



Memphis City Council Summary Sheet

PD 22-07

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT 6685 SHELBY DR., KNOWN AS CASE NUMBER PD 22-07

- This item is a resolution with conditions to allow a car wash establishment; and
- This resolution, if approved with conditions, will supersede the existing zoning for this property; and
- The item may require future public improvement contracts.

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT 6685 SHELBY DR., KNOWN AS CASE NUMBER PD 22-07

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a planned development for certain stated purposes in the various zoning districts; and

WHEREAS, the Century Express Car Wash filed an application with the Memphis and Shelby County Division of Planning and Development to allow a car wash establishment; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives and standards for planned developments as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Memphis and Shelby County Land Use Control Board; and

WHEREAS a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on May 12, 2022, and said Board has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a planned development is hereby granted in accordance with the attached outline plan conditions.

BE IT FURTHER RESOLVED, that the requirements of said aforementioned clause of the Unified Development Code shall be deemed to have been complied with; that the outline plan shall bind the applicant, owner, mortgagee, if any, and the legislative body with respect to the contents of said plan; and the applicant and/or owner may file a final plan in accordance with said outline plan and the provisions of Section 9.6.11 of the Unified Development Code.

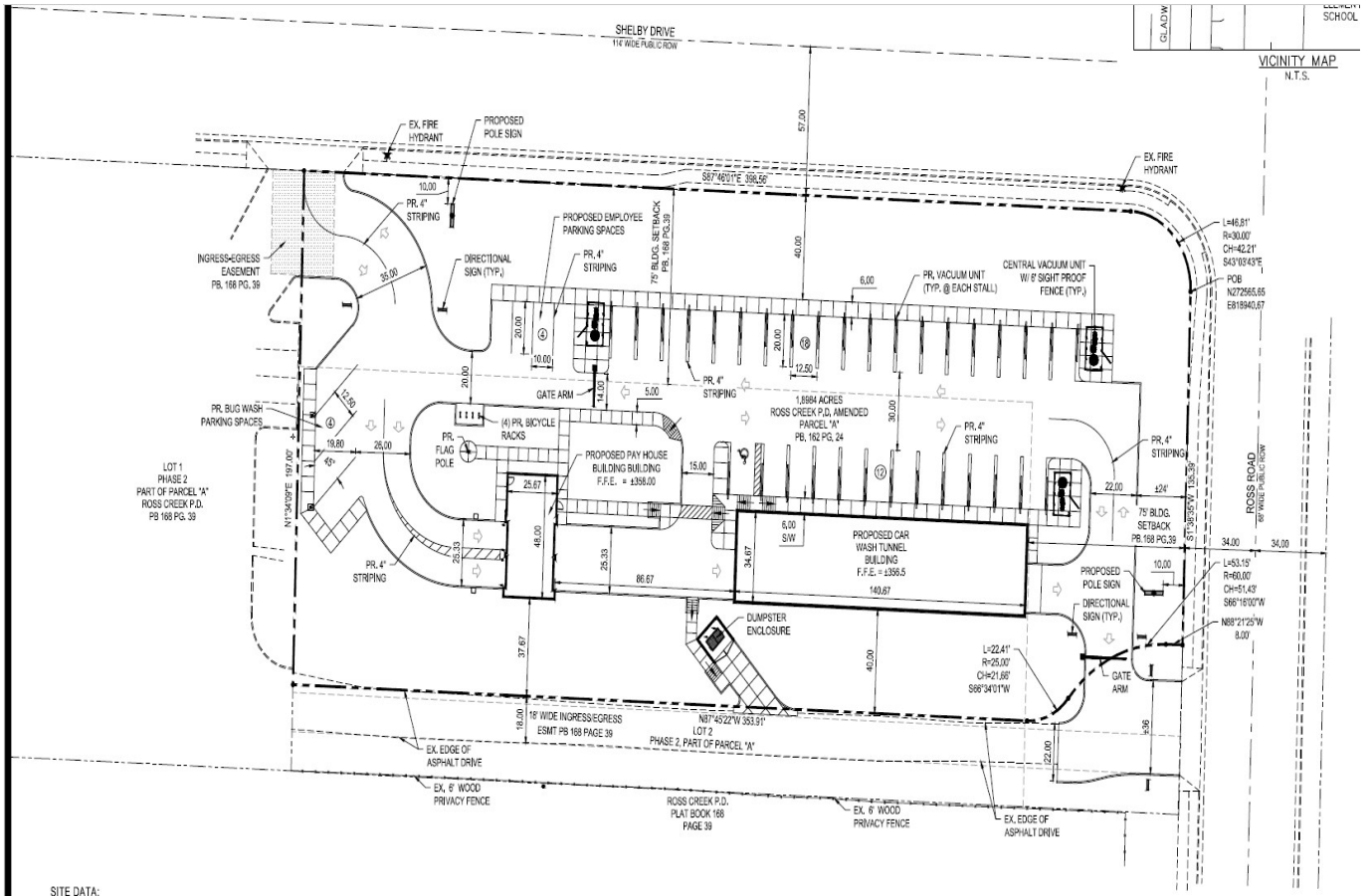
ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

GENERAL PLAN CONDITIONS

1. The final plan shall be re-recorded with amended use conditions.
2. Staff will require an increase in buffer between the car wash and the existing residential neighborhood it abuts off Ross Rd. A final landscape plan is subject to administrative review by the Division of Planning and Development.

SITE PLAN



SITE DATA:

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, May 12, 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: PD 22-07

DEVELOPMENT: Ross Creek Planned Development

LOCATION: 6685 Shelby Dr.

COUNCIL DISTRICT(S): District 3 and Super District 8 – Positions 1, 2, and 3

OWNER/APPLICANT: Century Express Car Wash

REPRESENTATIVE: Anita Archambeau & Matt Wolfe, ETI Corp.

REQUEST: Amendment to Ross Creek planned development to allow a car wash establishment

EXISTING ZONING: Conservation Agriculture (CA)

AREA: +/-1.9 acres

The following spoke in support of the application: Matt Wolfe, Ray Gill, Leroy Ratliff

The following spoke in opposition the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion passed by a unanimous vote of 8-1 on the consent agenda.

Respectfully,



Teresa H. Shelton
Municipal Planner
Land Use and Development Services
Division of Planning and Development

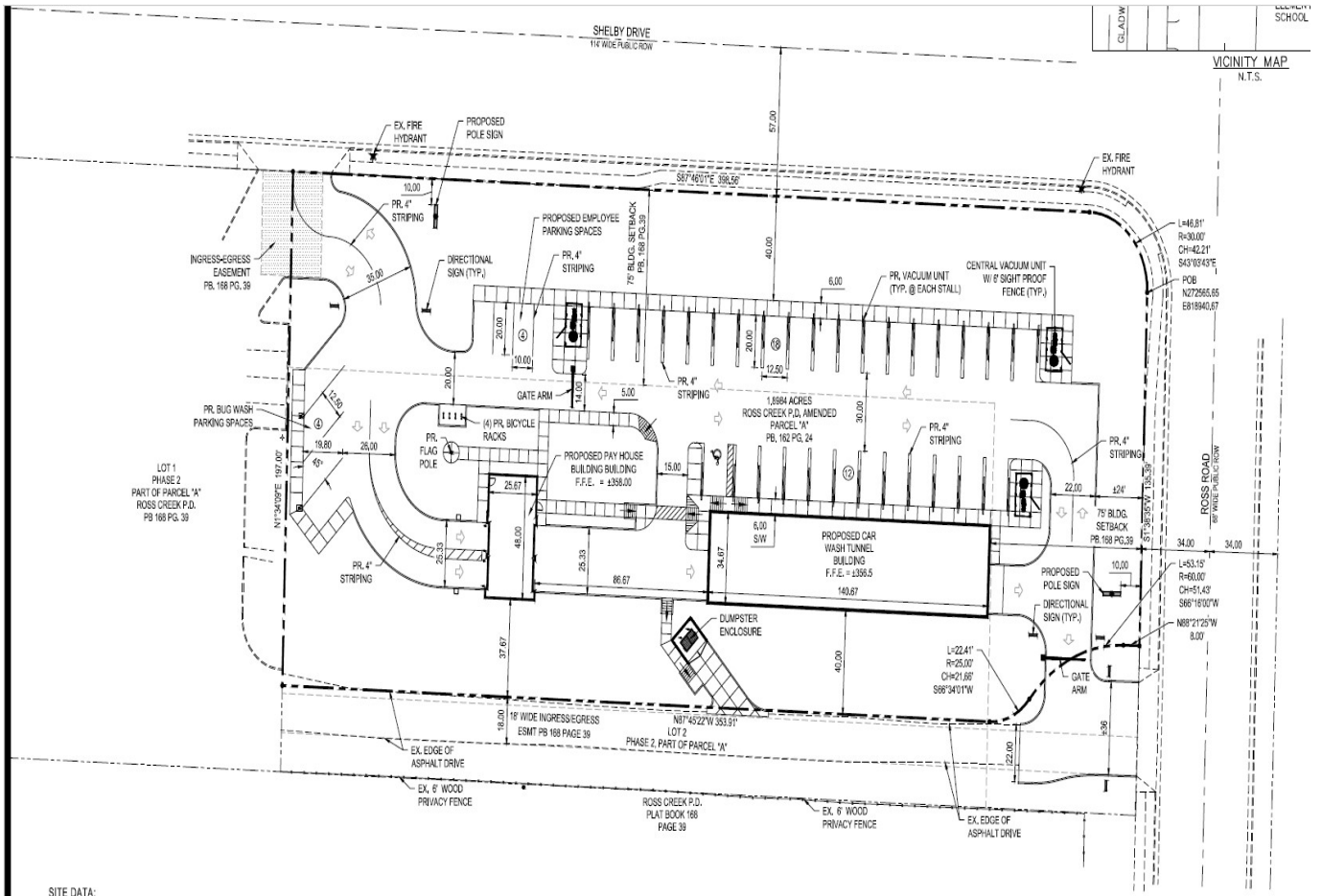
Cc: Committee Members
File

**PD 22-07
CONDITIONS**

General Plan Conditions

1. The final plan shall be re-recorded with amended use conditions.
2. Staff will require an increase in buffer between the car wash and the existing residential neighborhood it abuts off Ross Rd. A final landscape plan is subject to administrative review by the Division of Planning and Development.

SITE PLAN



SITE DATA:

AGENDA ITEM: 4

CASE NUMBER: PD 22-07 **L.U.C.B. MEETING:** May 12, 2022

DEVELOPMENT: Ross Creek Planned Development

LOCATION: 6685 E. Shelby Dr.

COUNCIL DISTRICT: District 3 and Super District 8 – Positions 1, 2, and 3

OWNER/APPLICANT: Century Express Car Wash/Anita Archambeau & Matt Wolfe, ETI Corp.

REPRESENTATIVE: Anita Archambeau & Matt Wolfe, ETI Corp.

REQUEST: Amendment to Ross Creek Planned Development to allow a car wash establishment

AREA: +/-1.9 acres

EXISTING ZONING: Conservation Agriculture (CA)

CONCLUSIONS

1. The applicant is requesting an amendment to Ross Creek Planned Development to allow a car wash establishment.
2. The site plan is in conformance with the outline plan conditions other than the vehicle which was not included as a permitted use in Parcel A in the previous approved case #PD 94-304 CC because the Unified Development Code (UDC) requires a Special Use permit for this type use in Commercial Mixed Use -1(CMU-1) zoning district.
3. The proposed development will injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

CONSISTENCY WITH MEMPHIS 3.0

This proposal is inconsistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on pages 17-18 of this report.

RECOMMENDATION

Rejection

GENERAL INFORMATION

Street Frontage: E. Shelby Drive +/-33.8 linear feet
Ross Road +/-44.0 linear feet

Zoning Atlas Page: 2450

Parcel ID: 093700 00556

Existing Zoning: Conservation Agriculture (CA)

NEIGHBORHOOD MEETING

The meeting was held at 6:30 PM on Monday, April 26, 2022, via Zoom.

**A Second Zoom Neighborhood Meeting has been scheduled for
Monday, April 25, 2022 6:30 PM Central Time**

Join Zoom Meeting

<https://my-gcu-edu.zoom.us/j/9081774214> Meeting ID: 908 177 4214

Join Meeting By Telephone

+1 312 626 6799

Meeting ID: 908 177 4214

If you have any questions or cannot attend the Zoom meeting, please contact Anita Archambeau, ETI Corporation at aarchambeau@eticorp.com or 320-267-4411.

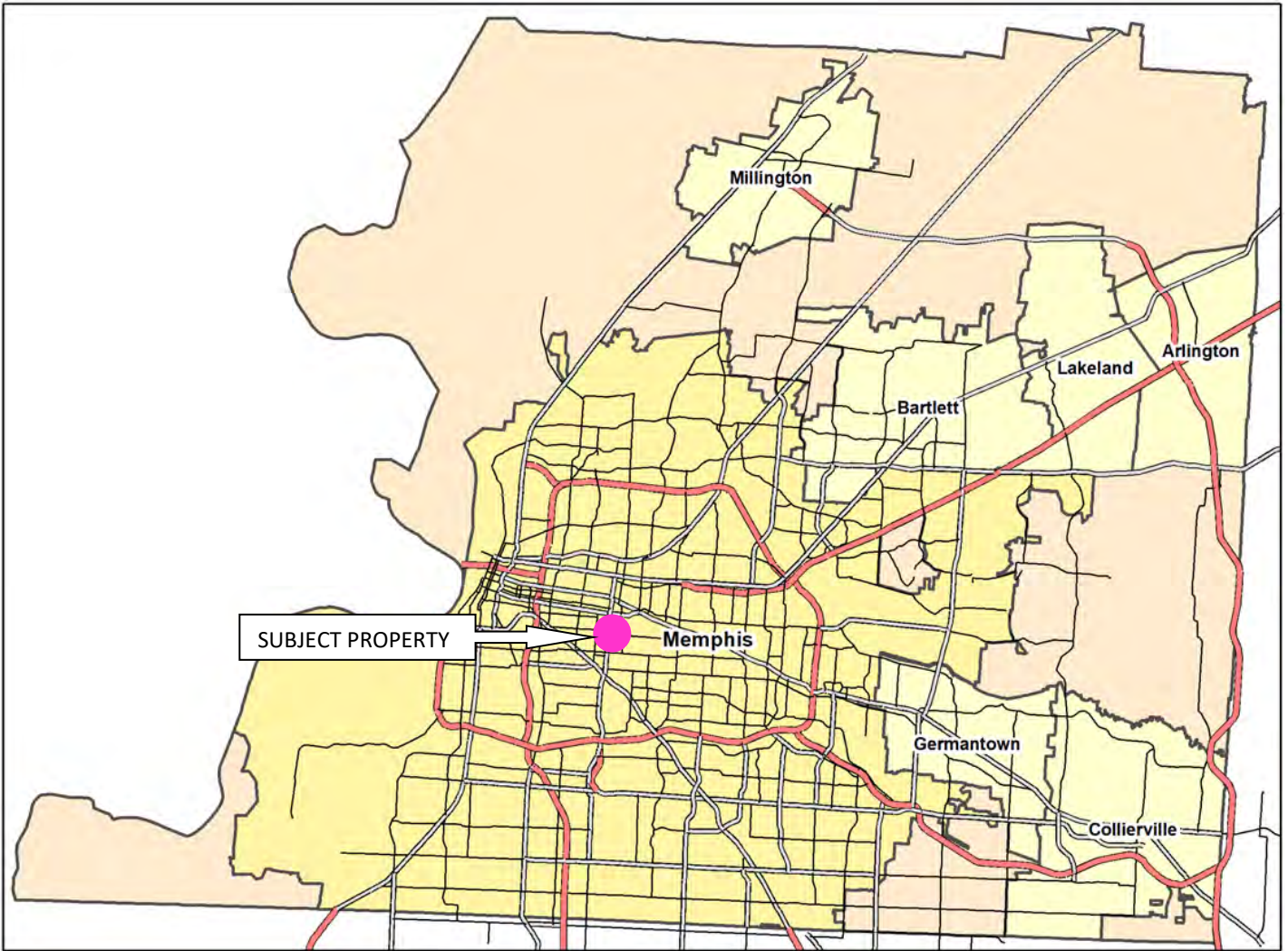
The meeting ended at appropriately 7:05. In attendance were:

Anita Archambeau	ETI Urban Planner, Applicant Representative
Matt Wolfe	ETI Engineer, Applicant Representative
Leroy Ratliff	Owner and Applicant
Raphael Shivers	Neighborhood resident/homeowner (attended the meeting from 6:30-6:45)
Deborah Durham	Neighborhood resident/homeowner (attended the meeting from 6:50-6:55)

PUBLIC NOTICE

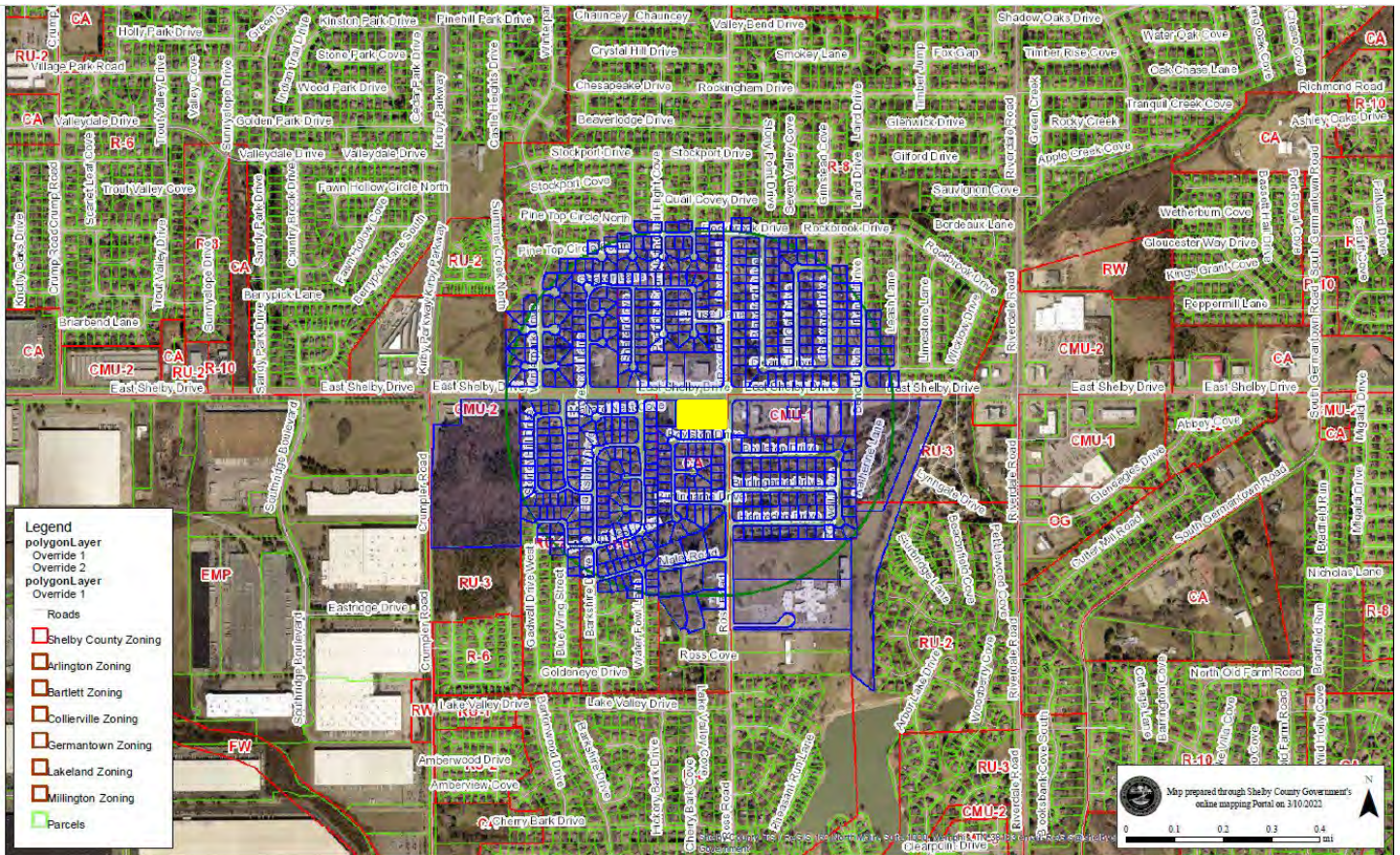
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 632 notices were mailed on March 28, 2022, and a total of 2 sign posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



Subject property located within the pink circle

VICINITY MAP



Subject property highlighted in yellow

AERIAL



Subject property outlined in yellow

ZONING MAP



Subject property highlighted in yellow

Existing Zoning: Conservation Agriculture (CA)

