



CITY OF MEMPHIS
REQUEST FOR QUOTE

#136752.2

MT MORIAH STATION POLICE PRECINCT NEW
CONSTRUCTION AND DEMOLITION

Addendum #3

The following information encompasses Addendum No. 3 for the above referenced RFQ. Proposers shall fully consider and acknowledge this Addendum in the preparation and submittal of its formal proposal. Failure to do so may result in the proposal being considered unresponsive.

Section 1 – Revision to RFQ

This addendum hereby amends the original Project Manual and drawings dated December 1, 2022 as prepared by Renaissance Group for work on the project as noted below.

**ADDENDUM NO. THREE
MEMPHIS POLICE DEPARTMENT
MT MORIAH STATION
2602 Mt. Moriah Road
Memphis, Tennessee 38115**

**RENAISSANCE GROUP
9700 Village Circle, Suite 100
Lakeland, TN 38002**

RGI Project No. 19005

May 30, 2023



TO ALL PRIME CONTRACT BIDDERS OF RECORD:

The original Project Manual and Drawings, dated December 1, 2022, prepared by Renaissance Group for work on the project, are hereby amended as noted in this Addendum No. Three.

Receipt of this Addendum shall be acknowledged by inserting its number and date in the space provided on the Bid Form.

GENERAL

- Item #1:** The Bid date is:
Sealed bids will be received at the Office of the City of Memphis Purchasing Agent, Room 354, City Hall, 125 N. Main, Memphis, TN 38103, until 12:00 pm, Wednesday, **June 7, 2023**.
- Item #2:** City of Memphis Equal Business Opportunity Program
Project Goal: **44% MBE**
6% WBE

