SHALL NOT BE CONSIDERED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTIES BY THE CITY ENGINEER THAT THE APPROVED FACILITIES WILL REACH THE DESIRED GOALS.



**GRAPHIC SCALE**

(IN FEET)  
 1 inch = 30' H.

**MEMPHIS POLICE DEPARTMENT**  
**MT. MORIAH STATION**  
 2602 MT. MORIAH ROAD, MEMPHIS, TN, 38115

**UTILITY PLAN PH 1**

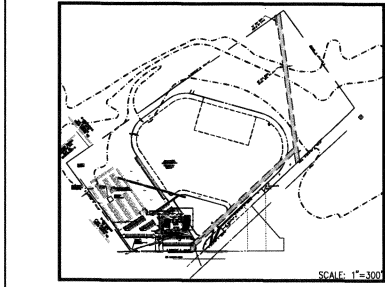
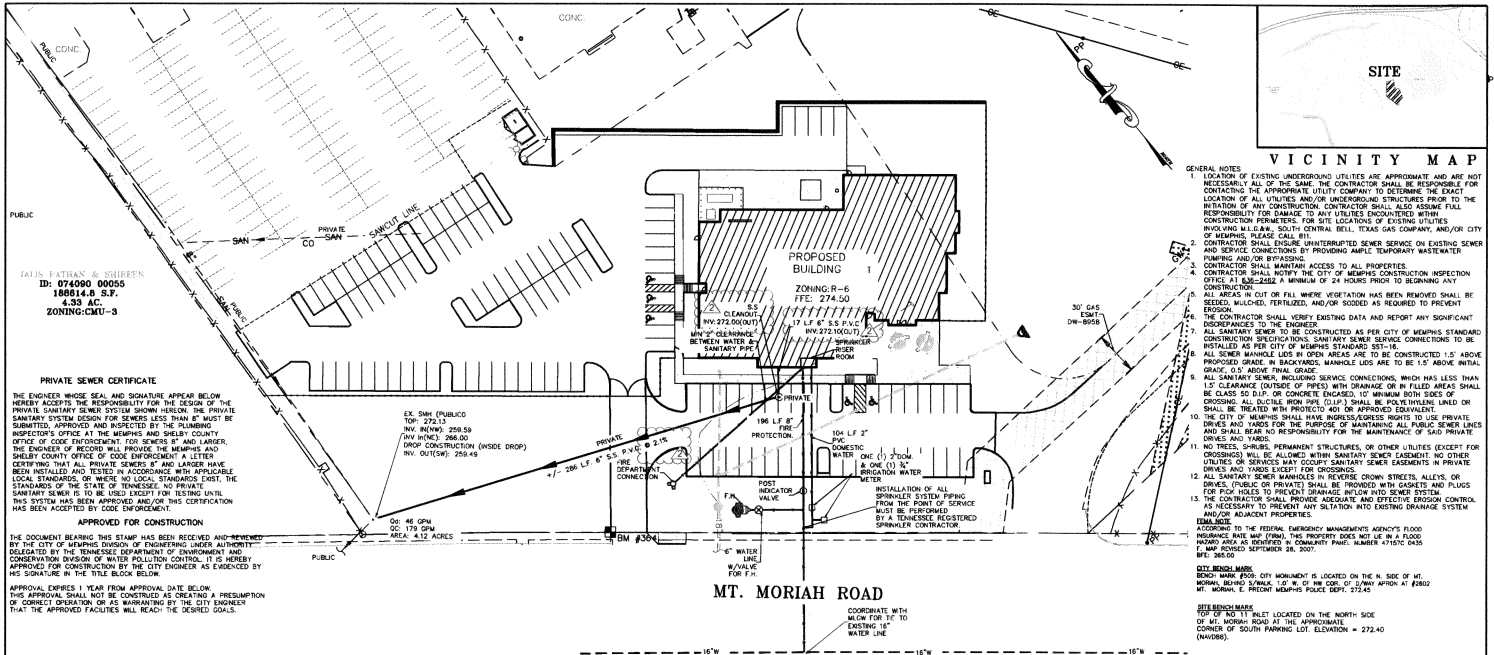
DEPARTMENT OF ENGINEERING

PROJECT NO.: 074080-00085

DATE: \_\_\_\_\_

SCALE: 1"=30'

REVISED: 02/23/00



**PRIVATE SEWER CERTIFICATE**  
THE ENGINEER WHOSE SEAL AND SIGNATURE APPEAR BELOW HEREBY ACCEPTS THE RESPONSIBILITY FOR THE DESIGN OF THE PRIVATE SEWER SYSTEM SHOWN HEREON. THE PRIVATE SEWER SYSTEM DESIGN FOR SEWERS LESS THAN 18" MUST BE SUBMITTED, APPROVED AND INSPECTED BY THE PLUMBING INSPECTOR'S OFFICE AT THE MEMPHIS AND SHELBY COUNTY OFFICE OF CODE ENFORCEMENT. FOR SEWERS 18" AND LARGER, THE ENGINEER OF RECORD WILL PROVIDE THE MEMPHIS AND SHELBY COUNTY OFFICE OF CODE ENFORCEMENT A LETTER CERTIFYING THAT ALL PRIVATE SEWERS, 18" AND LARGERS HAVE BEEN INSTALLED AND TESTED IN ACCORDANCE WITH APPLICABLE LOCAL STANDARDS, OR WHERE NO LOCAL STANDARDS EXIST, THE STANDARDS OF THE STATE OF TENNESSEE. NO PRIVATE SEWER SYSTEM IS TO BE USED EXCEPT FOR TESTING UNTIL THIS SYSTEM HAS BEEN APPROVED AND/OR THIS CERTIFICATION HAS BEEN ACCEPTED BY CODE ENFORCEMENT.

**APPROVED FOR CONSTRUCTION**  
THIS APPROVAL SHALL NOT BE CONSTRUED AS CREATING A PRESUMPTION OF CORRECT OPERATION OR AS WARRANTING BY THE CITY ENGINEER THAT THE APPROVED FACILITIES WILL REACH THE DESIRED GOALS.