Surrounding Zoning

North: R-8

East: CMU-1

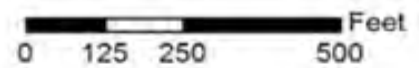
South: CA

West: R-6

LAND USE MAP



LandUse



Subject property outlined in electric blue indicated by a pink star

SITE PHOTOS



View of the subject property from E. Shelby Dr. looking north

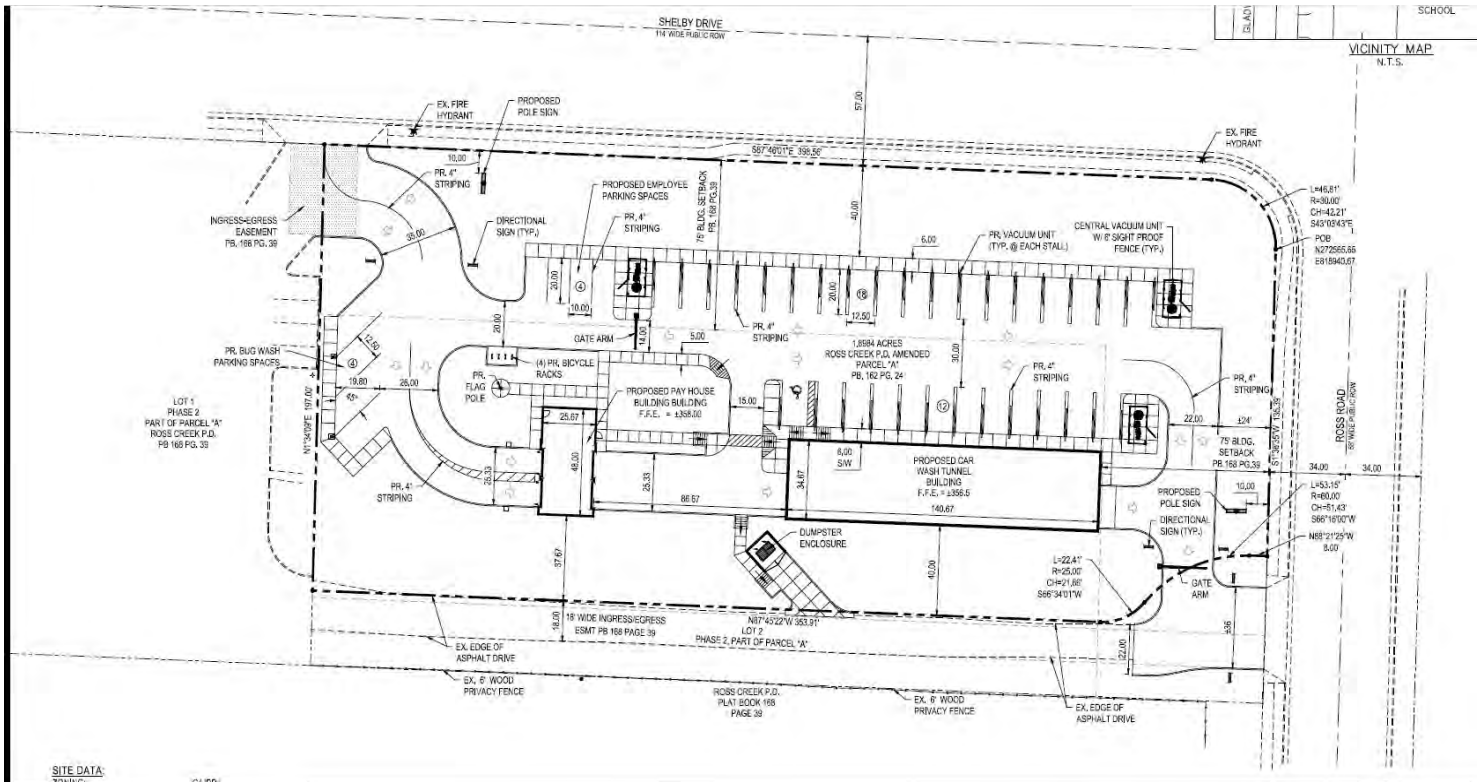


View of the subject property from E. Shelby Dr. looking west

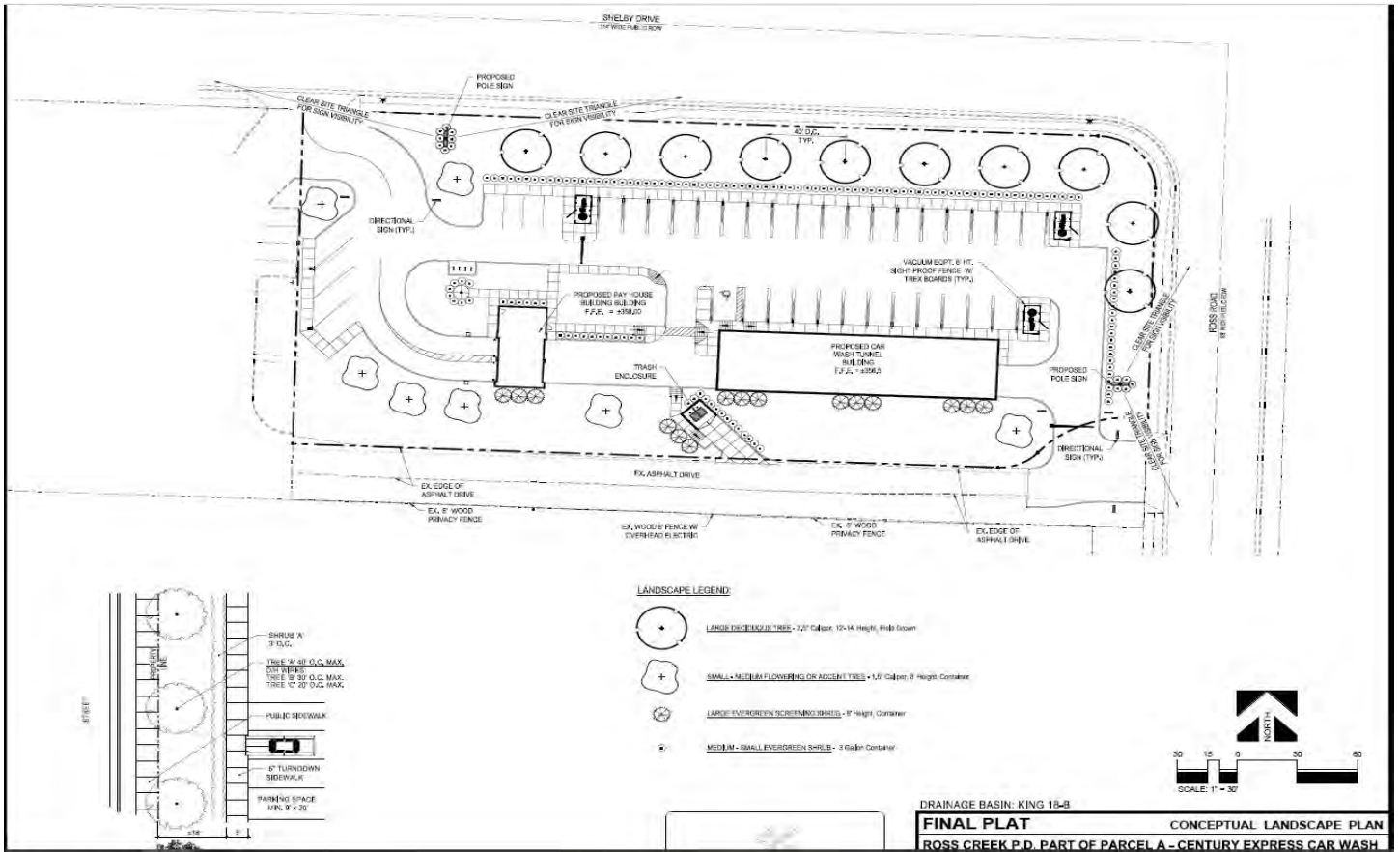


View of the subject property from Ross Road looking northeast

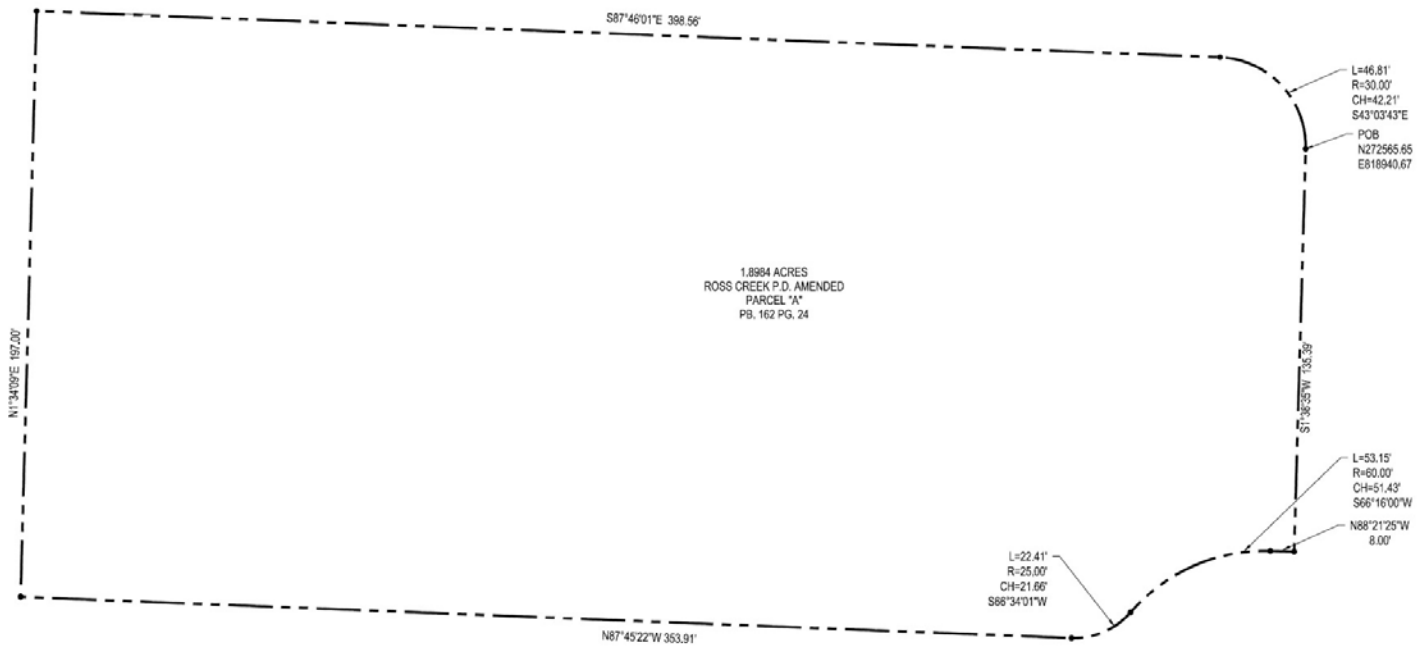
SITE PLAN



CONCEPTUAL LANDSCAPE PLAN



PLOT PLAN



PROPERTY LINE DESCRIPTION

BEING A SURVEY OF PART OF PARCEL A, ROSS CREEK P.U.D. AS RECORDED IN PLAT BOOK 162 PAGE 24 AT THE SHELBY COUNTY REGISTERS OFFICE AND BEING LOCATED IN MEMPHIS, SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A SET 1/2" IRON PIN ON THE WEST LINE OF ROSS ROAD (68' WIDE PUBLIC ROW) 30.00 FEET SOUTH OF THE TANGENT INTERSECTION OF SAID WEST LINE WITH THE SOUTH LINE OF SHELBY DRIVE (114' WIDE PUBLIC ROW), SAID POINT HAVING A TENNESSEE STATE PLANE COORDINATE VALUE OF NORTHING 272565.65 AND EASTING 818940.67;

THENCE S1°38'35"W ALONG SAID WEST LINE A DISTANCE OF 135.39 FEET TO A SET 1/2" IRON PIN ON THE NORTH LINE OF LOT 2, PHASE 2, PART OF PARCEL A, ROSS CREEK P.U.D. (PLAT BOOK 168 PG 39);

THENCE N88°21'25"W ALONG SAID NORTH LINE A DISTANCE OF 8.00 FEET TO A SET 1/2" IRON PIN AT THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTWARDLY ALONG SAID NORTH LINE AND ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 60.00 FEET, AN ARC LENGTH OF 53.15 FEET AND CHORD OF 51.43 FEET (S66°16'00") TO A SET 1/2" IRON PIN THE POINT OF REVERSE CURVE;

THENCE WESTWARDLY ALONG SAID NORTH LINE AND ALONG THE ARC OF SAID REVERSE CURVE HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 22.41 FEET AND CHORD OF 21.66 FEET (S66°34'01"W) TO A SET 1/2" IRON PIN AT THE POINT OF TANGENCY;

THENCE N87°45'22"W ALONG SAID NORTH LINE A DISTANCE OF 353.91 FEET TO A SET NAIL ON THE EAST LINE OF LOT 1,

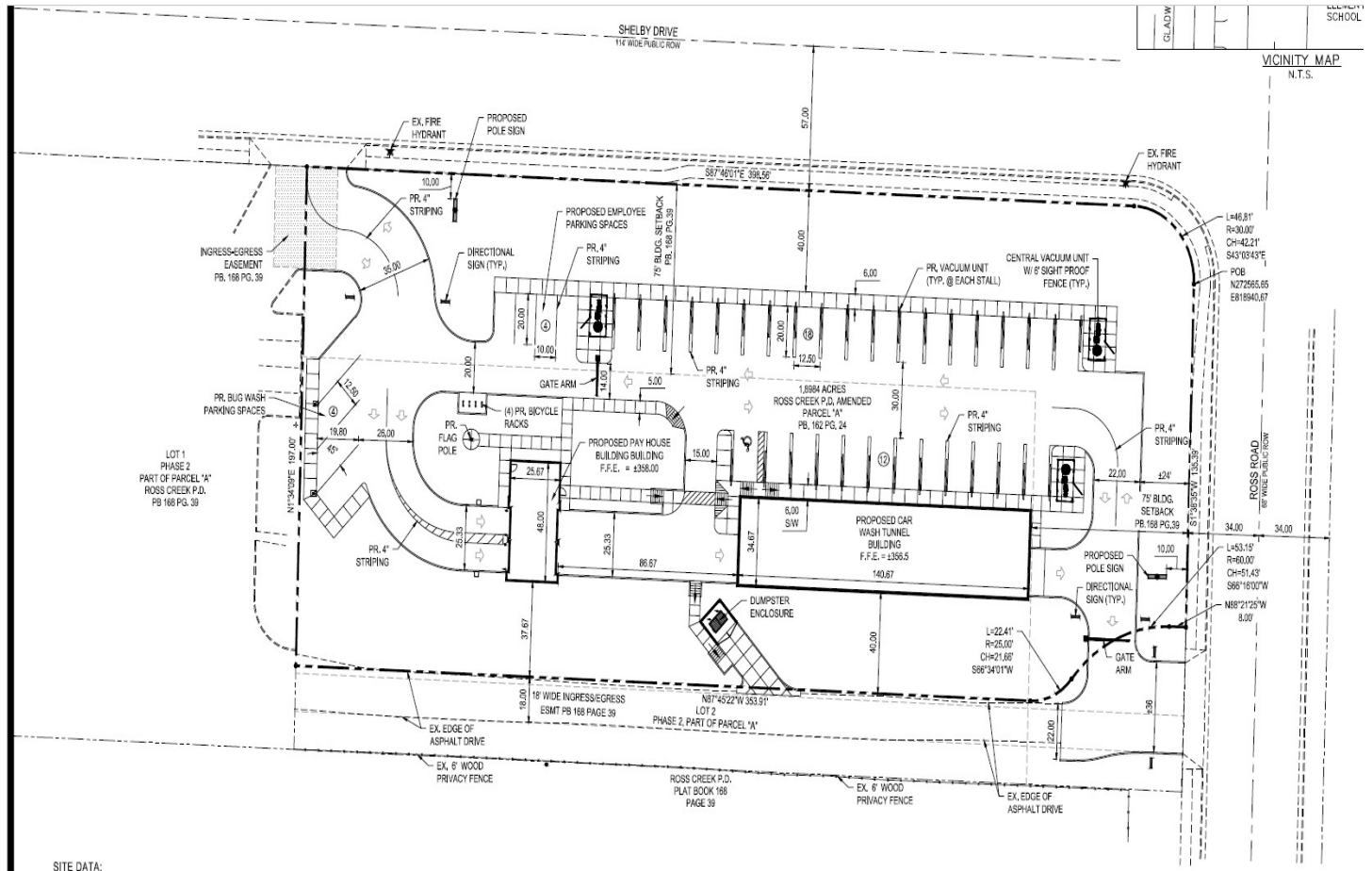
THENCE N1°34'09"E ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 197.00 FEET TO A SET NAIL ON THE SOUTH LINE OF SHELBY DRIVE;

THENCE S87°46'01"E ALONG SAID SOUTH LINE OF SHELBY DRIVE A DISTANCE OF 398.56 FEET TO A SET 1/2" IRON PIN AT THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE SOUTHEASTWARDLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00, AN ARC LENGTH OF 46.81 FEET AND CHORD OF 42.21 FEET (S43°03'43"E) TO THE POINT OF BEGINNING,

CONTAINING 1.8984 ACRES MORE OR LESS.

CONCEPT PLAN



SITE DATA:

CAR WASH TUNNEL BUILDING ELEVATIONS

NORTH ELEVATION

SOUTH ELEVATION

EAST ELEVATION

WEST ELEVATION

KEY	DESCRIPTION	MANUFACTURER	PRODUCT DESCRIPTION
01	PAINTED SPLIT FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7504 FUNCTIONAL GRAY
02	PAINTED SMOOTH FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7529 AGREEABLE GRAY
03	CABLE SUPPORTED ALUMINUM CANOPIES	MAPES CANOPIES LLC, OR APPROVED EQUAL	COLOR: CLEAR ANODIZED
04	METAL FRAMED SLOPED CANOPY	MAPES CANOPIES LLC, OR APPROVED EQUAL	COLOR: SELECTED BY OWNER
05	TEXTURED STUCCO FINISH	PARFX USA	COLOR: BLUE LIGHTFINE TEXTURE
06	TEXTURED STUCCO FINISH	PARFX USA	COLOR: AGREEABLE GRAY LIGHTFINE TEXTURE

DRAINAGE BASIN: KING 18-B

TRASH ENCLOSURE ELEVATIONS

EAST ELEVATION

WEST ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

INTERIOR ELEVATION

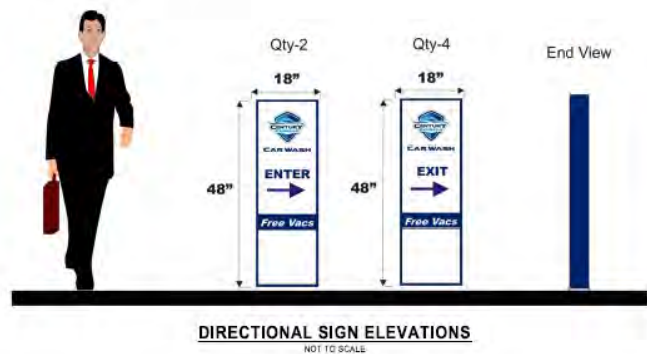
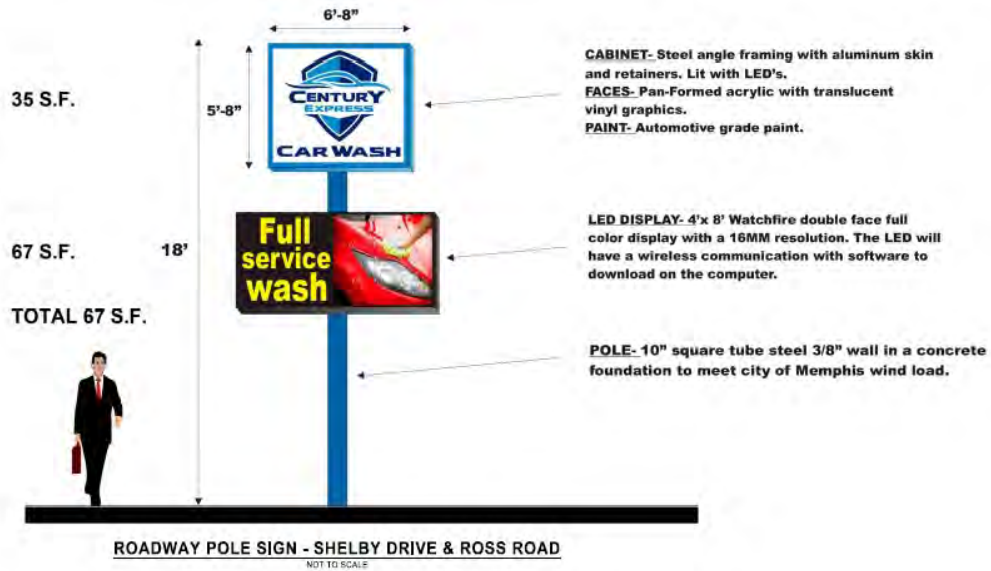
TRASH ENCLOSURE ELEVATIONS

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04	METAL FRAMED SLOPED CANOPY	MAPES CANOPIES LLC, OR APPROVED EQUAL	COLOR: SELECTED BY OWNER
05	TEXTURED STUCCO FINISH	PARFX USA	COLOR: BLUE LIGHTFINE TEXTURE
06	TEXTURED STUCCO FINISH	PARFX USA	COLOR: AGREEABLE GRAY LIGHTFINE TEXTURE
07	TRUCK FENCING MATERIAL	FREX	COLOR TO MATCH SW 7529 AGREEABLE GRAY



DRAINAGE BASIN: KING 18-B		BUILDING ELEVATIONS	
FINAL PLAT			
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH			
CASE NUMBER:	MEMPHIS, TENNESSEE:	ACREAGE: 1.9 ACRES	WARD OR DISTRICT: 33
NUMBER OF LOTS: 01			BLOCK: 700, PARCEL: 506
DEVELOPER: CENTURY EXPRESS CAR WASH	ENGINEER: ETI CORPORATION		
827 HALLIE PARK DRIVE	1765 LYNFIELD ROAD, SUITE 100		
COLLIERVILLE, TN, 38407	MEMPHIS, TN, 38115		
100-YEAR FLOOD ELEVATION: 47.187 CGM&P	FEMA MAP PANEL NUMBER: 47187CGM&P	FEMA MAP DATE: SEPTEMBER 26, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30'	SHEET: 4 OF 6	

BUILDING SIGNS & LOGO



DRAINAGE BASIN: FLETCHER 12-A		SIGN DETAILS	
FINAL PLAT			
AUTUMN CREEK C-P PHASE 5 - CENTURY EXPRESS CAR WASH			
CASE NUMBER: 21TMP-048841	FORMER CASE NUMBERS: 2-99-180		
CORDOVA, TENNESSEE			
NUMBER OF LOTS: 02	ACREAGE: 2.48 ACRES	WARD OR DISTRICT: 38.5.56	
		BLOCK: 800 & 801 PARCEL: 32 & 33	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLIE PARK DRIVE		ENGINEER: ETI CORPORATION 1755 LYNFIELD ROAD, SUITE 100	

STAFF ANALYSIS

Request

The application, planned development general provisions, and letter of intent have been added to this report.

The request is amendment to Ross Creek Planned Development to allow a car wash establishment.

Applicability

Staff disagrees the applicability standards and criteria as set out in Section 4.10.2 of the Unified Development Code are or will be met.

4.10.2 Applicability

The governing bodies may, upon proper application, grant a special use permit for a planned development (see Chapter 9.6) for a tract of any size within the City or for tracts of at least three acres in unincorporated Shelby County to facilitate the use of flexible techniques of land development and site design, by providing relief from district requirements designed for conventional developments, and may establish standards and procedures for planned developments in order to obtain one or more of the following objectives:

- A. Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property.*
- B. Diversification in the uses permitted and variation in the relationship of uses, structures, open space and height of structures in developments intended as cohesive, unified projects.*
- C. Functional and beneficial uses of open space areas.*
- D. Preservation of natural features of a development site.*
- E. Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program.*
- F. Rational and economic development in relation to public services.*
- G. Efficient and effective traffic circulation, both within and adjacent to the development site, that supports or enhances the approved transportation network.*
- H. Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environment and living units.*
- I. Revitalization of established commercial centers of integrated design to order to encourage the rehabilitation of such centers in order to meet current market preferences.*
- J. Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work.*
- K. Consistency with the Memphis 3.0 General Plan.*

General Provisions

Staff disagrees the general provisions standards and criteria as set out in Section 4.10.3 of the Unified Development Code are or will be met.

4.10.3 General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations of the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in this Chapter.

- A. *The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.*
- B. *An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.*
- C. *The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for structures, parking and loading areas or access way shall be landscaped or otherwise improved except where natural features are such as to justify preservation.*
- D. *Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.*
- E. *Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.*
- F. *Lots of record are created with the recording of a planned development final plan.*

Commercial or Industrial Criteria

Approval Criteria

Staff disagrees the approval criteria as set out in Section 9.6.9 of the Unified Development Code are being met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- A. *The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- B. *The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- C. *The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- D. *The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- E. *The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- F. *The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- G. *The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- H. *Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any*

environmental or health concerns.

Consistency with Memphis 3.0

Staff uses the following criteria contained in Memphis 3.0 to determine consistency.

Comprehensive Planning Review

This summary is being produced in response to the following application to support the LUDS department in their recommendation: PD 22-07: Hickory Hill

Site Address/location: 0 Ross Road (Parcel 093700 00556)

Land Use Designation (see page 102 for details): Low Intensity Commercial & Services (CSL)

Based on the future land use and existing adjacent land use the proposal IS NOT CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

1. FUTURE LAND USE PLANNING MAP



Red polygon indicates the application sites on the Future Land Use Map.

2. Land use description & applicability:

Low Intensity Commercial and Service areas consist of low-rise buildings accessible mainly by a car and can encompass up to 5 acres of land for one building. These are outside of the anchor boundary and are usually located or within its own area of multiple commercial and service

service areas are along a corridor amenities

“CSL” Goals/Objectives:

Improved development patterns along auto-oriented corridors, revitalization.



commercial

“CSL” Form & Location Characteristics:

Commercial and services uses. 1-4 stories height.