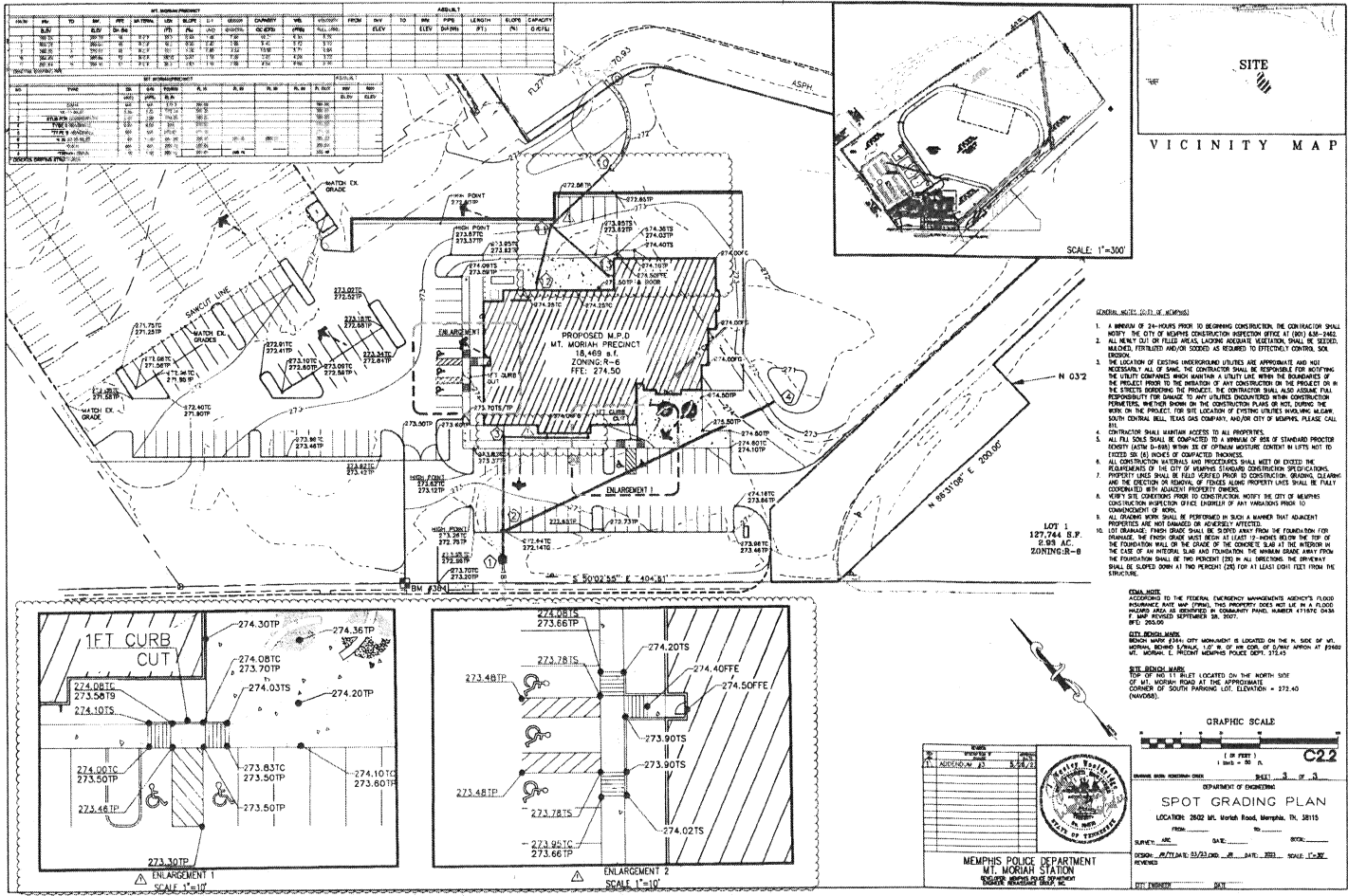
DRAWINGS

- Item #3:** **Sheet A8.1 – Finish Plan & Schedule:** Floor finish in Telcomm A140 shall be epoxy, in lieu of sealed concrete
- Item #4:** **Sheet A6.1 – Door Schedule:** Door A146b shall be powder coat finish from manufacturer standard color chart. Slats shall be solid in lieu of perforated.
- Item #5:** **Sheet A3.1 – Exterior Elevation, East Elevation:** Delete standing seam canopy over door A167CR. Install 12'-0" wide x 5'-0" deep prefab canopy with hangar rods. Canopy shall be 8" high x 4" extruded aluminum fascia with no offset. (3) square hangar rods with 6" diamond brackets, canopy color from standard color chart, flat pan (roll form) decking. General Contractor to provide 2x blocking in wall as required by canopy manufacturer. Bottom of canopy fascia shall be 8'-0" a.f.f.

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MEMPHIS POLICE DEPARTMENT
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2602 Mt. Moriah Road
Memphis, Tennessee 38115**

- Item #6:** **Sheet C2.0 – Grading and Drainage Plan PH 1:** Replace existing Sheet C2.0 – Grading and Drainage Plan PH 1 dated 03/2023 with revised sheet C2.0 Grading and Drainage Plan PH 1 dated 5/26/2023.
- Item #7:** **Sheet C2.1 – Grading and Drainage Plan PH 1A:** Replace existing Sheet C2.1 – Grading and Drainage Plan PH 1A dated 03/2023 with revised sheet C2.1 Grading and Drainage Plan PH 1A dated 5/26/2023.
- Item #8:** **Sheet C2.2 – Spot Grading Plan :** Replace existing Sheet C2.2 – Spot Grading dated 03/2023 with revised sheet C2.2 Spot Grading Plan dated 5/26/2023.
- Item #9:** **Sheet C3.0 – EPSC Phase 1 :** Replace existing Sheet C3.0 – EPSC Phase 1 dated 03/2023 with revised sheet C3.0 – EPSC Phase 1 dated 5/26/2023.
- Item #10:** **Sheet C3.1 – EPSC Phase 2 :** Replace existing Sheet C3.1 – EPSC Phase 2 dated 03/2023 with revised sheet C3.1 – EPSC Phase 2 dated 5/26/2023.
- Item #11:** **Sheet C3.2 – EPSC Phase 3 :** Replace existing Sheet C3.2 – EPSC Phase 3 dated 03/2023 with revised sheet C3.2 – EPSC Phase 3 dated 5/26/2023.
- Item #12:** Insert Post Construction Runoff Control Plan into Record Documents

END OF ADDENDUM NO. THREE



NO.	TYPE	DATE	BY	REVISION
1	AS-BUILT	05/11/11	J.M.	AS-BUILT
2	PROPOSED	05/11/11	J.M.	PROPOSED
3	PROPOSED	05/11/11	J.M.	PROPOSED
4	PROPOSED	05/11/11	J.M.	PROPOSED
5	PROPOSED	05/11/11	J.M.	PROPOSED
6	PROPOSED	05/11/11	J.M.	PROPOSED
7	PROPOSED	05/11/11	J.M.	PROPOSED
8	PROPOSED	05/11/11	J.M.	PROPOSED
9	PROPOSED	05/11/11	J.M.	PROPOSED
10	PROPOSED	05/11/11	J.M.	PROPOSED