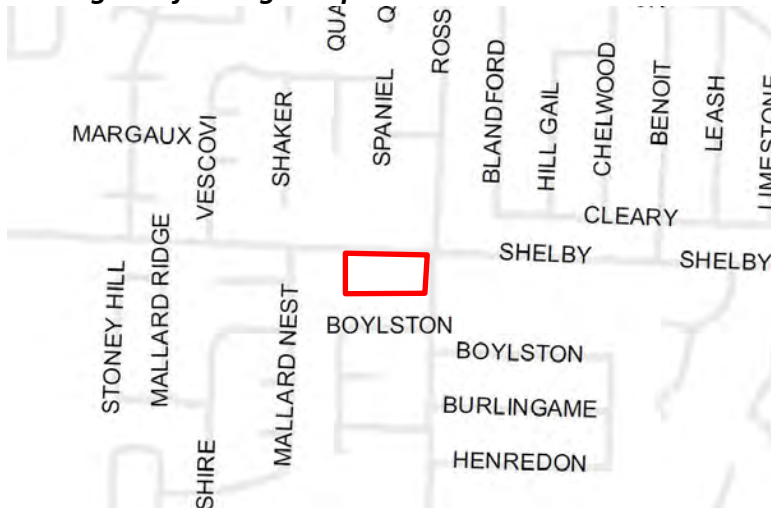
The applicant is seeking approval to amend a planned development amendment with the intention of developing a vehicle wash establishment.

The request meets the criteria in the form of a low-rise building, mainly accessible by car. However, the car wash abuts an existing residential neighborhood. There is not enough of a buffer between the proposed use and existing neighborhood. Additionally, the proposed use will disrupt the current character of the neighborhood.

3. Existing, Adjacent Land Use and Zoning

The subject site is surrounded by the following land uses: Single-Family and Commercial. The subject site is surrounded by the following zoning district and zoning cases: CA and PD 18-046. This requested land use is not compatible with the adjacent land uses because existing land uses surrounding the parcels is not similar in nature to the requested use.

4. Degree of Change map



Red polygon denotes the proposed site in Degree of Change area. There is no degree of change.

5. Degree of Change Descriptions

N/A

Based on the information provided, the proposal IS NOT CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Melanie Batke, Comprehensive Planning.

Conclusions

The applicant is requesting an amendment to Ross Creek Planned Development to allow a car wash establishment.

The site plan is in conformance with the outline plan conditions other than the vehicle which was not included as a permitted use in Parcel A in the previous approved case #PD 94-304 CC because the Unified Development Code (UDC) requires a Special Use permit for this type use in Commercial Mixed Use -1(CMU-1) zoning district.

The proposed development will injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

RECOMMENDATION

Staff recommends rejection; however, if approved, staff recommends the following revisions to the general plan conditions:

1. The final plan shall be re-recorded with amended use conditions.
2. Staff will require an increase in buffer between the car wash and the existing residential neighborhood it abuts off Ross Rd. A final landscape plan is subject to administrative review by the Division of Planning and Development.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer: DATE: **3/28/2022**

CASE: PD-22-007 NAME: **Century Express Car Wash**

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Dept, a determination can be made as to available sewer capacity.
3. If sewer services are approved for this development, all sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

6. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5-foot-wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5-foot clear pedestrian path, an exception may be considered.
7. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
8. The developer's engineer shall submit a **Trip Generation Report** that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

9. The City Engineer shall approve the design, number and location of curb cuts.
10. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.

Drainage:

11. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
12. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
13. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
14. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
15. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

Site Plan Notes:

16. The existing ingress/egress easement to be updated to cover the entire length of the existing curb cut on Ross Rd and to cover exit point from Lot 1 onto Lot 2.
17. The gate arm shall be entirely contained within Lot 1; currently the gate arm is shown extending into Lot 2.

City/County Fire Division:

Case Number: PD 22-07

Date Reviewed: 5/6/22

Reviewed by: J. Stinson

Address or Site Reference: 6685 Shelby

- All design and construction shall comply with the 2021 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect

required fire apparatus access roads, they shall comply with section 503.6 (as amended).

- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

City Real Estate:	No comments received.
City/County Health Department:	No comments received.
Shelby County Schools:	No comments received.
Construction Code Enforcement:	No comments received.
Memphis Light, Gas and Water:	No comments received.
Office of Sustainability and Resilience:	No comments received.
Office of Comprehensive Planning:	No comments received.

APPLICATION



Memphis and Shelby County
Office of Planning and Development

CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

**APPLICATION FOR PLANNED DEVELOPMENT APPROVAL
 (OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

Date: March 10, 2022

Case #: PD 18-046

PLEASE TYPE OR PRINT

Name of Development: Century Express Carwash

Property Owner of Record: Gill Marlin and Herring Phone #: _____

Mailing Address: 8130 Macon ST #114 City/State: Cordova/TN Zip 38018

Property Owner E-Mail Address: _____

Applicant: Century Express Car Wash Phone # 901-870-3213

Mailing Address: 527 Halle Park Drive City/State: Collierville/TN Zip 38017

Applicant E-Mail Address: leroy.ratliff@centurywash.com

Representative: Anita Archambeau and Matt Wolfe, ETI Corp Phone #: 320-267-4411/801-758-0400

Mailing Address: 1755 Lynnfield Road, Suite 100 City/State: Memphis/TN Zip 38119

Representative E-Mail Address: aarchambeau@eticorp.com mwwolfe@eticorp.com

Engineer/Surveyor: ETI Corporation Phone # 901-758-0400

Mailing Address: 1755 Lynnfield Road, Suite 100 City/State: Memphis/TN Zip 38119

Engineer/Surveyor E-Mail Address: mwwolfe@eticorp.com

Street Address Location: Shelby Drive and Ross Road

Distance to nearest intersecting street: At the intersection of Shelby Drive and Ross Road

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>1.9 Acres</u>	_____	_____
Existing Zoning:	<u>CA/PA</u>	_____	_____
Existing Use of Property	<u>Vacant</u>	_____	_____
Requested Use of Property	<u>Vehicle Wash</u>	_____	_____

Medical Overlay District: Per Section 8.2.2D of the UDC, no Planned Developments are permitted in the Medical Overlay District.

Unincorporated Areas: For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

Amendment(s): Is the applicant applying for an amendment to an existing Planned Development?
Yes X No _____

The following modifications to existing planned developments are considered amendments: 1) a change to the permitted uses in a planned development, except in situations where a use of a higher classification is proposed to be changed to a use of a lower classification; 2) a modification to conditions that phases the uses, and 3) a conversion of public streets. See Section 9.6.11E(1) of the UDC for further details.

4.10.3 Planned Development General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations to the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in section 4.10.3:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.
Please See Attached Written Document

- An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.
Please See Attached Written Document

- The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C)
Please See Attached Written Document

- Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.
Please See Attached Written Document

- Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.
Please See Attached Written Document

- Lots of records are created with the recording of a planned development final plan.
Please See Attached Written Document

LETTER OF INTENT



PRINCIPALS

Mathew D. Wolfe
Mark E. Lindstrom
Vincent J. Thillen
Christopher E. Perry
Douglas M. Baker
Steve R. Hooper
Dr. David M. Docauer

March 10, 2022

John Zeanah, AICP
Director of Planning and Development
Office of Planning and Development
125 N. Main Street, Room 477
Memphis, TN 38103

RE: Letter of Intent and Justification
Application for Century Express Car Wash – Planned Development Amendment
(PD 18-046) Intersection of Shelby Drive and Ross Road, Memphis TN

Dear Mr. Zeanah:

On behalf of Century Express Car Wash, ETI Corporation is submitting a Planned Development Amendment application to facilitate the development of an existing vacant lot to a premier vehicle wash establishment. The 1.9-acre property is located at the intersection of Shelby Drive and Ross Road. The site is zoned CA and is part of the Ross Creek Planned Development initially approved in the mid-'80s.

The Applicant proposes developing the under-utilized area by building a thoughtfully designed vehicle wash service. Century Express Car Wash offers the most technologically advanced vehicle washes on the market. To accommodate this use, a request to amend the current planned amendment to allow vehicle washes as a permitted use with the Ross Creek Outline Plan and extend the detached maximum sign/pole height to 18 feet. Further, the proposal is also seeking to clarify signage requirements, including allowing a detached pole sign along each Ross Road and Shelby Drive with up to 35 square feet each, unregulated wall signage per the CL/CMU-1 standards and the ability to attach changeable signage on each detached sign which is typical for commercial developments.

Neighborhood Combability. Like the other businesses adjacent to this project, the site will conform to all building development standards for the CA zoning district and outline plan, including building setbacks, parking requirements, building materials, and landscaping. As proposed, the lot is at the corner of two major roadways (Shelby Drive and Ross Road) with access off of both Ross Road and Shelby Drive.

Vehicle Wash Operations. The establishment will have onsite staff and management to assist customers. The employees are professionally well trained in vehicle wash operations. They take immense pride in the site's appearance, as evidenced by the Century Express Car Wash operations in Southaven. Like other Century Express Car Washes – the anticipated hours of operation may be from 7:30 am to 8:00 pm daily.

Traffic and Interior Circulation. Onsite vehicular circulation was designed following accepted traffic engineering standards. As a result, there will be no issues with vehicle circulation. In addition, as the vehicles leave the pay station, they enter the vehicle wash building, exiting onto a parking area containing free vacuum use, creating an efficient and effective interior traffic circulation pattern.

Mr. Zeanah
March 10, 2022
Page 2 of 5

Economic Impact and Trends The vehicle wash industry is growing due to increased vehicle usage. People are becoming more conscious of the environmental impacts of washing vehicles at their homes. The proposed vehicle wash provides the property with a net increase of patrons who will continue to drive investment and visibility in adjacent properties.

This planned development amendment meets the following 4.10.2 objectives:

Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property. The Century Car Wash Development will be created so that it not only preserves and protects but, in fact, enhances the surrounding commercial and residential properties through the construction of a higher-valued commercial establishment. The development will reflect sensitivity and consistency to the surrounding land uses and encourage the highest quality development of the adjacent properties.

Diversification in the uses permitted and variation in the relationship of uses, structures, open space, and height of structures in developments intended as cohesive, unified projects. This population and driver increase provides an opportunity for the development and the need for a broader range of commercial uses. This project will be a high-quality commercial site and will not create any public interest inconsistencies. Access will continue to be accommodated by the existing roadway to the north and east sides of the property. The increased height for the detached signage both faces established commercial development and would be in keeping with the tone of the commercial area. The site plan provides internal circulation seamlessly. Adequate and required parking for customer and employee parking will be provided.

Functional and beneficial uses of open space areas. All land shown on the plan as common open space will be improved and maintained by the owner, creating a refreshed use of space and landscaping.

Preservation of natural features of a development site. A premium will be placed on preserving the open space areas located on the infill/vacant lot. This is necessary to create a sense of natural amenity and protect against erosion and contamination by runoff on the site.

Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program. Not applicable to this site because it is commercial in use.

Rational and economic development in relation to public services. Century Express Car Wash will provide adequate public facilities and infrastructure and will not place an undue burden on public parks, recreation, public safety, or public facilities. Adequate public facilities and infrastructure are available or will be provided as part of this project's construction. The development will be completed to the high standards anticipated by the commercial and residential neighbors and ensure that all community features and amenities are considered to be common assets are continuously maintained in a quality manner.

Efficient and effective traffic circulation, both within and adjacent to the development site, which supports or enhances the approved transportation network. The site will continue to have an efficient interior circulation plan. No additional trails, sidewalks, or major roadways are required for this development based on adopted plans.

Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environments and living units. Not applicable to this property.

Mr. Zeanah
March 10, 2022
Page 3 of 5

Revitalization of established commercial centers of integrated design to order to encourage the rehabilitation of such centers in order to meet current market preferences. As noted above, adding a vehicle wash service use on a corner commercial lot is not detrimental to the surrounding property's development. In fact, the car wash will serve as a neighborhood amenity to the variety of resident unit types and other auto-oriented businesses in the general vicinity.

Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work. Century Express Car Wash will be created so that it not only preserves and protects but, in fact, enhances adjacent commercial and residential properties through the construction of a higher-valued commercial establishment with building materials that blend seamlessly with the adjacent commercial development. As discussed above, the proposed height for the detached signage would be in keeping with the tone of the commercial area. In addition, the development will reflect sensitivity to the surrounding land uses and encourage the highest quality development of the adjacent properties.

Consistency with the Memphis 3.0: This property is guided for low-intensity commercial and services according to Memphis 3.0. The proposed use and lot redesign will improve existing development patterns along Shelby Drive and Ross Road. The development of this property is not only suitable for this site, but it is also meeting goals and strategies as specified within the Memphis 3.0 plan by which "development and significant market activity are encouraged in accelerate anchors, actions will be developed as a part of the Comprehensive Plan for infill and redesign that promotes a mix of uses that connect to major public amenities." (p 362)

This project meets the following Planned Development General Provisions in Section 4.10.3:
The proposed development will not unduly injure or damage the use, value, and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the City and County's current development policies and plans. The developed use continues to serve the interest and needs of the Memphis community. Therefore, it will not unduly injure or damage the use, value, and enjoyment of the surrounding properties, nor hinder the development/redevelopment of the surrounding properties following the zoning and land use plans. In addition, the proposed commercial business provides the property with a net increase of patrons that will continue to drive investment on the adjacent properties and benefit the adjacent properties and uses.

An approved water supply, community wastewater treatment and disposal, and stormwater drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development. Sewer and storm facilities are or will be in place within the public right of way and are adequate to service the proposed car wash. Engineered construction documents shall be submitted for approval once the planned development amendment is approved.

The location and arrangement of the structures, parking areas, walks, lighting, and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C). This project will be a high-quality commercial site and will not create any inconsistencies with the public interest. Access will be provided from Ross Road and through an existing shared access point on Shelby Drive. The site plan provides internal circulation seamlessly through the alignment of internal ingress/egress systems with the parking lot to the west.

Mr. Zeanah
March 10, 2022
Page 4 of 5

Any modification of the district standards that would otherwise be applicable to the site is warranted by the outline plan's design and the amenities incorporated therein and are not inconsistent with the public interest. This slight amendment to add the car wash as a permitted use within the Planned Development Amendment would allow the car wash to be located at the corner of two major roadways. In addition, the unique site of the lot creates an optimal opportunity for a facility layout which makes the structure arrangement compatible and seamlessly transitions into the surrounding uses.

Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements. The Applicant and the property owner will maintain all landscaping, parking areas, and new buildings.

Lots of records are created with the recording of a planned development final plan. A lot of record will be created with the recording of the planned development final plan.

This planned development meets the following 4.10.5 objectives:

Screening When commercial or industrial structures or uses in a planned commercial or industrial development abut a residential district or permitted residential buildings in the same development, screening may be required by the governing bodies. Per code requirements, screening to the south of the property will be provided.

Display of Merchandise All business, manufacturing, and processing shall be conducted, and all merchandise and materials shall be displayed and stored, within a completely enclosed building or within an open area which is completely screened from the view of adjacent properties and public rights-of-way, provided, however, that when an automobile service station or gasoline sales are permitted in a planned commercial development, gasoline may be sold from pumps outside of a structure. Century Express Car Wash site plan and planned development amendment will meet this requirement and objective.

Accessibility The site shall be accessible from the proposed street network in the vicinity which will be adequate to carry the anticipated traffic of the proposed development. In addition, the streets, and driveways on the site of the proposed development shall be adequate to serve the enterprises located in the proposed development. Century Express Car Wash planned development amendment and site plan will meet this requirement and objective.

Landscaping shall be required to provide screening of objectionable views of uses and the reduction of noise. The intermittent decibel levels generated by Century Express Car Wash operations are similar to the noise generated by Shelby Drive and Ross Road.

We are requesting support and approval for this Planned Development Amendment. This will ensure that the Applicant may repurpose the commercial and auto-centric property and turn it into a productive asset that will increase property values in the area. Please contact me if we can provide additional information or respond to any questions you have concerning this application at aarchambeau@eticorp.com or 320-267-4411.

With best regards,

ETI CORPORATION

Mr. Zeanah
March 10, 2022
Page 5 of 5



Anita M. Archambeau, DPA AICP
Urban Planner

SIGN AFFIDAVIT

AFFIDAVIT

Shelby County
State of Tennessee

I, Matthew D. Wolfe, being duly sworn, depose and say that at 11⁰⁰ (am/pm) on the 19 day of April, 2022, I posted 2 Public Notice Sign(s) pertaining to Case No. PD 2022-007 at see next page for locations, providing notice of a Public Hearing before the _____ Land Use Control Board, _____ Memphis City Council, _____ Shelby County Board of Commissioners for consideration of a proposed Land Use Action (Planned Development, _____ Special Use Permit, _____ Zoning District Map Amendment, _____ Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

Matthew D. Wolfe
Owner, Applicant or Representative

4-19-22
Date

Subscribed and sworn to before me this 19 day of April, 2022

Sheila D. Harkin
Notary Public

My commission expires: 3-28-26



LETTERS RECEIVED

One letter of opposition was received at the time of completion of this report and have subsequently been attached.

From: [Georgette Kearney](#)
To: [Shelton, Teresa](#)
Subject: Re: Planned development; Case no: PD2022-007
Date: Tuesday, March 22, 2022 10:12:05 AM
Attachments: [Outlook-yjppgb0r.png](#)
[Outlook-i1vc41jb.png](#)
[Outlook-zfcovuj3.png](#)
[Outlook-yfwqcals.png](#)
[Outlook-yfwqcals.png](#)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for your reply. This is my response to the opposition of a new car wash in our area.

Hickory Hill area has plenty of car washes within 5 miles of each other and we do not want any more car washes. Unlike other neighborhoods, we would like to receive businesses, such as community organizations, established restaurants, and other positive community improvement center, that will improve the Hickory Hill area instead of lowering property values with businesses that will not improve the demographics of its patrons.

On Tue, Mar 22, 2022, 10:09 AM Shelton, Teresa <Teresa.Shelton@memphistn.gov> wrote:

You can send me an email in writing or you can come to the meeting and speak

Teresa Shelton

Municipal Planner
Land Use and Development Services
Division of Planning and Development
125 N. Main, Ste. 468 Memphis, TN 38103
Phone: 901-636-6619
Cell: 901-295-9034
Email: teresa.shelton@memphistn.gov



Visit our [website](#)

From: Georgette Kearney <gkearney08@gmail.com>
Sent: Tuesday, March 22, 2022 9:37 AM
To: Shelton, Teresa <Teresa.Shelton@memphistn.gov>
Subject: Planned development; Case no: PD2022-007

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open

From: **Georgette Kearney** <gkearney08@gmail.com>
Date: Sun, Mar 20, 2022, 7:52 PM
Subject: Planned development: Case no: PD2022-007
To: <develop901@memphistn.gov>

Good evening,

How can we oppose this planned development? Hickory Hill area has plenty of car washes within 5 miles of each other and we do not want any more car washes. Unlike other neighborhoods, we would like to receive businesses that will improve the Hickory Hill area instead of lowering property values with businesses that will not improve the demographics of its patrons.



MEMPHIS AND SHELBY COUNTY

Record Summary for Planned Development

Record Detail Information

Record Type: **Planned Development**

Record Status: **Assignment**

Opened Date: **March 10, 2022**

Record Number: **PD 2022-007**

Expiration Date:

Record Name: **Century Express Car Wash-Shelby Drive & Ross Road**

Description of Work: On behalf of Century Express Car Wash, ETI Corporation is submitting a Planned Development Amendment application to facilitate the development of an existing vacant lot to a premier vehicle wash establishment. The 1.9-acre property is located at the intersection of Shelby Drive and Ross Road. The site is zoned CA and is part of the Ross Creek Planned Development initially approved in the mid-'80s.

The Applicant proposes developing the under-utilized area by building a thoughtfully designed vehicle wash service. Century Express Car Wash offers the most technologically advanced vehicle washes on the market. To accommodate this use, a request to amend the current planned amendment to allow vehicle washes as a permitted use with the Ross Creek Outline Plan and extend the detached maximum sign/pole height to 18 feet. Further, the proposal is also seeking to clarify signage requirements, including allowing a detached pole sign along each Ross Road and Shelby Drive with up to 35 square feet each, unregulated wall signage per the CL/CMU-1 standards and the ability to attach changeable signage on each detached sign which is typical for commercial developments.

Parent Record Number:

Address: 6685 SHELBY DR, MEMPHIS 38141

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	GILL MARTIN & HERRING	8130 MACON STA, CORDOVA, TN 38018	

Parcel Information

Parcel No:
093700 00556

Contact Information

Name	Organization Name	Contact Type	Phone
	ETI Corporation DBA. ETI Corporation	Applicant	(901) 383-3250
Suffix:			
Address			

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed	Unit	Fee Code
1366631	Credit Card Use Fee (.026 x fee)	1	39.00	INVOICED	0.00	03/10/2022		PLNGPUD08
1366631	Planned Development - 5 acres or less	1	1,500.00	INVOICED	0.00	03/10/2022	Acres	PLNGPUD01
Total Fee Invoiced: \$1,539.00					Total Balance: \$0.00			

Payment Information

Payment Amount	Method of Payment
\$1,539.00	Credit Card

Data Fields**PREAPPLICATION MEETING**

Name of DPD Planner	LUCAS SKINNER
Date of Meeting	-

GENERAL PROJECT INFORMATION

Planned Development Type	Amendment to Existing PD
Previous Docket / Case Number	PD 18-046 PD 94-304 CC
Medical Overlay / Uptown	No
If this development is located in unincorporated Shelby County, is the tract at least three acres? (Note a tract of less than three acres is not eligible for a planned development in unincorporated Shelby County)	N/A
Is this application in response to a citation, stop work order, or zoning letter	No

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information

N/A

APPROVAL CRITERIA

UDC Sub-Section 9.6.9A

Like the other businesses adjacent to this project, the site will conform to all building development standards for the CA zoning district and outline plan, including building setbacks, parking requirements, building materials, and landscaping. As proposed, the lot is at the corner of two major roadways (Shelby Drive and Ross Road) with access off of both Ross Road and Shelby Drive.

UDC Sub-Section 9.6.9B

Development will be created so that it not only preserves and protects but, in fact, enhances the surrounding commercial and residential properties through the construction of a higher-valued commercial establishment. The development will reflect sensitivity and consistency to the surrounding land uses and encourage the highest quality development of the adjacent properties.

UDC Sub-Section 9.6.9C

Sewer and storm facilities are or will be in place within the public right of way and are adequate to service the proposed car wash. Engineered construction documents shall be submitted for approval once the planned development amendment is approved.

UDC Sub-Section 9.6.9D

The developed use continues to serve the interest and needs of the Memphis community. Therefore, it will not unduly injure or damage the use, value, and enjoyment of the surrounding properties, nor hinder the development/redevelopment of the surrounding properties following the zoning and land use plans. In addition, the proposed commercial business provides the property with a net increase of patrons that will continue to drive investment on the adjacent properties and benefit the adjacent properties and uses.

UDC Sub-Section 9.6.9E

YES

This property is guided for low-intensity commercial and services according to Memphis 3.0. The proposed use and lot redesign will improve existing development patterns along Shelby Drive and Ross Road. The development of this property is not only suitable for this site, but it is also meeting goals and strategies as specified within the Memphis 3.0 plan by which "development and significant market activity are encouraged in accelerate anchors, actions will be developed as a part of the Comprehensive Plan for infill and redesign that promotes a mix of uses that connect to major public amenities." (p 362)

GENERAL PROVISIONS

UDC Sub-Section 4.10.3A

The developed use continues to serve the interest and needs of the Memphis community. Therefore, it will not unduly injure or damage the use, value, and enjoyment of the surrounding properties, nor hinder the development/redevelopment of the surrounding properties following the zoning and land use plans. In addition, the proposed commercial business provides the property with a net increase of patrons that will continue to drive investment on the adjacent properties and benefit the adjacent properties and uses.

B) An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development

Sewer and storm facilities are or will be in place within the public right of way and are adequate to service the proposed car wash. Engineered construction documents shall be submitted for approval once the planned development amendment is approved.

C) The location and arrangement of the structures, parking and loading areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for such facilities shall be landscaped or otherwise improved except where natural features are such as to justify preservation

This project will be a high-quality commercial site and will not create any inconsistencies with the public interest. Access will be provided from Ross Road and through an existing shared access point on Shelby Drive. The site plan provides internal circulation seamlessly through the alignment of internal ingress/egress systems with the parking lot to the west.

D) Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest

This slight amendment to add the car wash as a permitted use within the Planned Development Amendment would allow the car wash to be located at the corner of two major roadways. In addition, the unique site of the lot creates an optimal opportunity for a facility layout which makes the structure arrangement compatible and seamlessly transitions into the surrounding uses.

E) Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements

The Applicant and the property owner will maintain all landscaping, parking areas, and new buildings.

F) Lots of record are created with the recording of a planned development final plan

A lot of record will be created with the recording of the planned development final plan.

GIS INFORMATION

Central Business Improvement District	No
Case Layer	BOA1986-075, PD94-304cc, PD18-046
Class	C
Downtown Fire District	No
Historic District	-
Land Use	VACANT
Municipality	MEMPHIS
Overlay/Special Purpose District	-
Zoning	CA
State Route	1
Lot	-
Subdivision	ROSS CREEK PD AMENDED OUTLN PL PT PAR A
Planned Development District	-



Memphis and Shelby County
Office of Planning and Development

CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

**APPLICATION FOR PLANNED DEVELOPMENT APPROVAL
 (OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

Date: March 10, 2022

Case #: PD 18-046

PLEASE TYPE OR PRINT

Name of Development: Century Express Carwash

Property Owner of Record: Gill Martin and Herring Phone #: _____

Mailing Address: 8130 Macon ST #114 City/State: Cordova/TN Zip 38018

Property Owner E-Mail Address: _____

Applicant: Century Express Car Wash Phone # 901-870-3213

Mailing Address: 527 Halle Park Drive City/State: Collierville/TN Zip 38017

Applicant E- Mail Address: leroy.ratliff@centurywash.com

Representative: Anita Archambeau and Matt Wolfe, ETI Corp Phone #: 320-267-4411/901-758-0400

Mailing Address: 1755 Lynnfield Road, Suite 100 City/State: Memphis/TN Zip 38119

Representative E-Mail Address: aarchambeau@eticorp.com mwolfe@eticorp.com

Engineer/Surveyor: ETI Corporation Phone # 901-758-0400

Mailing Address: 1755 Lynnfield Road, Suite 100 City/State: Memphis/TN Zip 38119

Engineer/Surveyor E-Mail Address: mwolfe@eticorp.com

Street Address Location: Shelby Drive and Ross Road

Distance to nearest intersecting street: At the intersection of Shelby Drive and Ross Road

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>1.9 Acres</u>	_____	_____
Existing Zoning:	<u>CA/PD</u>	_____	_____
Existing Use of Property	<u>Vacant</u>	_____	_____
Requested Use of Property	<u>Vehicle Wash</u>	_____	_____

Medical Overlay District: Per Section 8.2.2D of the UDC, no Planned Developments are permitted in the Medical Overlay District.

Unincorporated Areas: For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

Amendment(s): Is the applicant applying for an amendment to an existing Planned Development?

Yes No

The following modifications to existing planned developments are considered amendments: 1) a change to the permitted uses in a planned development, except in situations where a use of a higher classification is proposed to be changed to a use of a lower classification; 2) a modification to conditions that phases the uses, and 3) a conversion of public streets. See Section 9.6.11E(1) of the UDC for further details.

4.10.3 Planned Development General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations to the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in section 4.10.3:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.
Please See Attached Written Document

- An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.
Please See Attached Written Document

- The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C)
Please See Attached Written Document

- Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.
Please See Attached Written Document

- Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.
Please See Attached Written Document

- Lots of records are created with the recording of a planned development final plan.
Please See Attached Written Document

development is to be designed, arranged and operated in order to limit impact to neighboring properties.

- d) A description of the applicant's planning objectives, the approaches to be followed in achieving those objectives.

C. **OUTLINE PLAN**

1) Two (2) copies of an Outline Plan shall be submitted and drawn at a scale of not less 1"=100' for developments of less than 150 acres, 1"=200' for developments between 150 and 1,000 acres, and 1"=300' feet for developments in excess of 1,000 acres. If property is encumbered by easements, show type and location on plot plan.

2) Two (2) copies of legal description shall be attached to plot plan if not shown or described on the plan

- D. **SITE/CONCEPT PLAN** – Two (2) copies of the site/concept plan shall be submitted and depict the following: (a) property boundary lines and dimensions, existing utilities and easements, roadways, rail lines and public rights-of-way, crossing adjacent to the subject property; (b) the proposed height, dimensions and arrangements of buildings on the property; (c) the type and location of proposed landscaping; (d) the location of points of ingress/egress (driveways), parking lots and loading areas on the site; and (e) any proposed substantial re-grading of the site and any significant topographical or physical features of the site including water courses or ponds. Site/Concept plans shall be drawn at a scale of not less 1"=100' for developments of less than 150 acres, 1"=200' for developments between 150 and 1,000 acres, and 1"=300' feet for developments in excess of 1,000 acres.

- E. **ELEVATIONS** – Two (2) copies of building elevations *may* be required upon request by the Office of Planning and Development. Factors that will be taken into consideration by the Office of Planning and Development in its determination that building elevations are required are surrounding land uses, frontage requirements and proximity of the requested building(s) to the public right-of-way.

F. **VICINITY MAP**

Two (2) copies showing the subject property (boldly outlined) and all parcels within a 500' radius. If the 500' radius includes less than 25 property owners, the radius shall be extended at 100' intervals to reach a minimum of 25 property owners provided, however, that the maximum total radius is 1,500'. Show for each parcel its dimensions, owner's name (on the vicinity map unless prior approval is given to do otherwise) and the public streets, alleys or private drives that it abuts. In situations where the parcels on the map are so small that the property owner's names are unable to fit and numbered legend is used, every effort should be made to place the legend on the map itself and not a separate sheet.

G. **LIST OF NAMES AND ADDRESSES**

1) Two (2) complete lists of names and mailing addresses, including zip codes, of all owners shown on the vicinity map, typewritten on 1"x 2^{5/8}" self-adhesive mailing labels and 2 paper sets. Three (3) sets of gummed back mailing labels and paper copies are needed for subject properties located in Shelby County but within five (5) miles of the Memphis City limits.

2) Two (2) self-adhesive mailing labels (1"x 2^{5/8}" each for the owner of record, applicant, representative and/or engineer/surveyor.

H. **FILING FEES** (*All Fees Are Subject To Change without Prior Notice*)

1) Planned Development: 5.0 Acres or less=\$1,500. Each additional acre or fraction thereof =\$100, Maximum =\$10,000. Make check payable to "M/SC Office of Planning and Development"

***ALL APPLICATIONS MUST BE SUBMITTED IN PERSON AND THE SUBMITTER MUST RECEIVE A RECEIPT OF ACCEPTANCE FROM STAFF**



PRINCIPALS

Mathew D. Wolfe
Mark E. Lindstrom
Vincent J. Thillen
Christopher E. Perry
Douglas M. Baker
Steve R. Hooper
Dr. David M. Docauer

March 10, 2022

John Zeanah, AICP
Director of Planning and Development
Office of Planning and Development
125 N. Main Street, Room 477
Memphis, TN 38103

RE: Letter of Intent and Justification
Application for Century Express Car Wash – Planned Development Amendment
(PD 18-046) Intersection of Shelby Drive and Ross Road, Memphis TN

Dear Mr. Zeanah:

On behalf of Century Express Car Wash, ETI Corporation is submitting a Planned Development Amendment application to facilitate the development of an existing vacant lot to a premier vehicle wash establishment. The 1.9-acre property is located at the intersection of Shelby Drive and Ross Road. The site is zoned CA and is part of the Ross Creek Planned Development initially approved in the mid-'80s.

The Applicant proposes developing the under-utilized area by building a thoughtfully designed vehicle wash service. Century Express Car Wash offers the most technologically advanced vehicle washes on the market. To accommodate this use, a request to amend the current planned amendment to allow vehicle washes as a permitted use with the Ross Creek Outline Plan and extend the detached maximum sign/pole height to 18 feet. Further, the proposal is also seeking to clarify signage requirements, including allowing a detached pole sign along each Ross Road and Shelby Drive with up to 35 square feet each, unregulated wall signage per the CL/CMU-1 standards and the ability to attach changeable signage on each detached sign which is typical for commercial developments.

Neighborhood Combability. Like the other businesses adjacent to this project, the site will conform to all building development standards for the CA zoning district and outline plan, including building setbacks, parking requirements, building materials, and landscaping. As proposed, the lot is at the corner of two major roadways (Shelby Drive and Ross Road) with access off of both Ross Road and Shelby Drive.

Vehicle Wash Operations. The establishment will have onsite staff and management to assist customers. The employees are professionally well trained in vehicle wash operations. They take immense pride in the site's appearance, as evidenced by the Century Express Car Wash operations in Southaven. Like other Century Express Car Washes – the anticipated hours of operation may be from 7:30 am to 8:00 pm daily.

Traffic and Interior Circulation. Onsite vehicular circulation was designed following accepted traffic engineering standards. As a result, there will be no issues with vehicle circulation. In addition, as the vehicles leave the pay station, they enter the vehicle wash building, exiting onto a parking area containing free vacuum use, creating an efficient and effective interior traffic circulation pattern.

Economic Impact and Trends The vehicle wash industry is growing due to increased vehicle usage. People are becoming more conscious of the environmental impacts of washing vehicles at their homes. The proposed vehicle wash provides the property with a net increase of patrons who will continue to drive investment and visibility in adjacent properties.

This planned development amendment meets the following 4.10.2 objectives:

Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property. The Century Car Wash Development will be created so that it not only preserves and protects but, in fact, enhances the surrounding commercial and residential properties through the construction of a higher-valued commercial establishment. The development will reflect sensitivity and consistency to the surrounding land uses and encourage the highest quality development of the adjacent properties.

Diversification in the uses permitted and variation in the relationship of uses, structures, open space, and height of structures in developments intended as cohesive, unified projects. This population and driver increase provides an opportunity for the development and the need for a broader range of commercial uses. This project will be a high-quality commercial site and will not create any public interest inconsistencies. Access will continue to be accommodated by the existing roadway to the north and east sides of the property. The increased height for the detached signage both faces established commercial development and would be in keeping with the tone of the commercial area. The site plan provides internal circulation seamlessly. Adequate and required parking for customer and employee parking will be provided.

Functional and beneficial uses of open space areas. All land shown on the plan as common open space will be improved and maintained by the owner, creating a refreshed use of space and landscaping.

Preservation of natural features of a development site. A premium will be placed on preserving the open space areas located on the infill/vacant lot. This is necessary to create a sense of natural amenity and protect against erosion and contamination by runoff on the site.

Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program. Not applicable to this site because it is commercial in use.

Rational and economic development in relation to public services. Century Express Car Wash will provide adequate public facilities and infrastructure and will not place an undue burden on public parks, recreation, public safety, or public facilities. Adequate public facilities and infrastructure are available or will be provided as part of this project's construction. The development will be completed to the high standards anticipated by the commercial and residential neighbors and ensure that all community features and amenities are considered to be common assets are continuously maintained in a quality manner.

Efficient and effective traffic circulation, both within and adjacent to the development site, which supports or enhances the approved transportation network. The site will continue to have an efficient interior circulation plan. No additional trails, sidewalks, or major roadways are required for this development based on adopted plans.

Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environments and living units. Not applicable to this property.

Revitalization of established commercial centers of integrated design in order to encourage the rehabilitation of such centers in order to meet current market preferences. As noted above, adding a vehicle wash service use on a corner commercial lot is not detrimental to the surrounding property's development. In fact, the car wash will serve as a neighborhood amenity to the variety of resident unit types and other auto-oriented businesses in the general vicinity.

Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work. Century Express Car Wash will be created so that it not only preserves and protects but, in fact, enhances adjacent commercial and residential properties through the construction of a higher-valued commercial establishment with building materials that blend seamlessly with the adjacent commercial development. As discussed above, the proposed height for the detached signage would be in keeping with the tone of the commercial area. In addition, the development will reflect sensitivity to the surrounding land uses and encourage the highest quality development of the adjacent properties.

Consistency with the Memphis 3.0: This property is guided for low-intensity commercial and services according to Memphis 3.0. The proposed use and lot redesign will improve existing development patterns along Shelby Drive and Ross Road. The development of this property is not only suitable for this site, but it is also meeting goals and strategies as specified within the Memphis 3.0 plan by which "development and significant market activity are encouraged in accelerate anchors, actions will be developed as a part of the Comprehensive Plan for infill and redesign that promotes a mix of uses that connect to major public amenities." (p 362)

This project meets the following Planned Development General Provisions in Section 4.10.3: The proposed development will not unduly injure or damage the use, value, and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the City and County's current development policies and plans. The developed use continues to serve the interest and needs of the Memphis community. Therefore, it will not unduly injure or damage the use, value, and enjoyment of the surrounding properties, nor hinder the development/redevelopment of the surrounding properties following the zoning and land use plans. In addition, the proposed commercial business provides the property with a net increase of patrons that will continue to drive investment on the adjacent properties and benefit the adjacent properties and uses.

An approved water supply, community wastewater treatment and disposal, and stormwater drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development. Sewer and storm facilities are or will be in place within the public right of way and are adequate to service the proposed car wash. Engineered construction documents shall be submitted for approval once the planned development amendment is approved.

The location and arrangement of the structures, parking areas, walks, lighting, and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C). This project will be a high-quality commercial site and will not create any inconsistencies with the public interest. Access will be provided from Ross Road and through an existing shared access point on Shelby Drive. The site plan provides internal circulation seamlessly through the alignment of internal ingress/egress systems with the parking lot to the west.

Any modification of the district standards that would otherwise be applicable to the site is warranted by the outline plan's design and the amenities incorporated therein and are not inconsistent with the public interest. This slight amendment to add the car wash as a permitted use within the Planned Development Amendment would allow the car wash to be located at the corner of two major roadways. In addition, the unique site of the lot creates an optimal opportunity for a facility layout which makes the structure arrangement compatible and seamlessly transitions into the surrounding uses.

Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements. The Applicant and the property owner will maintain all landscaping, parking areas, and new buildings.

Lots of records are created with the recording of a planned development final plan. A lot of record will be created with the recording of the planned development final plan.

This planned development meets the following 4.10.5 objectives:

Screening When commercial or industrial structures or uses in a planned commercial or industrial development abut a residential district or permitted residential buildings in the same development, screening may be required by the governing bodies. Per code requirements, screening to the south of the property will be provided.

Display of Merchandise All business, manufacturing, and processing shall be conducted, and all merchandise and materials shall be displayed and stored, within a completely enclosed building or within an open area which is completely screened from the view of adjacent properties and public rights-of-way, provided, however, that when an automobile service station or gasoline sales are permitted in a planned commercial development, gasoline may be sold from pumps outside of a structure. Century Express Car Wash site plan and planned development amendment will meet this requirement and objective.

Accessibility The site shall be accessible from the proposed street network in the vicinity which will be adequate to carry the anticipated traffic of the proposed development. In addition, the streets, and driveways on the site of the proposed development shall be adequate to serve the enterprises located in the proposed development. Century Express Car Wash planned development amendment and site plan will meet this requirement and objective.

Landscaping shall be required to provide screening of objectionable views of uses and the reduction of noise. The intermittent decibel levels generated by Century Express Car Wash operations are similar to the noise generated by Shelby Drive and Ross Road.

We are requesting support and approval for this Planned Development Amendment. This will ensure that the Applicant may repurpose the commercial and auto-centric property and turn it into a productive asset that will increase property values in the area. Please contact me if we can provide additional information or respond to any questions you have concerning this application at aarchambeau@eticorp.com or 320-267-4411.

With best regards,

ETI CORPORATION

Mr. Zeanah
March 10, 2022
Page 5 of 5



Anita M. Archambeau, DPA AICP
Urban Planner

MEMPHIS AND SHELBY COUNTY  **DIVISION OF PLANNING AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, Century One LLC, state that I have read the definition of "Owner" as outlined in the

Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises

I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at Shelby Drive/Ross Road Memphis TN 38125 and further identified by Assessor's Parcel Number 093700 00556 for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 03 day of March in the year of 2022.

Christina Carson

Signature of Notary Public



November 01, 2025

My Commission Expires

LAND USE OWNERSHIP DISCLOSURE

Please identify every person who has an ownership interest of 10% or more in the subject application whether they be the current owners, the contract buyers, or the lenders. If current owner or contract buyer are public corporations, please note the fact and list no other owners. Only lenders which are not institutions (banks, saving and loans or credit unions) need be listed.

	NAMES	ADDRESSES
<u>CURRENT OWNERS</u>	Gill and Martin & Herring_____	8130 MACON ST #114 CORDOVA TN 38018
	_____	_____
	_____	_____
	_____	_____
<u>CONTRACT OWNERS/BUYERS</u>	Century Express Car Wash_____	_527 Halle Park Drive, Collierville TN_____
	_____	_____
	_____	_____
<u>NON-INSTITUTIONAL LENDERS INCLUDING SELLER(S) IF THE PENDING SALE IS OWNER FINANCED</u>		
	_____	_____
	_____	_____
	_____	_____
	_____	_____

PRIOR TO LAND DISTURBANCE, EROSION PREVENTION SEDIMENT CONTROL (EPSC) MEASURES SHALL BE IMPLEMENTED PER CITY ORDINANCES 4538 & 5446.

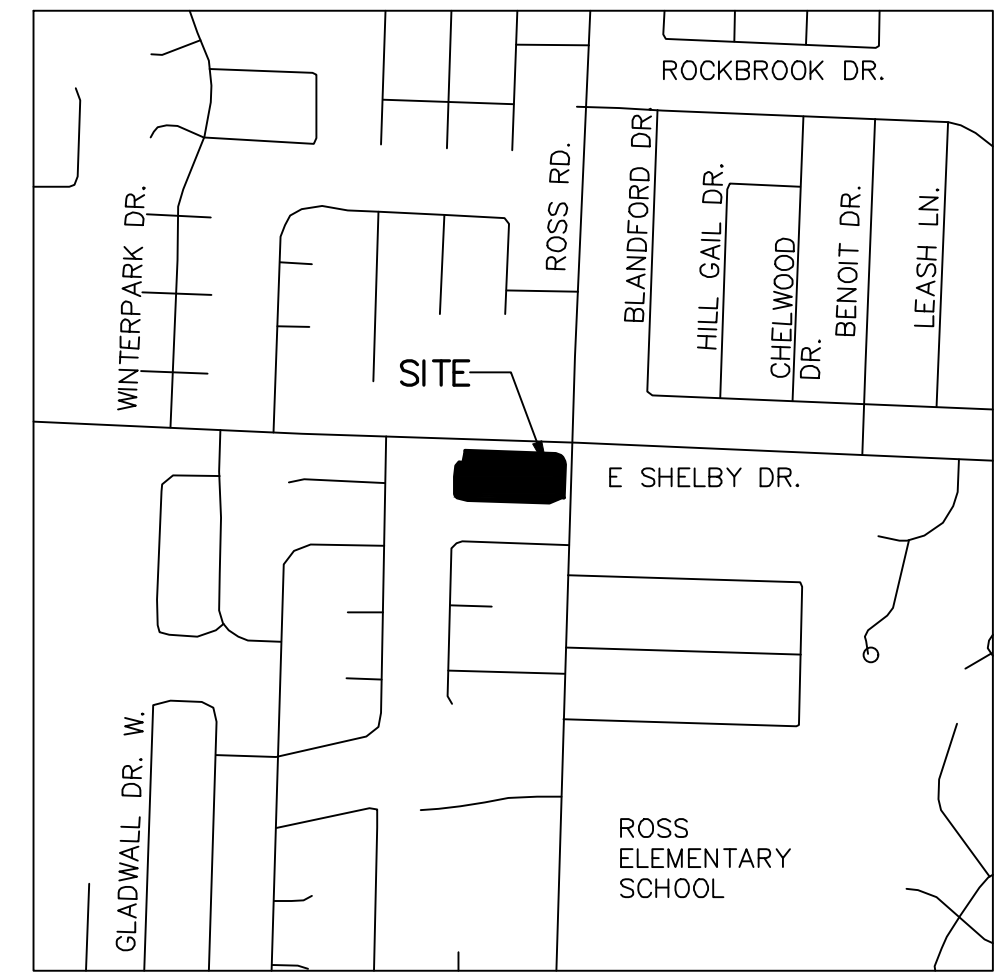
I. NO TREES, SHRUBS, PERMANENT STRUCTURES, OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT. NO OTHER UTILITIES OR SERVICES MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.

II. THE CITY OF MEMPHIS SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.

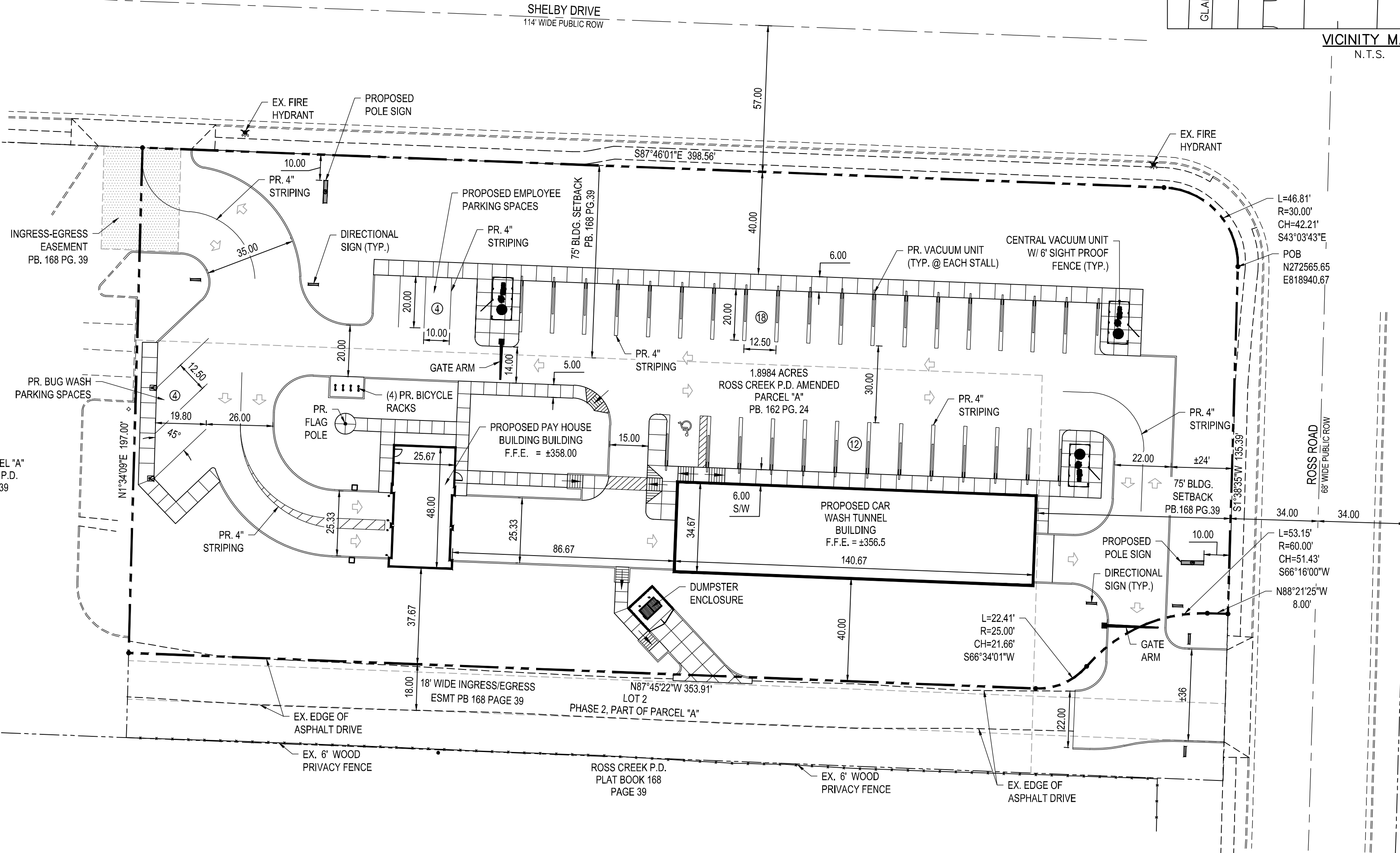
PLEASE BE ADVISED THAT A BUILDING PERMIT ISSUED BY THE MEMPHIS/SHELBY COUNTY OFFICE OF CONSTRUCTION CODE ENFORCEMENT DOES NOT ALLOW FOR ALTERATIONS AND/OR IMPROVEMENTS TO ANY RIGHT OF WAY (ROW) MAINTAINED BY THE CITY OF MEMPHIS. ALTERATIONS AND/OR IMPROVEMENTS TO THE CITY OF MEMPHIS ROW INCLUDE BUT ARE NOT LIMITED TO WORK PERFORMED ON SIDEWALKS, CURB AND GUTTER, DRIVE APRONS AND UTILITY TIE-INS. ROW PERMITS MUST BE OBTAINED FROM THE MEMPHIS CITY ENGINEER'S OFFICE AT (901) 636-6700.