- GENERAL NOTES (20% OF WORK)
- A MINIMUM OF 24-HOURS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE AT (901) 526-5442. ALL NEWLY CUT OR FILLED AREAS, LANDSCAPE RESTORATION, SHALL BE SEEDING, MULCHING, FERTILIZING AND/OR SOAKED AS REQUIRED TO PREVENT EROSION, SOIL EROSION.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING UTILITIES FROM MAINMAN. A UTILITY WHEN THE BOUNDARIES OF THE PROJECT PRIOR TO THE ONSET OF ANY CONSTRUCTION ON THE PROJECT OR IN THE VICINITY THEREOF. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES DISCOVERED WHILE CONSTRUCTION PROCEEDS. IN THE EVENT OF ANY DAMAGE TO ANY UTILITIES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND/OR REPLACEMENT OF SUCH UTILITIES. THE CITY OF MEMPHIS, SOUTH CENTRAL TEXAS GAS COMPANY, AND/OR CITY OF MEMPHIS PLEASE CALL 311.
 - CONTRACTOR SHALL MAINTAIN ACCESS TO ALL PROPERTIES.
 - ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 95% OF STANDARD PROCTOR (SOFTEN B-S-H) WITHIN 30' OF OPTIMUM MOISTURE CONTENT IN LIFTS NOT TO EXCEED 18" (18" MAXIMUM) OF COMPACTED THICKNESS.
 - ALL CONSTRUCTION MATERIALS AND PROCEDURES SHALL MEET OR EXCEED THE REQUIREMENTS OF THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS. PROPERTY LINES SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. GRADING, CLEARING AND THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED AND ADJUSTED PRIOR TO CONSTRUCTION.
 - CONSTRUCTION INSPECTION OFFICE (CISO) OF THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE SHALL BE NOTIFIED PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION.
 - ALL GRADING WORK SHALL BE PERFORMED IN SUCH A MANNER THAT ADJACENT PROPERTIES ARE NOT DAMAGED OR UNDESIRABLY AFFECTED.
 - LOT DRAINAGE FROM GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION. FOR DRAINAGE, THE FLOOR GRADE MUST BE AT LEAST 12" HIGHER THAN THE TOP OF THE FOUNDATION WALL OR THE GRADE OF THE CONCRETE SLAB AT THE INTERIOR OF THE CASE OF AN INTERNAL SLAB AND FOUNDATION. THE MINIMUM GRADE AWAY FROM THE FOUNDATION SHALL BE TWO PERCENT (2%) IN ALL DIRECTIONS. THE DRAINAGE SHALL BE SLOPED DOWN AT TWO PERCENT (2%) FOR AT LEAST 100' FEET FROM THE STRUCTURE.

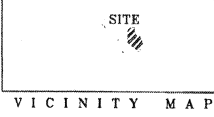
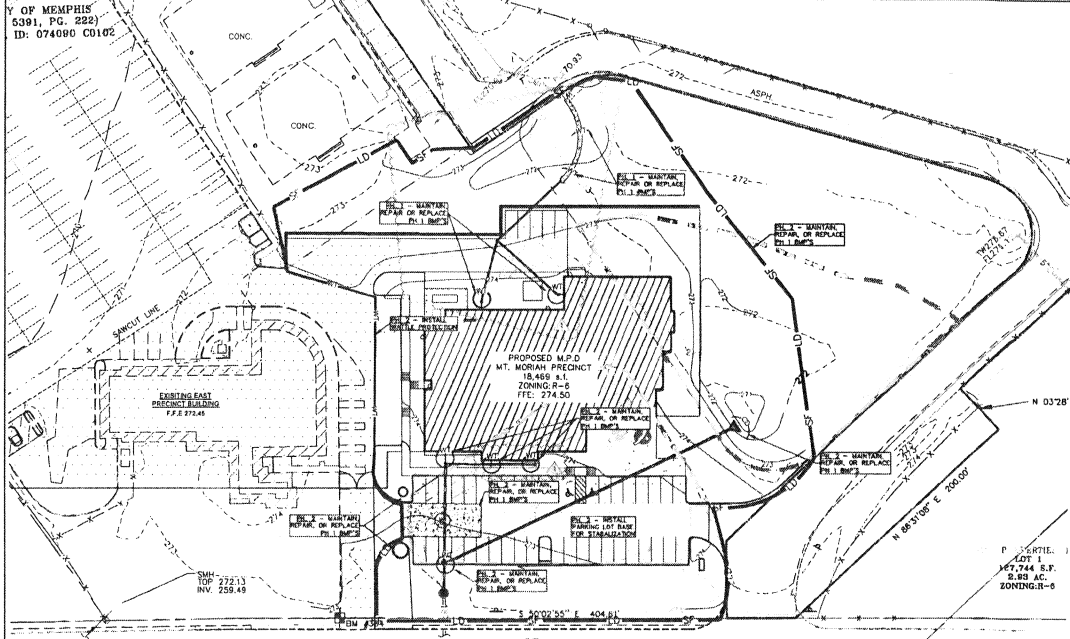
FINAL NOTE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS DESCRIBED IN COMMUNITY PANEL NUMBER 173823-D-001, REVISED SEPTEMBER 28, 2007.

CITY RECORDS NOTE
MOUNT MORIAH #214 CITY MAPSHEET IS LOCATED ON THE N. SIDE OF W. WOODLAND AVENUE, SOUTH OF W. WOODLAND AVENUE, AT THE CORNER OF SOUTH PARKING LOT, ELEVATION = 273.40 (DRAINAGE).

UTILITY RECORDS NOTE
TOP OF 10" UTILITY LOCATED ON THE NORTH SIDE OF W. WOODLAND AVENUE AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT, ELEVATION = 273.40 (DRAINAGE).

MEMPHIS POLICE DEPARTMENT
MT. MORIAH STATION
2000 WOODLAND AVENUE

DATE: 05/11/11
BY: J.M.



- GENERAL NOTES (City of Memphis):
1. NUMBER OF DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY OF MEMPHIS CONSTRUCTION INSPECTION OFFICE (CI) IN WRITING.
 2. ALL EXISTING UTILITIES SHALL BE MAINTAINED, REPAIRED, REPLACED, OR RELOCATED AS NECESSARY TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.
 3. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE APPROXIMATE AND NOT NECESSARILY ALL OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.
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 5. ALL UTILITIES SHALL BE MAINTAINED, REPAIRED, REPLACED, OR RELOCATED AS NECESSARY TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.
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 12. ALL UTILITIES SHALL BE MAINTAINED, REPAIRED, REPLACED, OR RELOCATED AS NECESSARY TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.
 13. ALL UTILITIES SHALL BE MAINTAINED, REPAIRED, REPLACED, OR RELOCATED AS NECESSARY TO ACCOMMODATE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.

ACREAGE SUMMARY

EXISTING SURFACE	150.00 ACRES
PROPOSED SURFACE	111.00 ACRES
TOTAL SURFACE	261.00 ACRES
EXISTING SURFACE	111.00 ACRES
PROPOSED SURFACE	150.00 ACRES
TOTAL SURFACE	261.00 ACRES

FORMAL NOTE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM) FOR THIS PROJECT, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD AREA AS DETERMINED BY CONSTRUCTION NUMBER 170153. DATED 08/19/2009.

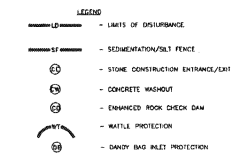
SETBACKS AND EASEMENTS
TOP OF THE 12" RAIL IS LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKWAY. ELEVATION = 272.40 (NAVD83).

-CAUTION NOTICE TO CONTRACTOR-
IN CASE OF CONFLICT BETWEEN DESIGN NOTES AND THE CITY OF MEMPHIS, THE CITY OF MEMPHIS SHALL PREVAIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.

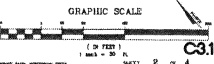
LIMITS OF DISTURBANCE
ALL WORK AND MATERIAL STORAGE SHALL BE LIMITED TO WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.

BEST MANAGEMENT PRACTICES SEQUENCE
NOTE: UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING MEASURES OR APPROVED EQUIVALENTS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY COMPANIES PRIOR TO ANY WORK WITHIN THE BOUNDARIES OF THE PROJECT. THE CONTRACTOR SHALL ALSO ASSUME FULL RESPONSIBILITY FOR DAMAGE TO ANY UTILITIES UNDISCOVERED PRIOR TO CONSTRUCTION.