CITY BENCH MARK:
CITY OF MEMPHIS BENCHMARK #254
ELEVATION: 341.95
MAP & BLOCK: 152-L
STREET NAME: RIVERDALE RD. AND SHELBY DR.
DESCRIPTION: CITY MONUMENT IS LOCATED ON THE NE COR., AT B/CURB ER ON GERMANTOWN EXTD. SIDE. RESET 1997.

FEMA FLOOD NOTE:
THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 47157C0465F DATED SEPTEMBER 28, 2007. NEAREST BFE - 343.00



VICINITY MAP
N.T.S.

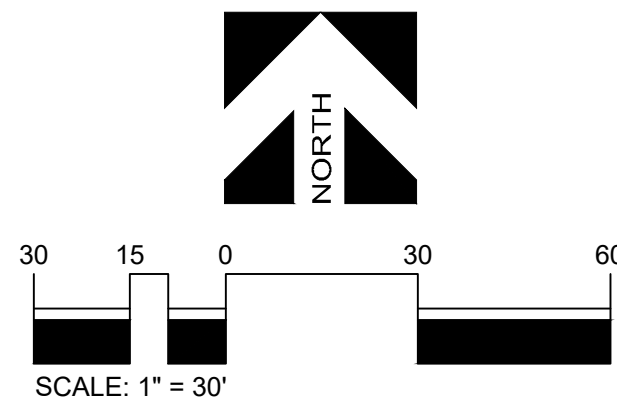


SITE DATA:
ZONING: CA/PD
USE: AUTOMATIC CAR WASH
CAR WASH BUILDING HT.: 26'-0"
CAR WASH PAY STATION HT.: 21'-4"
EMPLOYEE PARKING PROVIDED: 4 SPACES
PERVIOUS SURFACES: 43,560 S.F. OR 1.0 AC. (53%)
IMPERVIOUS SURFACES: 38,768 S.F. OR 0.89 AC. (47%)

EXISTING SIDEWALK TABLE			
STREET NAME	SIDEWALK WIDTH	SIDE	LOCATION FROM BACK OF CURBLINE
SHELBY DRIVE	5 FEET	SOUTH	WIDTH VARIES (GRASS STRIP)
ROSS ROAD	5 FEET	WEST	4.5 FEET (GRASS STRIP)

THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGES OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AN OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO USE AN OCCUPANCY OF THE BUILDING.

* NOTE: If there is no curblin measure from the edge of pavement.



SCRO RECORDING LABEL

ENGINEERING • SURVEYING • LAND PLANNING • LANDSCAPE ARCHITECTURE

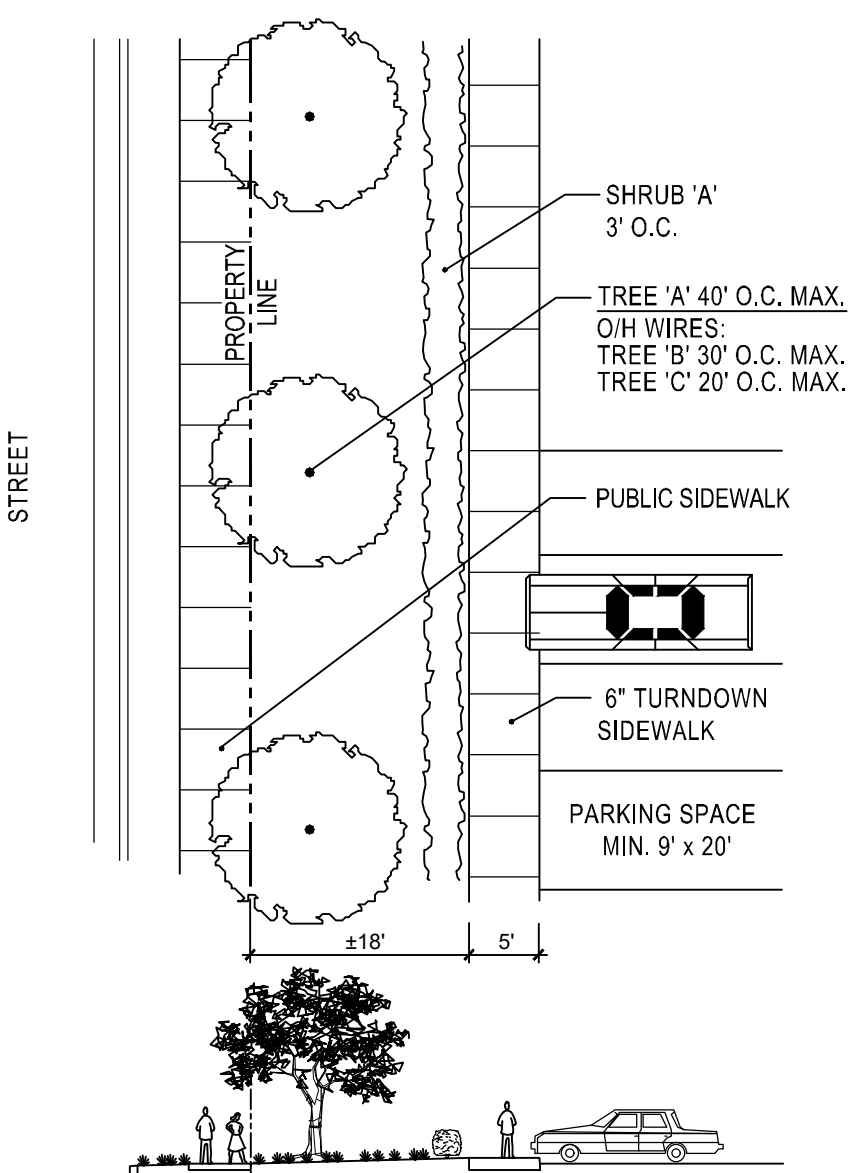
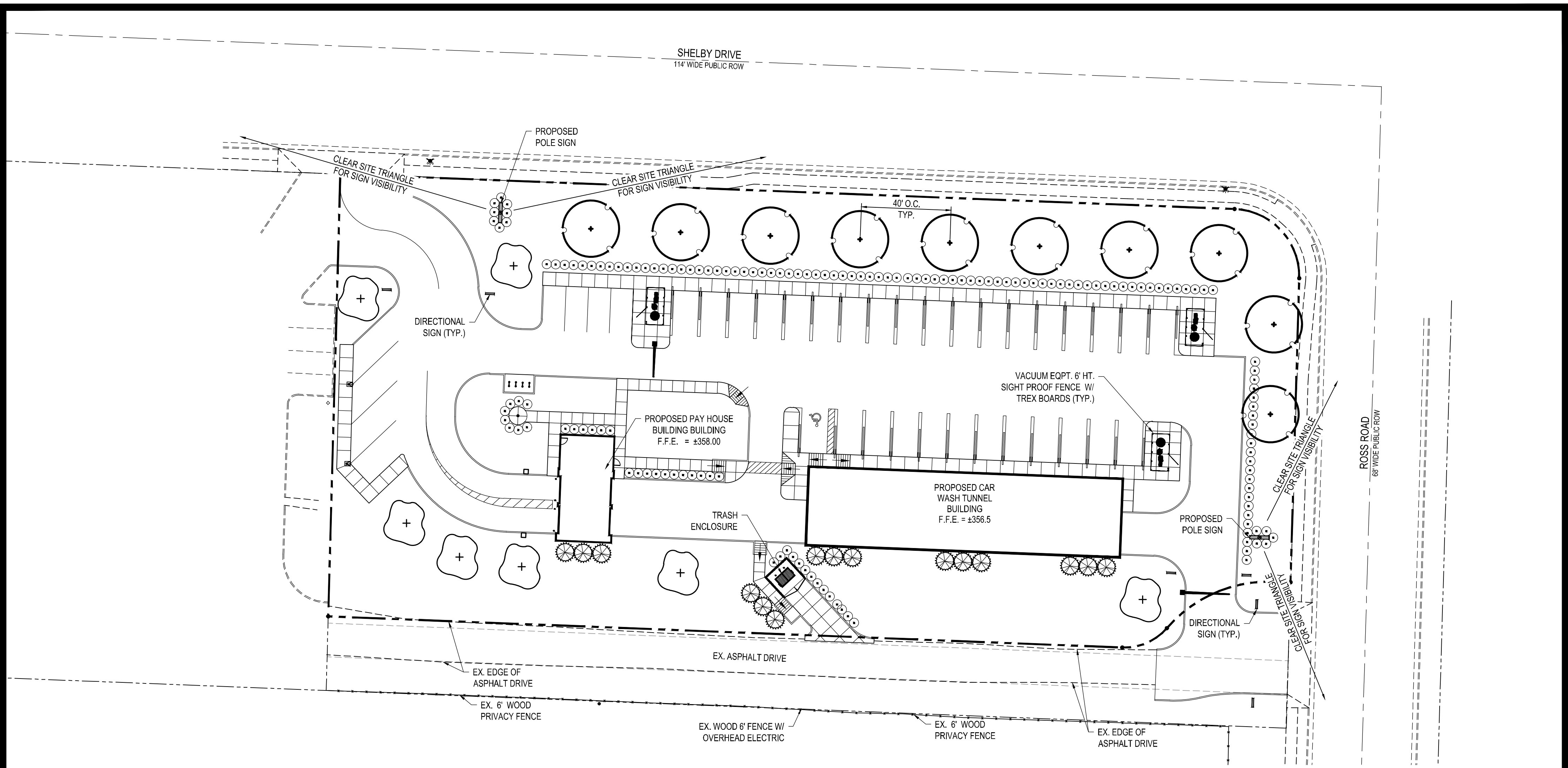
1755 LYNNFIELD ROAD, SUITE 100 • MEMPHIS, TENNESSEE 38119 • (901)758-0400 • ETICORP.COM

DRAINAGE BASIN: KING 18-B

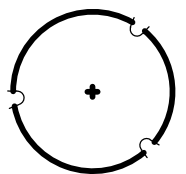
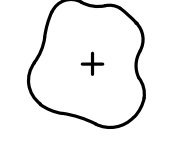


FINAL PLAT **SITE PLAN**

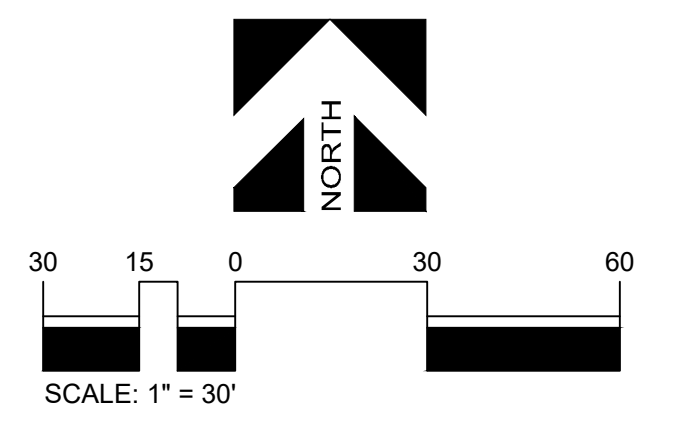
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH

CASE NUMBER: MEMPHIS, TENNESSEE		FORMER CASE NUMBERS:	
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT: 93	BLOCK: 700, PARCEL: 556
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION:	FEMA MAP PANEL NUMBER: 47157C0465F	FEMA MAP DATE: SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30'	SHEET 1 OF 6	

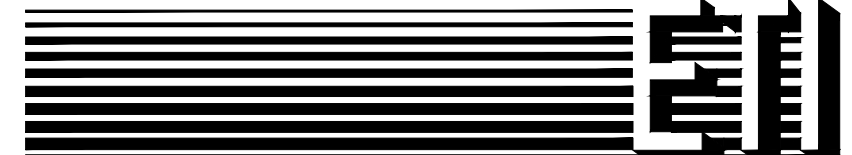


LANDSCAPE LEGEND:

-  LARGE DECIDUOUS TREE - 2.5" Caliper, 12-14' Height, Field Grown
-  SMALL - MEDIUM FLOWERING OR ACCENT TREE - 1.5" Caliper, 8' Height, Container
-  LARGE EVERGREEN SCREENING SHRUB - 6' Height, Container
-  MEDIUM - SMALL EVERGREEN SHRUB - 3 Gallon Container



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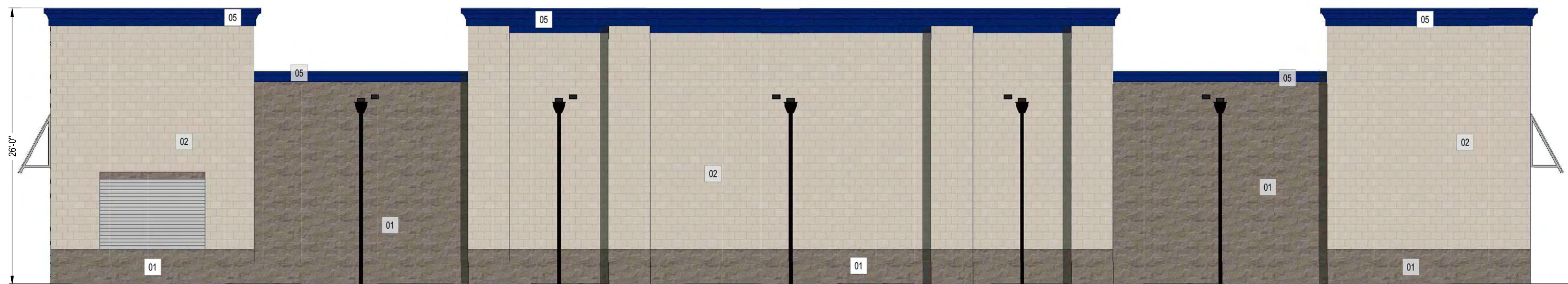
1755 LYNNFIELD ROAD, SUITE 100 • MEMPHIS, TENNESSEE 38119 • (901)758-0400 • ETICORP.COM

DRAINAGE BASIN: KING 18-B

FINAL PLAT		CONCEPTUAL LANDSCAPE PLAN	
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH			
CASE NUMBER:		FORMER CASE NUMBERS:	
MEMPHIS, TENNESSEE			
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT <u>93</u> , BLOCK <u>700</u> , PARCEL <u>556</u>	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION:	FEMA MAP PANEL NUMBER:	FEMA MAP DATE:	
-	47157C0465F	SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30	SHEET 2 OF 6	



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

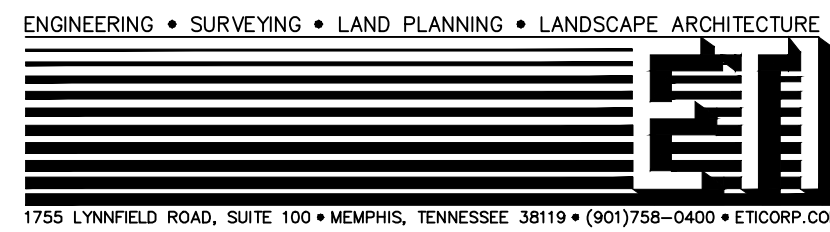


WEST ELEVATION

EXTERIOR FINISH SHEDULE

KEY	DESCRIPTION	MANUFACTURER	PRODUCT DESCRIPTION
01	PAINTED SPLIT FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7024 FUNCTIONAL GRAY
02	PAINTED SMOOTH FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7029 AGREEABLE GRAY
03	CABLE SUPPORTED ALUMINUM CANOPIES	MAPES CANOPIES LLC .OR APPROVED EQUAL	COLOR: CLEAR ANODIZED
04	METAL FRAMED SLOPED CANOPY	MAPES CANOPIES LLC .OR APPROVED EQUAL	COLOR: SELECTED BY OWNER
05	TEXTURED STUCCO FINISH	PAREX USA	COLOR: BLUE TEXTURE: LIGHT/FINE TEXTURE
06	TEXTURED STUCCO FINISH	PAREX USA	COLOR: AGREEABLE GRAY TEXTURE: LIGHT/FINE TEXTURE

CAR WASH TUNNEL BUILDING ELEVATIONS



DRAINAGE BASIN: KING 18-B

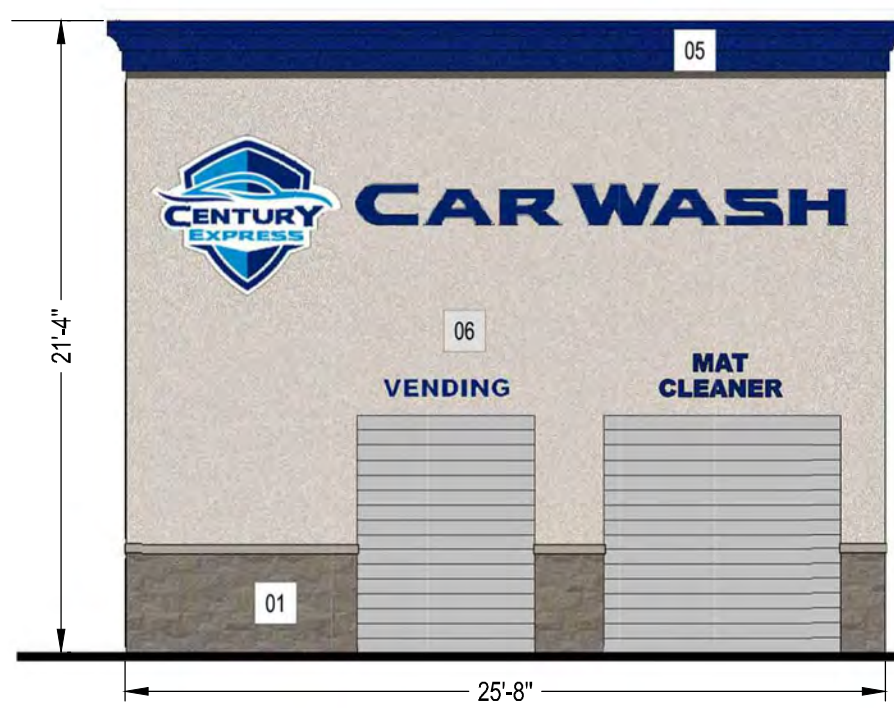
FINAL PLAT		BUILDING ELEVATIONS	
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH			
CASE NUMBER:		FORMER CASE NUMBERS:	
MEMPHIS, TENNESSEE			
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT <u>93</u> , BLOCK <u>700</u> , PARCEL <u>556</u>	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION:	FEMA MAP PANEL NUMBER:	FEMA MAP DATE:	
-	47157C0465F	SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30'	SHEET 3 OF 6	