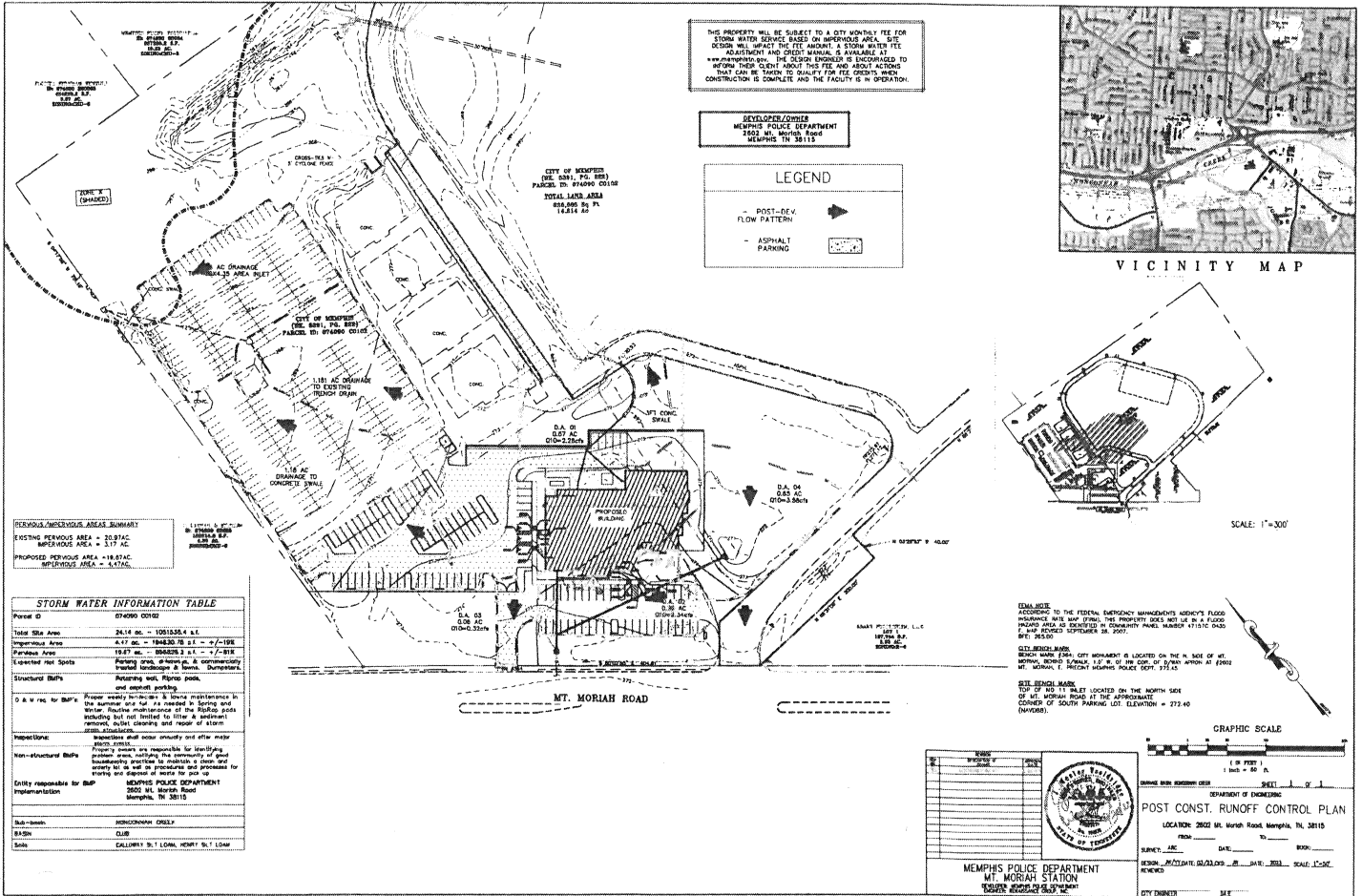
- INSTALLATION AND MAINTENANCE REQUIREMENTS:**
1. INSTALL JOINTS AND JOINT PROTECTORS AS CONSTRUCTION PROGRESSES.
 2. INSTALL PAVING OR BASE MATERIAL FOR SITE STABILIZATION.
 3. MAINTAIN, REPAIR OR REPLACE PAVED SURFACES.



MEMPHIS POLICE DEPARTMENT
MT. MORIAH STATION
1000 W. COLLETT BLVD., MEMPHIS, TN 38103



EPSC PHASE 2
LOCATION: 1000 W. COLLETT BLVD., MEMPHIS, TN 38103
DATE: 08/19/2009
SCALE: 1"=30'



THIS PROPERTY WILL BE SUBJECT TO A CITY MONTHLY FEE FOR STORM WATER SERVICE BASED ON IMPERVIOUS AREA. CITY ORDINANCE WILL IMPACT THE FEE AMOUNT. A STORM WATER FEE ADJUSTMENT AND CHECK MANUAL IS AVAILABLE AT MEMPHISPOLICE.POLICE. THE DESIGN ENGINEER IS NOT RESPONSIBLE TO MAKE THE CLIENT AWARE OF THE FEE AND HOW TO ACT ON IT. THAT CAN BE TAKEN TO QUALIFY FOR THE CREDIT WHEN CONSTRUCTION IS COMPLETE AND THE FACILITY IS IN OPERATION.

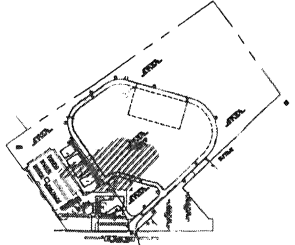
DEVELOPER/OWNER
MEMPHIS POLICE DEPARTMENT
3802 Mt. Moriah Road
MEMPHIS TN 38115

LEGEND

- POST-DEV. FLOW PATTERN
- ASPHALT PARKING



VICINITY MAP



SCALE: 1"=300'

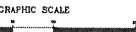
PERVIOUS/IMPERVIOUS AREAS SUMMARY
EXISTING PERVIOUS AREA = 18,816 AC
IMPERVIOUS AREA = 1,17 AC
PROPOSED PERVIOUS AREA = 18,816 AC
IMPERVIOUS AREA = 1,17 AC

STORM WATER INFORMATION TABLE	
Parcel ID	274090 00102
Total Site Area	24.14 AC = 1051,300.4 S.F.
Impervious Area	4,17 AC = 184,620 S.F. = 7.7% IMP
Parking Area	19.87 AC = 864,528 S.F. = 35.4% IMP
Unpaved Hot Spots	Paving 0.00 AC, 0.00 S.F. & constructively paved landscape & lawn. Discontinue.
Structural Retention	Retaining wall, flood pool, and gravel parking.
D & M req. for BMP's	Proper needs to be met & service maintenance in the summer and fall. As needed by spring and winter. Routine maintenance of the filter pads including but not limited to filter, a sediment removal, filter cleaning and repair of storm water structures.
Maintenance	Owner shall ensure property and other water users are responsible for identifying problem areas, notifying the community of and maintaining and the to maintain a record of events to be in compliance and procedure for storm and disposal of water to not up.
Entity responsible for BMP Implementation	MEMPHIS POLICE DEPARTMENT 3802 Mt. Moriah Road Memphis, TN 38115
Sub-areas	NONCONFORMING USES
Basin	CLUB
Soils	CALLAWAY S-1 LOAM, HEAVY S-1 LOAM

FINAL NOTE
ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP (FIRM), THE PROPERTY DOES NOT LIE IN A FLOOD PRONE AREA AS IDENTIFIED IN COMMUNITY PANEL NUMBER 17101010000. FIRM REVISION SEPTEMBER 28, 2007.

CLUB WHICH NAME
WHICH NAME (S) CITY WORKAROUND IS LOCATED ON THE N. SIDE OF MT. MORIAH ROAD, APPROX. 1.5 M. TO THE E. OF JUNKYARD AT 3802 MT. MORIAH E. RECENT SQUARE POLICE COPT. 3312.

SEE BENCH MARK
TOP OF 10" TO 15" BENCH MARKS LOCATED ON THE NORTH SIDE OF MT. MORIAH ROAD AT THE APPROXIMATE CORNER OF SOUTH PARKING LOT. ELEVATION = 273.40 (MVDDB).



MEMPHIS POLICE DEPARTMENT
MT. MORIAH STATION
3802 Mt. Moriah Road, Memphis, TN 38115

POST CONST. RUNOFF CONTROL PLAN
LOCATION: 3802 Mt. Moriah Road, Memphis, TN, 38115
DATE: _____
SCALE: 1"=300'