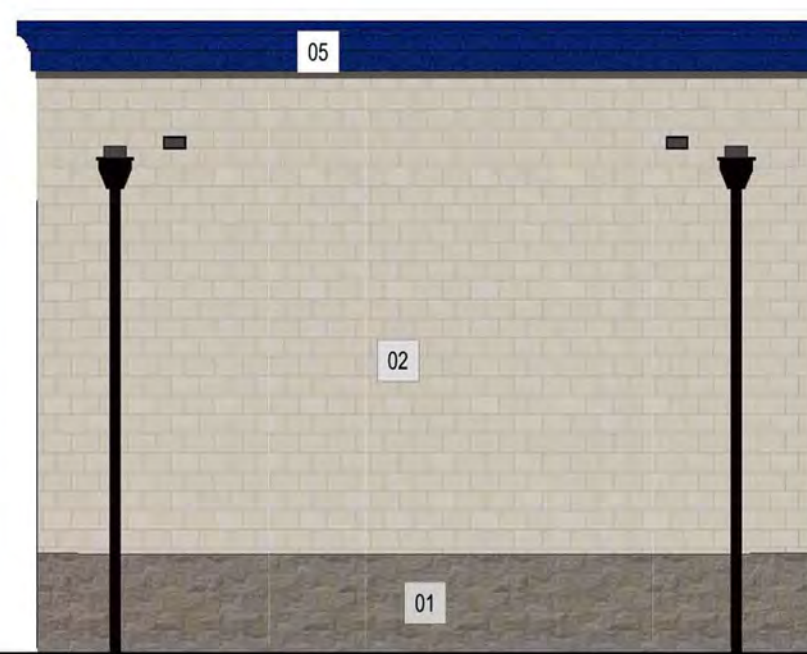
EAST ELEVATION



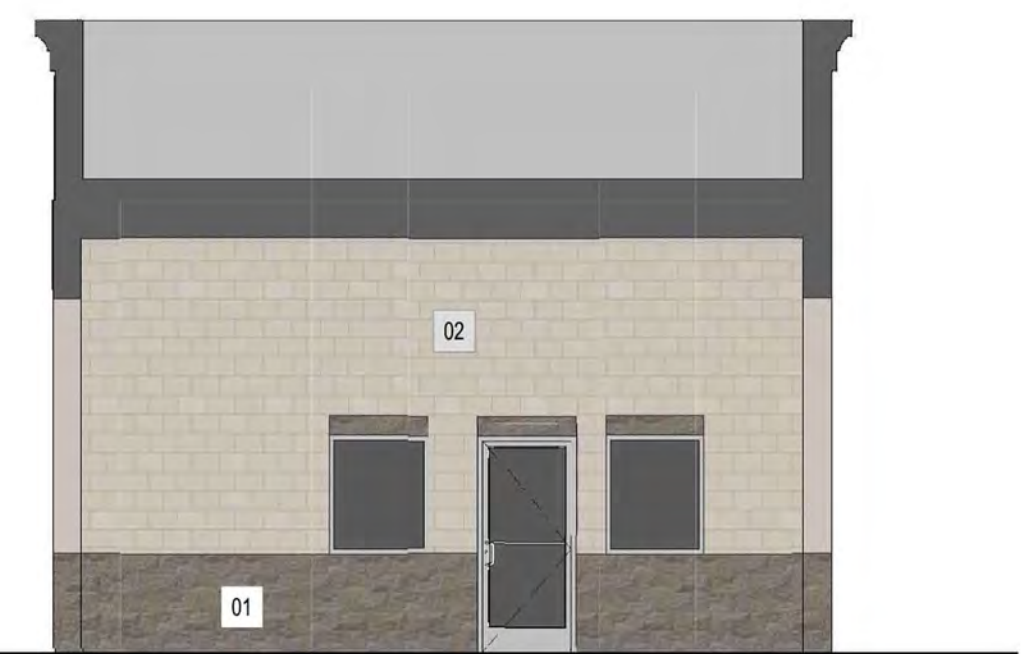
WEST ELEVATION



NORTH ELEVATION

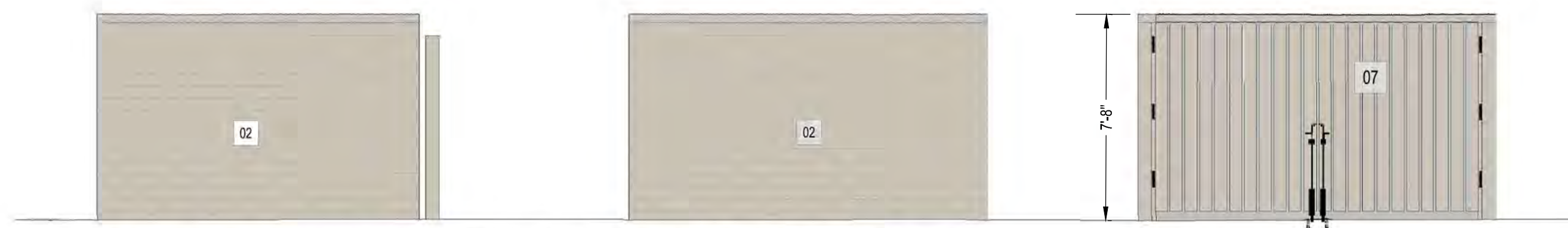


SOUTH ELEVATION



INTERIOR ELEVATION

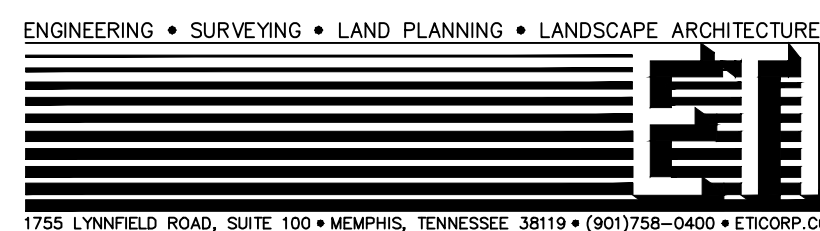
PAY STATION BUILDING ELEVATIONS



TRASH ENCLOSURE ELEVATIONS

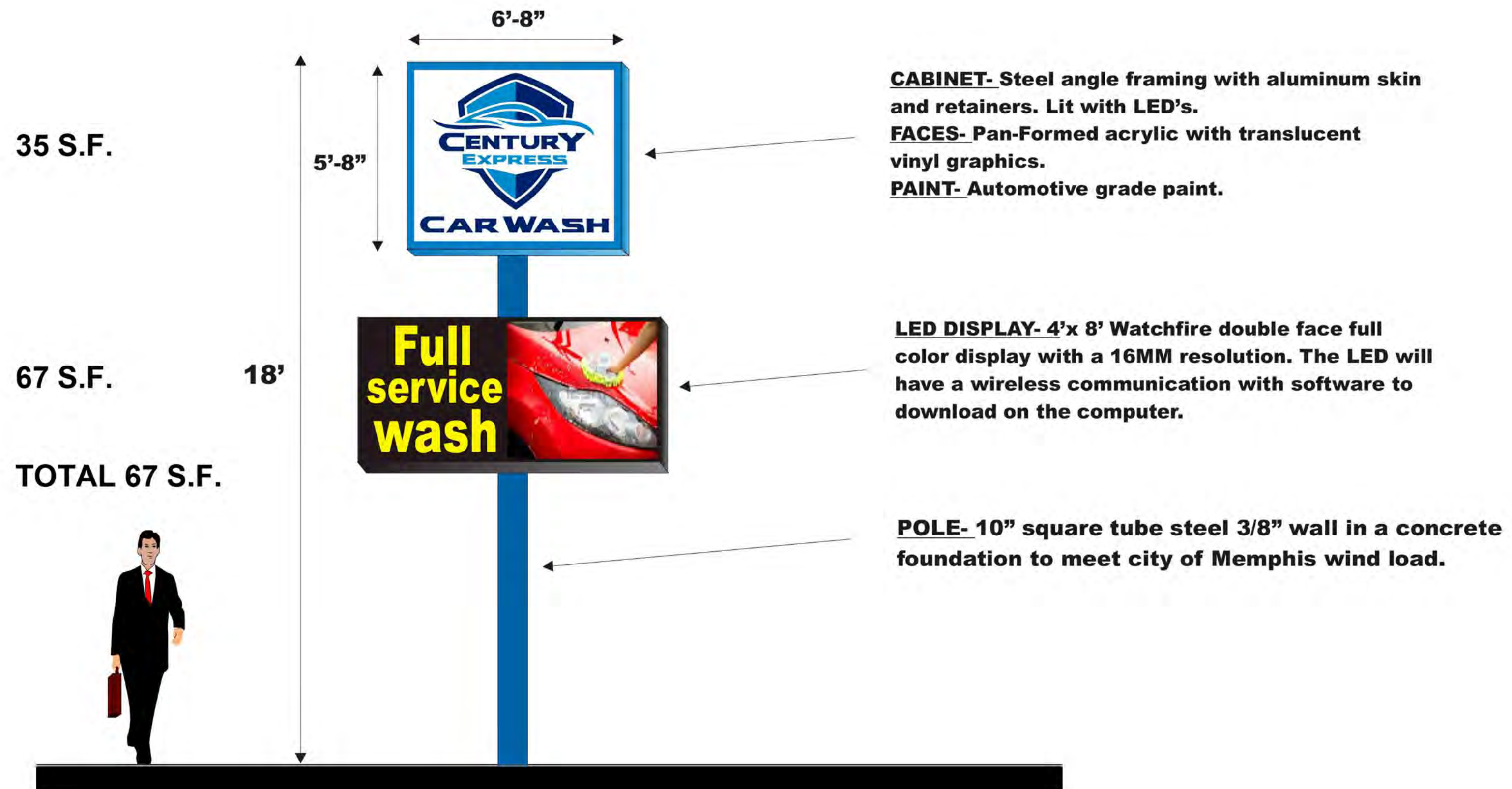
EXTERIOR FINISH SCHEDULE

KEY	DESCRIPTION	MANUFACTURER	PRODUCT DESCRIPTION
01	PAINTED SPLIT FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7024 FUNCTIONAL GRAY
02	PAINTED SMOOTH FACE CONC. BLOCK	SHERWIN WILLIAMS	COLOR: SW 7029 AGREEABLE GRAY
03	CABLE SUPPORTED ALUMINUM CANOPIES	MAPES CANOPIES LLC .OR APPROVED EQUAL	COLOR: CLEAR ANODIZED
04	METAL FRAMED SLOPED CANOPY	MAPES CANOPIES LLC .OR APPROVED EQUAL	COLOR: SELECTED BY OWNER
05	TEXTURED STUCCO FINISH	PAREX USA	COLOR: BLUE TEXTURE: LIGHT/FINE TEXTURE
06	TEXTURED STUCCO FINISH	PAREX USA	COLOR: AGREEABLE GRAY TEXTURE: LIGHT/FINE TEXTURE
07	TREX FENCING MATERIAL	TREX	COLOR TO MATCH SW 7029 AGREEABLE GRAY



DRAINAGE BASIN: KING 18-B

FINAL PLAT		BUILDING ELEVATIONS	
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH			
CASE NUMBER: MEMPHIS, TENNESSEE		FORMER CASE NUMBERS:	
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT 93, BLOCK 700, PARCEL 556	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION: -	FEMA MAP PANEL NUMBER: 47157C0465F	FEMA MAP DATE: SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30'	SHEET 4 OF 6	



CABINET- Steel angle framing with aluminum skin and retainers. Lit with LED's.
FACES- Pan-Formed acrylic with translucent vinyl graphics.
PAINT- Automotive grade paint.

LED DISPLAY- 4'x 8' Watchfire double face full color display with a 16MM resolution. The LED will have a wireless communication with software to download on the computer.

POLE- 10" square tube steel 3/8" wall in a concrete foundation to meet city of Memphis wind load.

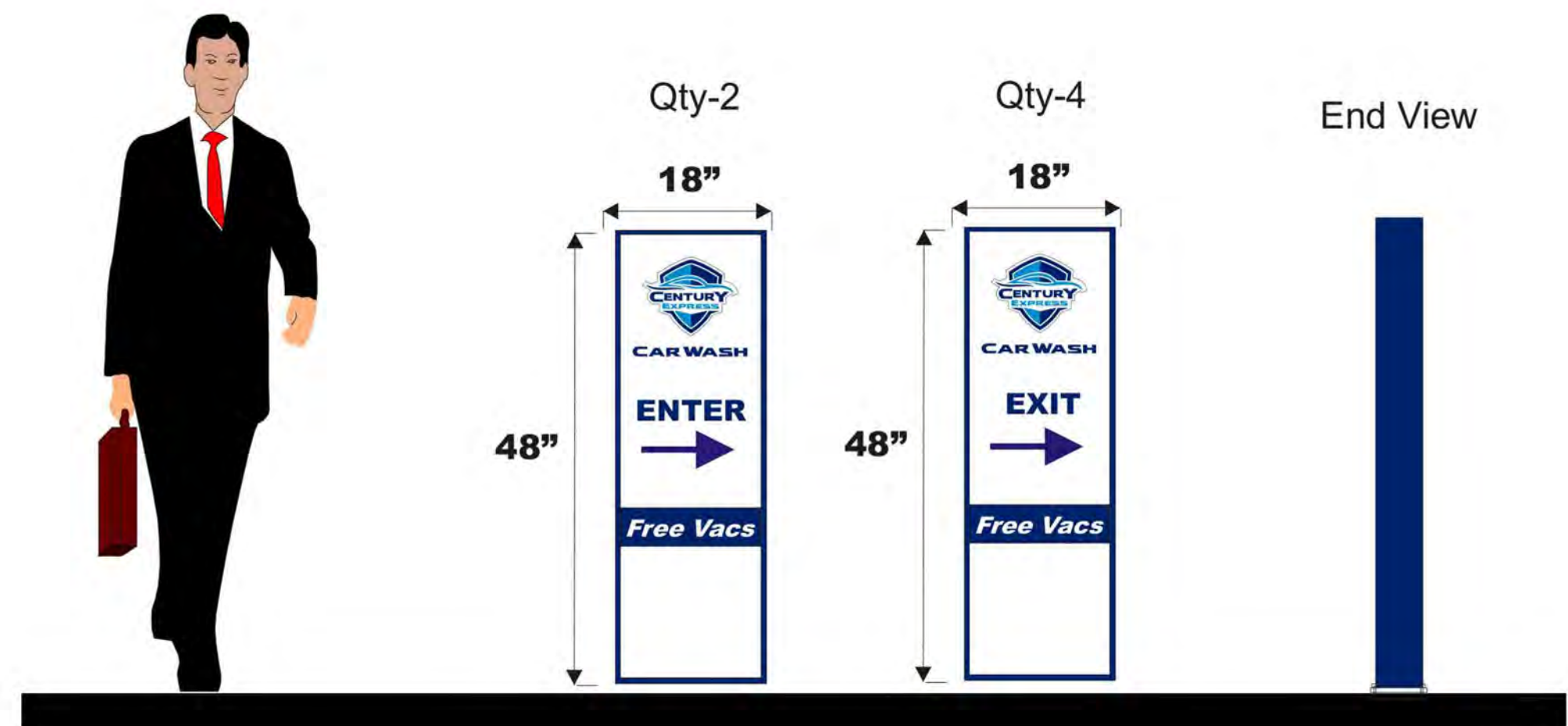
ROADWAY POLE SIGN - SHELBY DRIVE & ROSS ROAD

NOT TO SCALE



BUILDING SIGNS & LOGO

NOT TO SCALE



DIRECTIONAL SIGN ELEVATIONS

NOT TO SCALE



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DRAINAGE BASIN: FLETCHER 12-A

FINAL PLAT		SIGN DETAILS
AUTUMN CREEK C-P PHASE 5 - CENTURY EXPRESS CAR WASH		
CASE NUMBER: 21TMP-048841	FORMER CASE NUMBERS: Z-96-160	
CORDOVA, TENNESSEE		
NUMBER OF LOTS: 02	ACREAGE: 2.46 ACRES	WARD OR DISTRICT 96 & 96, BLOCK 900 & 900, PARCEL 574 & 675
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119
100-YEAR FLOOD ELEVATION: 312.0	FEMA MAP PANEL NUMBER: 47157C0316G	FEMA MAP DATE: FEBRUARY 6, 2013
DATE: OCTOBER 7, 2021	SCALE: N.T.S.	SHEET 5 OF 6

I. USES PERMITTED

A. PARCEL A ANY USE PERMITTED BY RIGHT IN THE LOCAL COMMERCIAL (C-L) DISTRICT EXCEPT THE FOLLOWING

1. GROUP SHELTER
2. DORMITORY
3. TRANSITIONAL HOME
4. FAMILY DAY CARE HOME
5. GROUP DAY CARE HOME
6. LODGE, COUNTRY CLUB
7. MUSEUM
8. AUTOMOBILE SERVICE STATION
9. GARAGE COMMERCIAL
10. GREENHOUSE OR NURSERY COMMERCIAL
11. PAWN SHOP
12. RESTAURANT DRIVE-IN
13. TAVERN, COCKTAIL LOUNGE, NIGHT CLUB
14. USED GOODS SECOND SALES
15. VEHICLE WASH
16. TELEPHONE SWITCHING CENTER, ELECTRIC TRANSMISSION, GAS PIPING, WATER PUMPING STATION
17. GASOLINE SALES

B. PARCEL B SINGLE FAMILY DETACHED DWELLINGS

II. BULK REGULATIONS

A. PARCEL A

1. BUILDING HEIGHT AND LAND COVERAGE SHALL COMPLY WITH THE PLANNED COMMERCIAL DISTRICT REQUIREMENTS
2. ELEVATION PLANS SHALL BE SUBMITTED TO THE OFFICE OF PLANNING AND DEVELOPMENT FOR THEIR REVIEW AND SHALL BE SUBJECT TO APPROVAL BY LAND USE CONTROL BOARD AT A PUBLIC HEARING. PROPERTY OWNERS WITHIN 1,500 FEET OF THE PROPERTY AND ROSS SHELBY NEIGHBORHOOD ASSOCIATION BE GIVEN NOTICE OF THE PROPOSAL AT LEAST 10 DAYS PRIOR TO THE HEARING
3. BUILDING EXTERIORS OF MATERIAL OR CONCRETE BLOCK SHALL NOT BE PERMITTED
4. MINIMUM BUILDING SET BACK
 - a. SHELBY DRIVE - 75 FEET
 - b. ROSS ROAD - 75 FEET
5. ALL MERCHANDISE SHALL BE DISPLAYED WITHIN A COMPLETELY ENCLOSED BUILDING. OUTDOOR DISPLAY IS NOT PERMITTED

B. PARCEL B

1. MAXIMUM NUMBER OF LOTS - 47
2. BUILDING BULK SHALL COMPLY WITH SINGLE FAMILY RESIDENTIAL (R-S8) DISTRICT REQUIREMENTS
3. EACH DWELLING UNIT NORTH OF STREET C SHALL CONTAIN A MINIMUM OF 1,200 SQUARE FEET HEATED FLOOR AREA: DWELLING UNITS
4. SOUTH OF STREET C SHALL CONTAIN A MINIMUM OF 1,500 FEET OF HEATED FLOOR AREA

III. PARKING, ACCESS AND CIRCULATION

- A. ROSS ROAD SHALL BE DEDICATED AND IMPROVED 34 FEET FROM THE CENTERLINE.
- B. SHELBY DRIVE SHALL BE DEDICATED AND IMPROVED 57 FEET FROM CENTERLINE.
- C. A MAXIMUM OF TWO CURB CUTS ARE PERMITTED ON SHELBY DRIVE AND ONE ON ROSS ROAD
- D. STREETS B AND C SHALL ALIGN WITH AN EXISTING STREET OR BE OFFSET AS REQUIRED BY THE SUBDIVISION REGULATIONS
- E. LOTS THAT FRONT ON ROSS ROAD SHALL EITHER HAVE DRIVEWAY ACCESS TO STREETS B AND C, OR THE DWELLING SHALL BE DESIGNED SO THAT ACCESS TO ROSS ROAD CAN OCCUR IN A FORWARD MOTION
- F. INTERNAL CIRCULATION BETWEEN PHASES AND LOTS IS REQUIRED.

IV. LANDSCAPING

- A. THE SHELBY DRIVE AND ROSS ROAD FRONTAGE ON PARCEL A SHALL BE LANDSCAPED WITH PLATE A-2
- B. THE SOUTH AND WEST BOUNDARIES OF PARCEL A PLATE B-4 MODIFIED
- C. A MINIMUM OF TEN PERCENT INTERNAL LANDSCAPING, EXCLUDING THAT REQUIRED ABOVE, SHALL BE PROVIDED IN PARCEL A
- D. EQUIVALENT MATERIAL MAY BE SUBSTITUTED FOR THE REQUIRED MATERIALS SUBJECT TO THE APPROVAL OF THE OFFICE OF PLANNING AND DEVELOPMENT
- E. LIGHT STANDARDS SHALL NOT EXCEED 20 FEET IN HEIGHT

V. SIGNS

- A. SIGNS IN PARCEL B SHALL COMPLY WITH THE R-S DISTRICT REGULATIONS
- B. PARCEL A IS PERMITTED A DETACHED SIGN WITH A MAXIMUM OF 35 SQUARE FEET AND A SETBACK OF A MINIMUM OF 15 FEET. ATTACHED SHALL COMPLY WITH THE LOCAL COMMERCIAL (C-L) DISTRICT REGULATIONS.
- C. OUTDOOR ADVERTISING (BILLBOARDS) TEMPORARY AND PORTABLE SIGNS ARE PROHIBITED

VI. DRAINAGE

- A. DESIGN OF THE STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE "CITY OF MEMPHIS DRAINAGE DESIGN MANUAL" THE MANUAL REQUIRES ONSITE DETENTION OF STORMWATER RUN-OFF GENERATED FROM THIS PROJECT, WHICH EXCEEDS THE CAPACITY OF THE DOWNSTREAM SYSTEMS. DRAINAGE CALCULATIONS PERFORMED IN ACCORDANCE WITH THIS MANUAL SHALL BE SUBMITTED VERIFYING THAT ADEQUATE NON-BUILDABLE AREAS HAVE BEEN PROVIDED FOR STORMWATER DETENTION FACILITIES, FOR INFORMATION CONCERNING THIS REQUIREMENT, PLEASE CONTACT THE CITY ENGINEER'S OFFICE
- B. ALL DRAINAGE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEER FOR REVIEW
- C. ALL DRAINAGE ONSITE SHALL BE PRIVATE EASEMENT WILL NOT BE ACCEPTED

VII. SITE PLAN REVIEW

A. THE SITE PLAN SHALL INCLUDE THE FOLLOWING

1. THE LOCATION OF EXISTING AND PROPOSED PUBLIC ROADWAYS ON OR ADJACENT TO THE SUBJECT PROPERTY
2. THE LOCATION, DIMENSIONS AND FLOOR AREA OF ALL BUILDINGS, STRUCTURES, AND PARKING AREAS.
3. THE LOCATION OF INTERNAL STREETS AND PRIVATE DRIVES AND THE NUMBER AND GENERAL LOCATION OF CURB CUTS AND UTILITY EASEMENTS
4. THE LOCATION OF PEDESTRIAN SYSTEMS
5. THE LOCATION AND USE OF OPEN SPACE
6. INTERNAL AND PERIMETER LANDSCAPING
7. THE LOCATION, DIAMETER AND SPECIES NAME OF ALL TREES AND PLANTS, THE IDENTIFICATION OF PLANTS TO BE PRESERVED AND METHODS INTENDED TO BE USED TO PROTECT PLANTS DURING CONSTRUCTION
8. BUILDING ELEVATIONS WHICH DEPICT AN ARCHITECTURAL DESIGN AND MATERIALS COMPATIBLE WITH THE ADJACENT RESIDENTIAL PROPERTY

B. THE SITE PLAN SHALL BE REVIEWED BASED ON THE FOLLOWING CRITERIA

1. CONFORMANCE WITH THE OUTLINE PLAN CONDITIONS
2. CONFORMANCE TO THE STANDARDS AND CRITERIA FOR COMMERCIAL PLANNED DEVELOPMENTS CONTAINED IN SECTIONS 14C, 14D, 14 E AND 14 F OF THE ZONING REGULATIONS

VIII. THE LAND USE CONTROL BOARD MAY MODIFY THE PARKING, ACCESS, LANDSCAPING, SIGNAGE, AMENITY, BUILDING HEIGHT AND SETBACK REQUIREMENTS IN EQUIVALENT ALTERNATIVES ARE PRESENTED

IX. A FINAL PLAN SHALL BE FILED WITHIN FIVE YEARS OF APPROVAL OF THE OUTLINE PLAN. THE LAND USE CONTROL BOARD MAY GRANT EXTENSIONS AT THE REQUEST OF THE APPLICANT

X. ANY FINAL PLAN SHALL INCLUDE THE FOLLOWING

- A. THE OUTLINE PLAN CONDITIONS
- B. A STANDARD SUBDIVISION CONTRACT AS DEFINED BY THE SUBDIVISION REGULATIONS
- C. THE EXACT LOCATION AND DIMENSIONS, INCLUDING HEIGHT OF ALL BUILDINGS AND BUILDABLE AREAS, PARKING AREAS, DRIVES REQUIRED LANDSCAPING
- D. THE NUMBER OF PARKING SPACES
- E. THE LOCATION AND OWNERSHIP, WHETHER PUBLIC OR PRIVATE OF ANY EASEMENT
- F. A STATEMENT CONVEYING ALL COMMON FACILITIES AND AREAS TO A PROPERTY OWNER'S ASSOCIATION OR OTHER ENTITY OF OWNERSHIP AND MAINTENANCE PURPOSES
- G. AN ELEVATION PLAN FOR THE BUILDINGS IN PARCEL A

THE LAND USE CONTROL BOARD ON MAY 8, 1997 APPROVED THIS SITE PLAN WITH THE FOLLOWING CONDITIONS

1. ONE DETACHED SIGN IS PERMITTED WITH A MAXIMUM AREA OF 35 SQUARE FEET AND MAXIMUM HEIGHT OF 20 FEET
2. THE LANDSCAPE BUFFER ALONG THE SOUTHERN BOUNDARY OF THE SITE SHALL BE SUPPLEMENTED WITH A THIRD ROW OF EVERGREEN TREES PLANTED 20 FOOT ON CENTER
3. TWO TREES FROM THE "TREE A" LIST OF THE LANDSCAPE ORDINANCE SHALL BE PLATED ON THE EASTERN BOUNDARY NORTH AND SOUTH OF THE PARKING AREA
4. THE LANDSCAPE BUFFER ALONG THE WESTERN BOUNDARY OF THE SITE SHALL BE SUPPLEMENTED WITH FOUR (4) FOSTER HOLLIES SPACED ON 6 FOOT CENTERS ADJACENT TO THE PARKING AREA ENCROACHING INTO THE BUFFER
5. A "FINAL PLAT" CAN NOT BE RECORDED UNTIL THE BUILDING ELEVATIONS HAVE BEEN APPROVED BY THE LAND USE CONTROL BOARD AND ATTACHED TO THE PLAT

OFFICE OF PLANNING AND DEVELOPMENT CERTIFICATE

THIS FINAL PLAT CONFORMS WITH THE UNIFIED DEVELOPMENT CODE AND WAS APPROVED BY THE LAND USE CONTROL BOARD ON _____

BY _____ DATE _____
ADMINISTRATOR OF PLANNING AND DEVELOPMENT

OPD _____ DATE _____

CITY / COUNTY ENGINEER _____ DATE _____



THE LAND USE CONTROL BOARD APPROVED THE REVISED BUILDING ELEVATIONS FOR THIS SITE PLAN ON AUGUST 14, 1997 WITH THE FOLLOWING CONDITIONS

1. THE NORTH AND EAST EXTERIOR WALLS OF THE BUILDING SHALL HAVE A BRICK FACADE WHILE THE SOUTH AND WEST SIDES WILL HAVE SPLIT FACE BRICK
2. THE NORTH AND EAST SIDES, AS WELL AS THE FIRST 15 FEET ON THE NORTHWEST PORTION OF THE BUILDING, WILL HAVE A MANSARD TYPE ROOF DESIGN. THE TOP OF THE ROOF WILL HAVE BLACK RESIDENTIAL TYPE SHINGLES, WHILE THE FLAT PORTION OF THE ROOF WILL BE BLACK METAL WITH RED STRIPES
3. THE DEVELOPER WILL INSTALL A FENCE TO COMPLETELY ENCLOSE THE DUMPSTERS AND ALSO INSTALL A GATE WITH A LOCK
4. A SIX-FOOT HIGH SITE-PROOF FENCE WILL BE INSTALLED ON THE WEST AND SOUTH SIDES OF PARCEL A. THIS FENCING WILL BE INSTALLED ANYWHERE THE EXISTING FENCING IS IN NEED OF REPAIR OR MISSING
5. THE DEVELOPER WILL INSTALL TWO SPEED BUMPS ON THE ACCESS ROAD ADJACENT TO THE RESIDENTIAL DEVELOPMENT ON THE SOUTH SIDE (ONE SPEED BUMP APPROXIMATELY 195 FEET WEST OF ROSS ROAD AND THE OTHER 120 FEET EAST OF THIS PHASE)

OWNER'S CERTIFICATE

I, LEROY RATLIFF, DIRECTOR OF CONSTRUCTION OF CENTURY ONE, LLC, THE UNDERSIGNED OWNER OF THE PROPERTY SHOWN, HEREBY ADOPT THIS PLAT AS MY PLAN OF DEVELOPMENT AND DEDICATE THE STREETS, RIGHT-OF-WAY, AND GRANT THE EASEMENTS AS SHOWN AND/OR DESCRIBED TO PUBLIC USE FOREVER. I CERTIFY THAT I AM ARE THE OWNER OF THE SAID PROPERTY IN FEE SIMPLE, DULY AUTHORIZED TO ACT, AND THAT SAID PROPERTY IS NOT ENCUMBERED BY ANY TAXES WHICH HAVE BECOME DUE AND PAYABLE.

LEROY RATLIFF DIRECTOR OF CONSTRUCTION
CENTURY ONE, LLC

NOTARY CERTIFICATE

STATE OF TENNESSEE, SHELBY COUNTY

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE SAID STATE OF TENNESSEE AND SHELBY COUNTY AT THE CITY OF MEMPHIS, DULY COMMISSIONED AND QUALIFIED, PERSONALLY APPEARED LEROY RATLIFF, WITH WHOM I AM PERSONALLY ACQUAINTED, AND WHO UPON HER OATH ACKNOWLEDGED HIMSELF TO BE DIRECTOR OF CONSTRUCTION CENTURY ONE, LLC, THE WITHIN NAMED BARGAINER, AND THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT FOR THE PURPOSE THEREIN CONTAINED.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES _____

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS A CATEGORY I SURVEY AND THAT THE PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 OR GREATER; THAT THIS PLAT HAS BEEN PREPARED BY ME OR UNDER MY INDIVIDUAL SUPERVISION AND CONFORMS WITH APPLICABLE STATE LAWS, THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, AND SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT RELATING TO THE PRACTICE OF SURVEYING.

ETI CORPORATION DATE ??/??/21
1755 LYNNFIELD ROAD, SUITE 100
MEMPHIS, TENNESSEE 38119

BY: CHRISTOPHER E. PERRY, RLS

TENNESSEE LICENSE NO. 2021

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, IS IN CONFORMANCE WITH THE DESIGN REQUIREMENTS OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, THE SPECIFIC CONDITIONS IMPOSED ON THIS DEVELOPMENT, AND TAKES INTO ACCOUNT ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING LAWS AND REGULATIONS.

ETI CORPORATION DATE ??/??/21

1755 LYNNFIELD ROAD, SUITE 100
MEMPHIS, TENNESSEE 38119

BY: MATTHEW DAVID WOLFE, P.E.

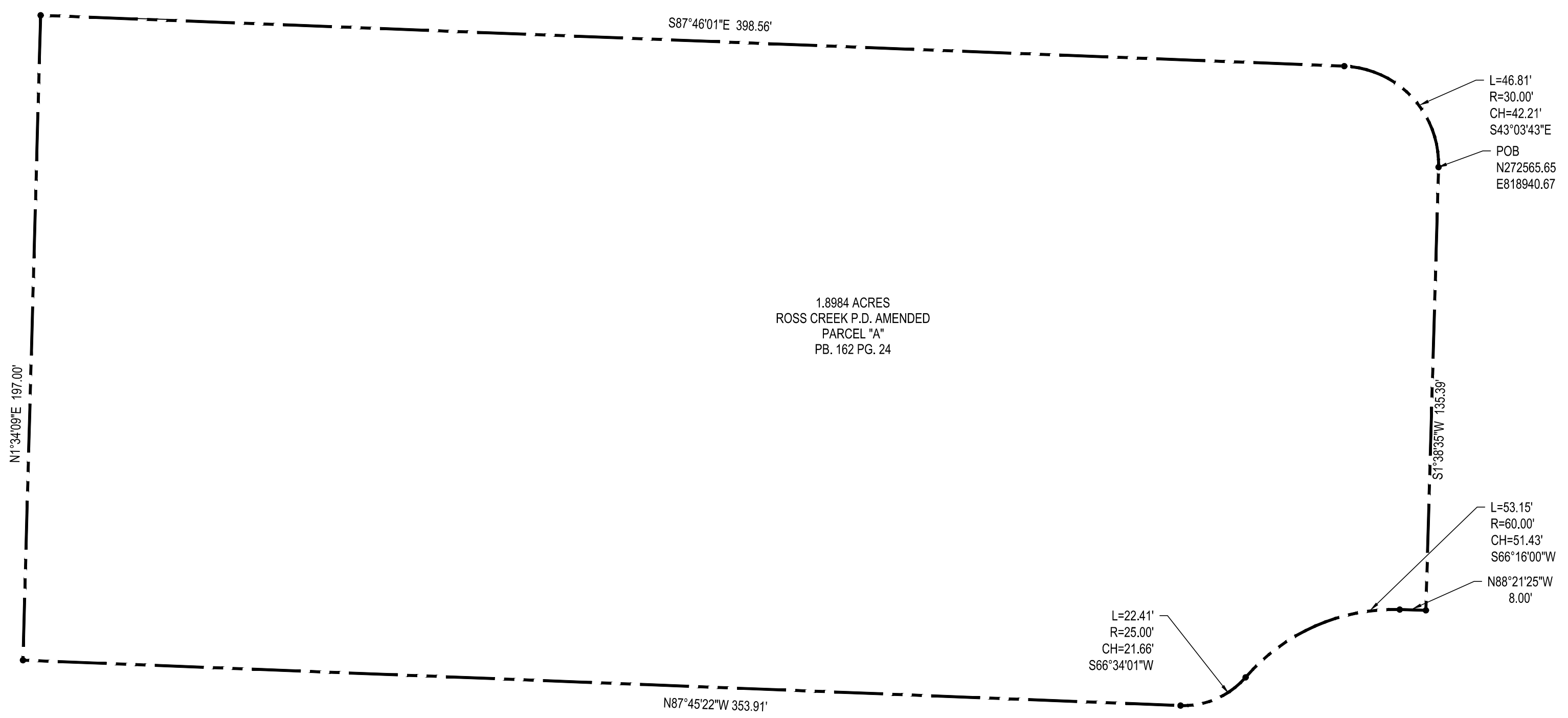
TENNESSEE LICENSE NO. 105709

DRAINAGE BASIN: KING 18-B

FINAL PLAT		SITE PLAN	
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH			
CASE NUMBER:		FORMER CASE NUMBERS:	
MEMPHIS, TENNESSEE			
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT <u>93</u> , BLOCK <u>700</u> , PARCEL <u>556</u>	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER : ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION: -	FEMA MAP PANEL NUMBER: 47157C0465F	FEMA MAP DATE: SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30	SHEET 6 OF 6	



VICINITY MAP
N.T.S.



1.8984 ACRES
ROSS CREEK P.D. AMENDED
PARCEL "A"
PB. 162 PG. 24

PROPERTY LINE DESCRIPTION

BEING A SURVEY OF PART OF PARCEL A, ROSS CREEK P.U.D. AS RECORDED IN PLAT BOOK 162 PAGE 24 AT THE SHELBY COUNTY REGISTERS OFFICE AND BEING LOCATED IN MEMPHIS, SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A SET 1/2" IRON PIN ON THE WEST LINE OF ROSS ROAD (68' WIDE PUBLIC ROW) 30.00 FEET SOUTH OF THE TANGENT INTERSECTION OF SAID WEST LINE WITH THE SOUTH LINE OF SHELBY DRIVE (114' WIDE PUBLIC ROW), SAID POINT HAVING A TENNESSEE STATE PLANE COORDINATE VALUE OF NORTHING 272565.65 AND EASTING 818940.67;

THENCE S1°38'35"W ALONG SAID WEST LINE A DISTANCE OF 135.39 FEET TO A SET 1/2" IRON PIN ON THE NORTH LINE OF LOT 2, PHASE 2, PART OF PARCEL A, ROSS CREEK P.U.D. (PLAT BOOK 168 PG 39);

THENCE N88°21'25"W ALONG SAID NORTH LINE A DISTANCE OF 8.00 FEET TO A SET 1/2" IRON PIN AT THE BEGINNING OF A CURVE TO THE LEFT;

THENCE SOUTHWESTWARDLY ALONG SAID NORTH LINE AND ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 60.00 FEET, AN ARC LENGTH OF 53.15 FEET AND CHORD OF 51.43 FEET (S66°16'00"W) TO A SET 1/2" IRON PIN THE POINT OF REVERSE CURVE;

THENCE WESTWARDLY ALONG SAID NORTH LINE AND ALONG THE ARC OF SAID REVERSE CURVE HAVING A RADIUS OF 25.00 FEET, AN ARC LENGTH OF 22.41 FEET AND CHORD OF 21.66 FEET (S66°34'01"W) TO A SET 1/2" IRON PIN AT THE POINT OF TANGENCY;

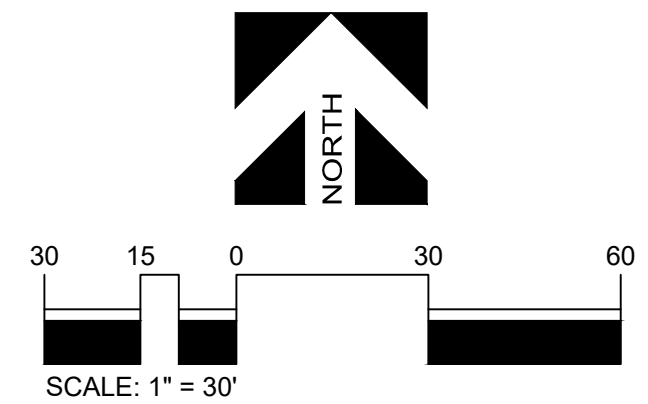
THENCE N87°45'22"W ALONG SAID NORTH LINE A DISTANCE OF 353.91 FEET TO A SET NAIL ON THE EAST LINE OF LOT 1,

THENCE N1°34'09"E ALONG THE EAST LINE OF SAID LOT 1 A DISTANCE OF 197.00 FEET TO A SET NAIL ON THE SOUTH LINE OF SHELBY DRIVE;

THENCE S87°46'01"E ALONG SAID SOUTH LINE OF SHELBY DRIVE A DISTANCE OF 398.56 FEET TO A SET 1/2" IRON PIN AT THE BEGINNING OF A CURVE TO THE RIGHT;

THENCE SOUTHEASTWARDLY ALONG THE ARC OF SAID CURVE HAVING A RADIUS OF 30.00, AN ARC LENGTH OF 46.81 FEET AND CHORD OF 42.21 FEET (S43°03'43"E) TO THE POINT OF BEGINNING.

CONTAINING 1.8984 ACRES MORE OR LESS.



PLOT PLAN		
ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH		
CASE NUMBER:		FORMER CASE NUMBERS:
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT <u>93</u> , BLOCK <u>700</u> , PARCEL <u>556</u>
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119
100-YEAR FLOOD ELEVATION:	FEMA MAP PANEL NUMBER:	FEMA MAP DATE:
-	47157C0465F	SEPTEMBER 28, 2007
DATE: MARCH 15, 2022	SCALE: 1" = 30'	SHEET 1 OF 1

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PRIOR TO LAND DISTURBANCE, EROSION PREVENTION SEDIMENT CONTROL (EPSC) MEASURES SHALL BE IMPLEMENTED PER CITY ORDINANCES 4538 & 5446.

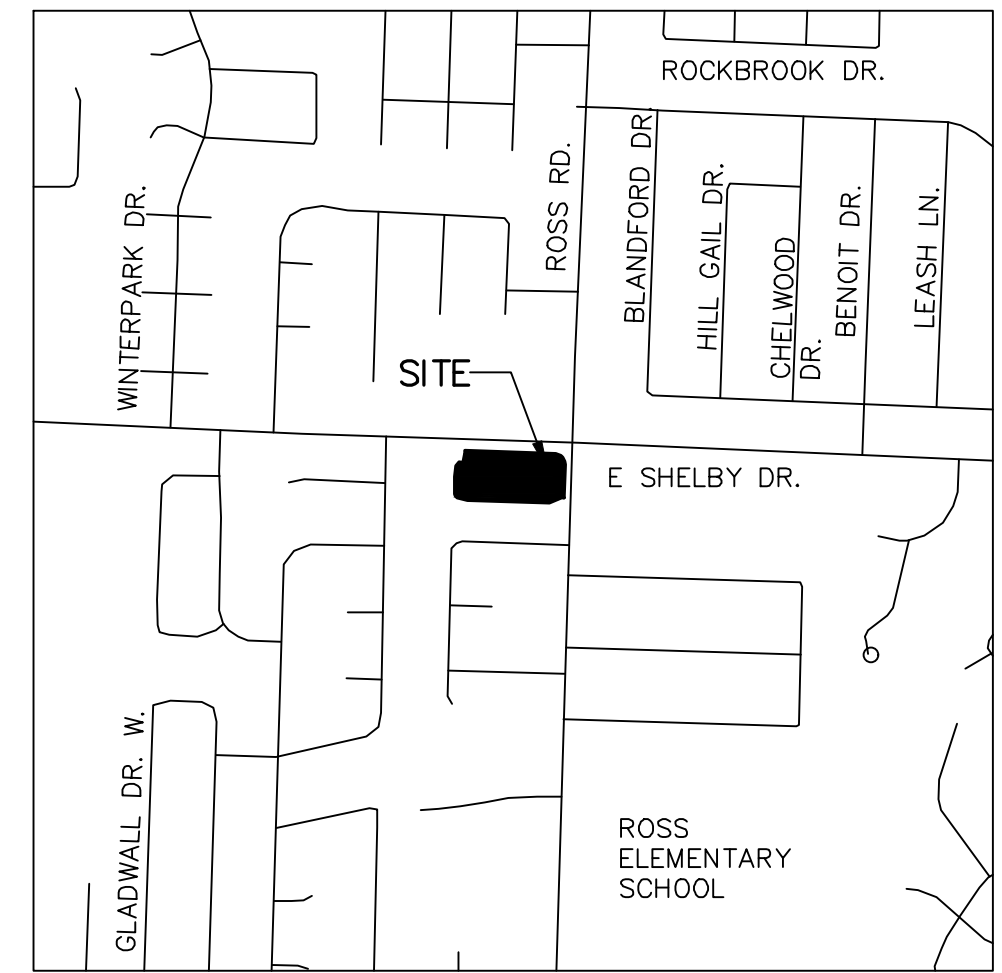
I. NO TREES, SHRUBS, PERMANENT STRUCTURES, OR OTHER UTILITIES (EXCEPT FOR CROSSINGS) WILL BE ALLOWED WITHIN SANITARY SEWER EASEMENT. NO OTHER UTILITIES OR SERVICES MAY OCCUPY SANITARY SEWER EASEMENTS IN PRIVATE DRIVES AND YARDS EXCEPT FOR CROSSINGS.

II. THE CITY OF MEMPHIS SHALL HAVE INGRESS/EGRESS RIGHTS TO USE PRIVATE DRIVES AND YARDS FOR THE PURPOSE OF MAINTAINING ALL PUBLIC SEWER LINES AND SHALL BEAR NO RESPONSIBILITY FOR THE MAINTENANCE OF SAID PRIVATE DRIVES AND YARDS.

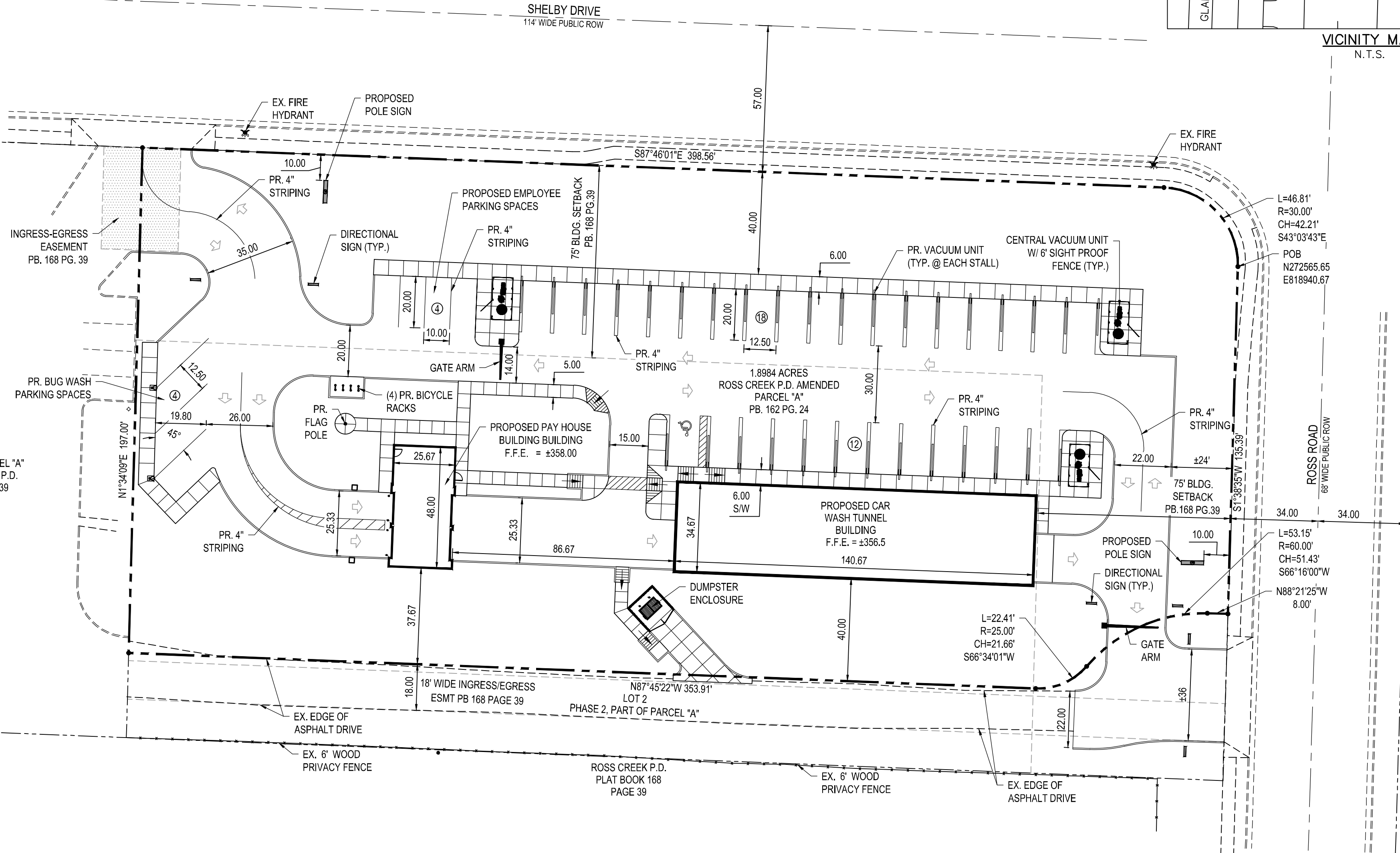
PLEASE BE ADVISED THAT A BUILDING PERMIT ISSUED BY THE MEMPHIS/SHELBY COUNTY OFFICE OF CONSTRUCTION CODE ENFORCEMENT DOES NOT ALLOW FOR ALTERATIONS AND/OR IMPROVEMENTS TO ANY RIGHT OF WAY (ROW) MAINTAINED BY THE CITY OF MEMPHIS. ALTERATIONS AND/OR IMPROVEMENTS TO THE CITY OF MEMPHIS ROW INCLUDE BUT ARE NOT LIMITED TO WORK PERFORMED ON SIDEWALKS, CURB AND GUTTER, DRIVE APRONS AND UTILITY TIE-INS. ROW PERMITS MUST BE OBTAINED FROM THE MEMPHIS CITY ENGINEER'S OFFICE AT (901) 636-6700.

CITY BENCH MARK:
CITY OF MEMPHIS BENCHMARK #254
ELEVATION: 341.95
MAP & BLOCK: 152-L
STREET NAME: RIVERDALE RD. AND SHELBY DR.
DESCRIPTION: CITY MONUMENT IS LOCATED ON THE NE COR., AT B/CURB ER ON GERMANTOWN EXT. SIDE. RESET 1997.

FEMA FLOOD NOTE:
THIS PROPERTY IS NOT LOCATED WITHIN AN AREA DESIGNATED AS A "SPECIAL FLOOD HAZARD AREA" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP NUMBER 47157C0465F DATED SEPTEMBER 28, 2007. NEAREST BFE - 343.00



VICINITY MAP
N.T.S.

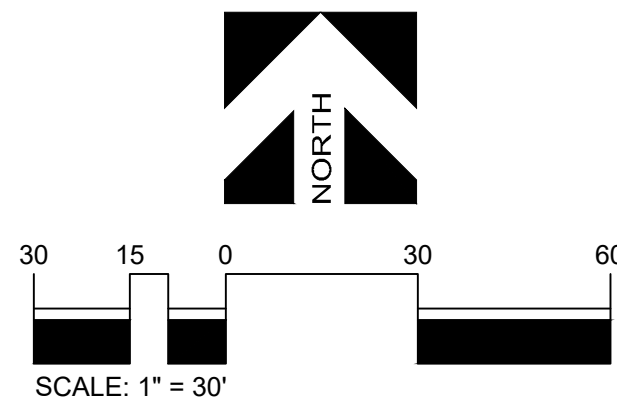


SITE DATA:
ZONING: CA/PD
USE: AUTOMATIC CAR WASH
CAR WASH BUILDING HT.: 26'-0"
CAR WASH PAY STATION HT.: 21'-4"
EMPLOYEE PARKING PROVIDED: 4 SPACES
PERVIOUS SURFACES: 43,560 S.F. OR 1.0 AC. (53%)
IMPERVIOUS SURFACES: 38,768 S.F. OR 0.89 AC. (47%)

EXISTING SIDEWALK TABLE			
STREET NAME	SIDEWALK WIDTH	SIDE	LOCATION FROM BACK OF CURBLINE
SHELBY DRIVE	5 FEET	SOUTH	WIDTH VARIES (GRASS STRIP)
ROSS ROAD	5 FEET	WEST	4.5 FEET (GRASS STRIP)

THE REQUIRED SIDEWALKS SHALL BE INSTALLED ACROSS THE FRONTAGES OF EACH LOT BY THE BUILDING PERMIT HOLDER PRIOR TO USE AN OCCUPANCY OF THE BUILDING. EXISTING SIDEWALKS SHALL BE REPAIRED AS NECESSARY BY THE BUILDING PERMIT HOLDER ACROSS THE LOT FRONTAGE PRIOR TO USE AN OCCUPANCY OF THE BUILDING.

* NOTE: If there is no curblin measure from the edge of pavement.



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CONCEPT PLAN

ROSS CREEK P.D. PART OF PARCEL A - CENTURY EXPRESS CAR WASH

CASE NUMBER: MEMPHIS, TENNESSEE		FORMER CASE NUMBERS:	
NUMBER OF LOTS: 01	ACREAGE: 1.9 ACRES	WARD OR DISTRICT: 93, BLOCK: 700, PARCEL: 556	
DEVELOPER: CENTURY EXPRESS CAR WASH 527 HALLE PARK DRIVE COLLIERVILLE, TN. 38107		ENGINEER: ETI CORPORATION 1755 LYNNFIELD ROAD, SUITE 100 MEMPHIS, TN. 38119	
100-YEAR FLOOD ELEVATION:	FEMA MAP PANEL NUMBER: 47157C0465F	FEMA MAP DATE: SEPTEMBER 28, 2007	
DATE: MARCH 15, 2022	SCALE: 1" = 30'	FINAL PLAT 1 OF 1	

March 2, 2022 Version

I Uses Permitted

A Parcel A Any use permitted by right in the local commercial (C-L) District except the following.

1. Group Shelter
2. Dormitory
3. Transitional Home
4. Family Day Care Home
5. Group Day Care Home
6. Lodge, Country Club
7. Museum
8. Automobile Service Station
9. Garage Commercial
10. Greenhouse or Nursery Commercial
11. Pawn Shop
12. Restaurant Drive-In
13. Tavern, Cocktail Lounge, Night Club
14. Used Goods Secondhand Sales
15. Vehicle Wash
16. Telephone Switching Center, Electric Transmission, Gas Piping, Water Pumping Station
17. Gasoline Sales

B Parcel B Single Family Detached Dwellings

II Bulk Regulations

A. Parcel A

1. Building height and land coverage shall comply with the Planned Commercial District requirements.
2. Elevation plans shall be submitted to the Office of Planning and Development for their review and shall be subject to approval by Land Use Control Board at a public hearing. Property owners within 1,500 feet of the property and the Ross Shelby Neighborhood Association be given notice of the proposal at least 10 days prior to the hearing.
3. Building exteriors of material or concrete block shall not be permitted.
4. Minimum Building Setback
 - a. Shelby Drive – 75 feet
 - b. Ross Road – 75 Feet
5. All merchandise shall be displayed within a completely enclosed building. Outdoor display is not permitted.

B Parcel B

1. Maximum number of lots – 47

2. Building bulk shall comply with the Single-Family Residential (R-S8) District requirements
3. Each dwelling unit north of Street C shall contain a minimum of 1,200 square feet heated floor area; dwelling units
4. South of Street C shall contain a minimum of 1,500 square feet of heated floor area.

III Parking, Access, and Circulation

- A. Ross road shall be dedicated and improved 34 feet from centerline.
- B. Shelby Drive shall be dedicated and improved 57 feet from centerline.
- C. A maximum of two curb cuts are permitted on Shelby Drive and one on Ross Road
- D. Streets B and C shall align with an existing street or be offset as required by the Subdivision Regulations
- E. Lots that front on Ross Road shall either have driveway access to Streets B and C, or the dwelling shall be designed so that access to Ross Road can occur in a forward motion.
- F. Internal circulation between phases and lots is required.

IV Landscaping

- A. The Shelby Drive and Ross Road frontage on Parcel A shall be landscaped with Plate A-2
- B. The south and west boundaries of Parcel A Plate B-4 modified
- C. A minimum of ten percent internal landscaping, excluding that required above, shall be provided in Parcel A
- D. Equivalent material may be substituted for the required materials subject to the approval of the Office of Planning and Development
- E. Light standards shall not exceed 20 feet in height.

V Signs

- A. Signs in Parcel B shall comply with the R-S District regulations.
- B. Parcel A is permitted a detached sign with a maximum of 35 square feet and a setback of a minimum of 15 feet. Attached shall comply with the Local Commercial (C-L) District regulations.
- C. Outdoor advertising (billboards) temporary and portable signs are prohibited.

VI Drainage

- A. Design of the stormwater conveyance and management facilities for this project shall be in accordance with the "City of Memphis Drainage Design Manual" The manual requires onsite detention of stormwater run-off generated from this project, which exceeds the capacity of the downstream systems. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for stormwater

detention facilities. For information concerning this requirement, please contact the City engineer's Office.

- B. All drainage plans shall be submitted to the City Engineer for review.
- C. All drainage onsite shall be private easements will not be accepted.

VII Site Plan Review

A. The site plan shall include the following

1. The location of existing and proposed public roadways on or adjacent to the subject property
2. The location, dimensions and floor area of all buildings, structures, and parking areas.
3. The location of internal streets and private drives and the number and general location of curb cuts and utility easements
4. The location of pedestrian systems
5. The location and use of open space
6. Internal and perimeter landscaping
7. The location, diameter and species name of all trees and plants, the identification of plants to be preserved and methods intended to be used to protect plants during construction.
8. Building elevations which depict an architectural design and materials compatible with the adjacent residential property.

B. The site plan shall be reviewed based on the following criteria

1. Conformance with the outline plan conditions.
2. Conformance to the standards and criteria for commercial planned developments contained in sections 14C, 14D, 14 E and 14 F of the Zoning Regulations.

VIII The Land Use Control Board may modify the parking, access, landscaping, signage, amenity, building height and setback requirements if equivalent alternatives are presented.

IX A final plan shall be filed within five years of approval of the outline plan. The Land Use Control Board may grant extensions at the request of the applicant.

X Any final plan shall include the following:

- A. The outline plan conditions
- B. A standard subdivision contract as defined by the Subdivision Regulations.
- C. The exact location and dimensions, including height of all buildings or buildable areas, parking areas, drives required landscaping.
- D. The number of parking spaces.
- E. The location and ownership, whether public or private of any easement.
- F. A statement conveying all common facilities and areas to a property owner's association or other entity for ownership and maintenance purposes.

G. An elevation plan for the buildings in Parcel A.



Legend

polygonLayer

- Override 1
- Override 2

polygonLayer

- Override 1

— Roads

- Shelby County Zoning
- Arlington Zoning
- Bartlett Zoning
- Collierville Zoning
- Germantown Zoning
- Lakeland Zoning
- Millington Zoning
- Parcels

Map prepared through Shelby County Government's online mapping Portal on 3/10/2022

0 0.1 0.2 0.3 0.4 mi

N

MOMON PEARLIE
6624 QUAIL COVEY DR #
MEMPHIS TN 38141

STEPHENS ANTHONY
4566 ROSS RD #
MEMPHIS TN 38141

ALDRIDGE WAYNE E & BRENDA K
6590 SHAKER LN #
MEMPHIS TN 38141

RHODES SHEILA R
6708 ROCKBROOK DR #
MEMPHIS TN 38141

DEBCO LLC
3707 MACON RD
MEMPHIS TN 38122

KING KERON
6618 SHAKER LN #
MEMPHIS TN 38141

RS RENTAL 1 LLC
1955 S VAL VISTA DR #126
MESA AZ 85204

KING BRENDA J
4587 HILL GAIL DR #
MEMPHIS TN 38141

YANCY RICHARD K & BETTY L
6638 SHAKER LN #
MEMPHIS TN 38141

LOPEZ JULIO AND IVAN LOPEZ AND
7595 SHELBY WOOD CV #
MEMPHIS TN 38125

MOORE KERMIT L JR
6585 PINE TOP CIR S
MEMPHIS TN 38141

MOTTLEY TOM C JR
6646 SHAKER LN #
MEMPHIS TN 38141

WILLIAMS WILLIE JR AND GERALD LONGMIRE
4561 MISTY MOOR LN #
MEMPHIS TN 38141

MENDIETA RICHARD J & ANA M
179 BRENTWOOD DR #
GALLIPOLIS OH 45631

MCCLOUD LERONCE R
6654 SHARKER LN #
MEMPHIS TN 38141

ROBINSON EDWARD
1044 AENON CL #
SPRING HILL TN 37174

BOYD JEROME
4571 CHELWOOD DR #
MEMPHIS TN 38141

CONTE-ROMO JUAN C AND DELIA O DIAZ
6660 SHAKER LN #
MEMPHIS TN 38141

ANDERSON LATOSHA
4559 ROSS RD #
MEMPHIS TN 38141

COOK TRAVIS W JR & LINDSEY
6003 FAIRWAY SHORES LN #
PORTER TX 77365

KILLEBREW PATRICE
4599 HILL GAIL DR #
MEMPHIS TN 38141

SCHOLAND DONALD & MARY
4568 MISTY MOOR LN #
MEMPHIS TN 38141

TIRERA SORAGATA AND FATOUMATA SILLAH
4595 HILL GAIL DR #
MEMPHIS TN 38141

BODDIE TIERIKKA & ROBERT
4598 ROSS RD #
MEMPHIS TN 38141

BACON ANDREA
4569 S QUAIL FLIGHT CV #
MEMPHIS TN 38141

JOHNSON CHRIS
9292 TAMHAVEN DR #
CORDOVA TN 38018

MCNEILL GREG & TINA H
6607 SHAKER LN #
MEMPHIS TN 38141

TAYLOR ROBERT H
372 N HILL FARMS RD #
KAYSVILLE UT 84037

GLASPIE WILLIAM H & ETHEL W
4581 ROSS RD #
MEMPHIS TN 38141

BUCKNER ANTHONY J
9266 S FAIRMONT CIR #
COLLIERVILLE TN 38017

DOBBINS ADRIENNE L
4598 CHELWOOD DR #
MEMPHIS TN 38141

TAYLOR OMEGA & TAMIKA
3363 MARY CLAIRE LN #
SOUTHAVEN MS 38672

VM PRONTO LLC
5001 PLAZA ON THE LK #200
AUSTIN TX 78746

RANKIN RORY B SR & CHARLENE
3113 N STONEBRIDGE DR #
NORFOLK VA 23504

JACKSON COURTNEY L
4611 BENOIT DR #
MEMPHIS TN 38141

OTOTAKE JUNKO 2016 REVOCABLE TRUST

BRASWELL LACHAKA
8263 WHISPERING ELM DR #
MEMPHIS TN 38125

FARRIS CHATEEKA
6589 ERNEST CV #
MEMPHIS TN 38141

LOVELACE KAMERON S & TYANIAH S
6549 MARGAUX CV E
MEMPHIS TN 38141

WILLIAMS JENNISE R
6547 E CHARDONNAY CV #
MEMPHIS TN 38141

DUCKETT PERCELL
4622 ROSS RD #
MEMPHIS TN 38141

GNO JOHN AND MY N TAT
4991 GURTRUDE DR #
MEMPHIS TN 38125

MULLINS CAPREE & COURTNEY
4605 CHELWOOD DR #
MEMPHIS TN 38141

FRANCHEK ERICA P
4619 HILL GAIL DR #
MEMPHIS TN 38141

WOODS MARKESHA
4640 SPANIEL CV #
MEMPHIS TN 38141

HUGHES MONTINA
4612 SHAKER CV #
MEMPHIS TN 38141

CHAIDEZ HORACIO
4620 HILL GAIL DR #
MEMPHIS TN 38141

WILSON ALFONZO & VIRGINIA P
4635 BENOIT DR #
MEMPHIS TN 38141

JIMENEZ DAVID & KATIA C MERCADO
4614 PARTRIDGE CT #
MEMPHIS TN 38141

HALL DORIS J
4627 PARTRIDGE CT #
MEMPHIS TN 38141

TAYLOR REINHOLD JR
PO BOX 240084 #
MEMPHIS TN 38124

LOPEZ ELEVI
4612 ROSS RD #
MEMPHIS TN 38141

MOORE LORRAINE C
4625 SPANIEL CV #
MEMPHIS TN 38141

WALTERS RANDY D JR AND JASMINE S OWENS
6552 CABERNET CV E
MEMPHIS TN 38141

BAKER JOE W & PATRICIA F
4612 BLANDFORD DR #
MEMPHIS TN 38141

GATES ALFRED JR
4636 PARTRIDGE CT #
MEMPHIS TN 38141

FERGUSON CASSANDRA
4644 CHELWOOD DR #
MEMPHIS TN 38141

HENDERSON KEVIN E
7210 PRUDENCIA DR #
LAKE WORTH FL 33463

WILLIAMS RODNEY & COURTNEY
4633 SPANIEL CV #
MEMPHIS TN 38141

POPOVICI PETRU
22942 VIA NUEZ ## 25
MISSION VIEJO CA 92691

WILLIAMS MICHAEL A
4665 VESCOVI LN #
MEMPHIS TN 38141

VERGARA ALVARO
6787 CLEARY DR #
MEMPHIS TN 38141

TAYLOR ROBERT & TAWNY
6585 MALLARD NEST CV #
MEMPHIS TN 38141

QUINN WILLIAM
2231 E GLENALDEN DR #
GERMANTOWN TN 38139

ALLGOOD KIMBERLY D
6795 CLEARY DR #
MEMPHIS TN 38141

HAMILTON THOMAS & ABIGAIL
4187 SEQUOIA #
MEMPHIS TN 38117

SPIKNER DERRICK AND LATONYA JEFFRIES
4659 HILL GAIL DR #
MEMPHIS TN 38141

OCAMPO YURIRIA C M AND ELPIDIA S O ORTIZ
6811 CLEARY DR #
MEMPHIS TN 38141

WALLER SHADIE
4722 MALLARD RIDGE DR #
MEMPHIS TN 38141

WILLIAMS CEDRIC L
6782 CLEARLY DR #
MEMPHIS TN 38141

RJ REAL ESTATE HOLDINGS LP
5099 OLD SUMMER RD #C
MEMPHIS TN 38122

ORTEZ PABLA M
4723 MALLARD RIDGE DR #
MEMPHIS TN 38141

HILL- CUMMINGS LINDA K
6551 CABERNET CV #
MEMPHIS TN 38141

SALCEDO JOSE
4700 MALLARD RIDGE DR #
MEMPHIS TN 38141

QUARLES LISA M
4739 BARKSHIRE DR #
MEMPHIS TN 38141

WASHINGTON DESI
4663 SHAKER CV #
MEMPHIS TN 38141

GARMON BETTY J
6576 MALLARD NEST CV #
MEMPHIS TN 38141

FULGHAM KIMBERLY
4731 MALLARD RDIGE DR #
MEMPHIS TN 38141

SINCLAIR HORACE & DOROTHY
6812 CLEARY DR #
MEMPHIS TN 38141

ANDERSON ED L & MARIETTA
6592 MALLARD NEST CV #
MEMPHIS TN 38141

ECHOLS JERRY AND MARJORIE ECHOLS
4738 MALLARD NEST DR #
MEMPHIS TN 38141

HENDERSON ADAM
6521 CABERNET CV W
MEMPHIS TN 38141

ZAPATA CAMILO & MARIA F R AREVALO
4710 MALLARD RIDGE DR #
MEMPHIS TN 38141

MABE DIXIE AND MABE LIVING TRUST
6536 SOUTHPOINT DR #
DALLAS TX 75248

JOHNSON SILVER L
6763 CLEARY DR #
MEMPHIS TN 38141

PARKWAY PROPERTIES LLC
6399 STAGE RD #
BARTLETT TN 38134

WILLIFORD BRENDA A
6724 BOYLSTON DR #
MEMPHIS TN 38141

SHELTON CRISSY AND DORETHA LOVING
6771 CLEARLY DR #
MEMPHIS TN 38141

GOLD SPIKE CAPITAL LLC
1480 GRANDVIEW ST #
UPLAND CA 91784

FRANKLIN ARTHUR
6748 BOYLSTON DR #
MEMPHIS TN 38141

DESCANSO PROPERTIES LLC
PO BOX 2736 #
PALOS VERDES PENINSULA CA 90274

BROWN JOE E
6723 BOYLSTON DR #
MEMPHIS TN 38141

HARRIS AQUENTIN M
4769 ROSS CREEK DR #
MEMPHIS TN 38141

COSBY J DOUGLAS
1014 MEADOW LN #
SALEM IL 62881

GRIFFIN KENNETH D
6731 BOYLSTON DR #
MEMPHIS TN 38141

AFFORDABLE MANAGEMENT LLC
5524 RIVERDALE RD #
MEMPHIS TN 38141

WRING AUBREY AND VIRGINIA A WRING
5524 RIVERDALE RD #
MEMPHIS TN 38141

CARTER MILTON & GLORIA J
6674 ROSS CREEK CV #
MEMPHIS TN 38141

EDWARDS GWENDOLYN
4767 ROSS RD #
MEMPHIS TN 38141

MEZA ANDRES
4744 STONEY HILL DR #
MEMPHIS TN 38141

MALLARD RIDGE TRUST (TR)
3631 PINYON PINE #
SAN ANTONIO TX 78261

HISKY ROBIN S
4777 STONEY HILL DR #
MEMPHIS TN 38141

RUSSELL TWANA L
4470 LONG CREEK RD #
MEMPHIS TN 38125

DOBY JERRY D
4755 ROSS CREEK DR #
MEMPHIS TN 38141

SMITH NETTIE C
6610 DUCKLING CV #
MEMPHIS TN 38141

KAHMANN RANDY E
6654 ROSS CREEK CV #
MEMPHIS TN 38141

GALVAN-MORAN VICTOR M & ROSA Y MAZON
4753 ROSS RD #
MEMPHIS TN 38141

CHIANG XIAO R
773 N 650 E #
LINDON UT 84042

ROSS JACOB A
4745 ROSS RD #
MEMPHIS TN 38141

COLE ESSIE M
4764 ROSS RD #
MEMPHIS TN 38141

PIERCE KENOSHA S
4786 BARKSHIRE DR #
MEMPHIS TN 38141

STRAHAN GWENDOLYN
6620 BLUEBILL CV #
MEMPHIS TN 38141

WILLIAMS ANGELA B
6714 BURLINGAME DR #
MEMPHIS TN 38141

GILLARD JUANITA
6600 DUCKLING CV #
MEMPHIS TN 38141

REI NATION LLC
PO BOX 381887
GERMANTOWN TN 38183

ANDERSON JESSICA W
6574 MALLARD RIDGE DR #
MEMPHIS TN 38141

WILLIAMS WHITNEY L
6741 BURLINGAME DR #
MEMPHIS TN 38141

TIGUE SHARA
6715 BOYLSTON DR #
MEMPHIS TN 38141

LUONG TAN & MONG TRUONG
4775 MALLARD NEST DR #
MEMPHIS TN 38141

JOHNSON JEREMIAH T
6765 BURLINGAME DR #
MEMPHIS TN 38141

NETO ARLINDO
15 PHILLIPS ST
LEOMINSTER MA 1453

HUGHES WILLIAM & ROSA F
4829 MALLARD NEST DR #
MEMPHIS TN 38141

MCKINNEY JEFFREY
4831 BLUE WING ST #
MEMPHIS TN 38141

DICKERSON LEONARD T
6528 GADWELL DR N
MEMPHIS TN 38115

MOTEN CORDAY
4815 MALLARD NEST DR #
MEMPHIS TN 38141

COLEMAN RODERICK
4837 BARKSHIRE DR #
MEMPHIS TN 38141

JEFFERSON CARLOS S & KEVA
6556 GADWALL DR N
MEMPHIS TN 38141

ECHOLS ALICIA A
4810 ROSS CREEK DR #
MEMPHIS TN 38141

MAVI SANTPAL S & JASVINDER K CHARITABLE
2709 JACKSON PIKE #
BIDWELL OH 45614

WEBB PAULA A
6611 DUCKLING CV #
MEMPHIS TN 38141

ASKEW KRYSTAL C
4815 BLUE WING ST #
MEMPHIS TN 38141

DILLARD EKINIA M
4846 WATER FOWL LN #
MEMPHIS TN 38141

HITE ROLAND
6732 HENREDON DR #
MEMPHIS TN 38141

BOBO MELISSA A
4808 ROSWELL DR #
MEMPHIS TN 38141

WHITE TORSHA A
7863 KENWICK WAY #204
MEMPHIS TN 38119

LIM MARK
5719 E HUNTDAL ST
LONG BEACH CA 90808

SHIRLEY DAVID A & CATHIE W
6781 HENREDON DR #
MEMPHIS TN 38141

MYERS HENRY JR
6590 WADERS RIDGE #
MEMPHIS TN 38141

HARMON PAMELA J
6780 HENREDON DR #
MEMPHIS TN 38141

CLARK SHERITA Y
6795 HENREDON DR #
MEMPHIS TN 38141

JAMES W ANTHONY JR & TANJA D
6617 WADERS RIDGE DR #
MEMPHIS TN 38141

CROOM JANICE AND JAMARACA HOuseton (RS)
4801 ROSS CREEK DR #
MEMPHIS TN 38141

MALONE MICHAEL D
4828 MALLARD NEST DR #
MEMPHIS TN 38141

LONGS JAMES & AMY MENEFEELONGS
827 FERN ST #
YEADON PA 19050

PRICE TIMOTHY & SHONNA
6539 GADWALL DR N
MEMPHIS TN 38141

JONES BILLY J SR & KENITRA
PO BOX 753485 #
MEMPHIS TN 38175

HEARD APRIL S
4873 WATER FOWL LN #
MEMPHIS TN 38142

KILLEBREW BRANDEN & LASHANDA
4805 ROSS CREEK DR #
MEMPHIS TN 38141

MOODY ELGIN S & MELANIE C
4840 MALLARD NEST DR #
MEMPHIS TN 38141

BONILLA VERONICA
6717 HENREDON DR #
MEMPHIS TN 38141

JONES MICHAEL & SANDRA
6645 ROSS CV #
MEMPHIS TN 38141

SANFORD LATOYA A
4749 STONEY HILL DR #
MEMPHIS TN 38141

COLE SHERMAN E
4560 QUAIL FLIGHT CV #
MEMPHIS TN 38141

TONEY STEPHANIE
PO BOX 181494 #
MEMPHIS TN 38181

REVEN HOUSING TENNESSEE LLC
PO BOX 1459 #
LA JOLLA CA 92038

TANG DAVID
462 CENTURY OAKS WAY #
SAN JOSE CA 95111

SETLER JOHNNIE E & GWENDOLYN
6645 MALEJ RD #
MEMPHIS TN 38141

BANKS HOMER & ROZETTA L
6547 E CABERNET CV #
MEMPHIS TN 38141

CONTRERAS JOSE A
4561 PINE TOP CIR E
MEMPHIS TN 38141

O'REILLY AUTOMOTIVE, INC
PO BOX 9167 #
SPRINGFIELD MO 65801

EASLEY JACQUELYN C AND FRANK EASLEY
6716 ROCKBROOK DR #
MEMPHIS TN 38141

HOUSTON STEVEN K & CAROL L
4556 QUAIL RIDGE TRL #
MEMPHIS TN 38141

SHIVANI PROPERTIES LLC
6705 E SHELBY DR #
MEMPHIS TN 38141

CACHOLA DARYL K & KARA A MURAMOTO
1177 MOKUHANO ST ## H101
HONOLULU HI 96825

HOLLOWAY SHERMAN & BARBARA
6709 ROCKBROOK DR #
MEMPHIS TN 38141

JORDAN BARBARA J
6668 SHAKER LN #
MEMPHIS TN 38141

GARNER MICHAEL & VALERIE
6652 QUAIL COVEY DR #
MEMPHIS TN 38141

RICHEY ZERRICK
6739 ROCKBROOK DR #
MEMPHIS TN 38141

GUERRERO ARNULFO B
2857 PORTLAND DR #
FAIRFIELD CA 94533

RIVERIA RANDALL AND LISA M GAUTIER
4545 ROSS RD #
MEMPHIS TN 38141

STUART MICHAEL
1225 VIENNA DR ##237
SUNNYVALE CA 94089

GHOLSON MICHAEL D
4675 SHAKER CV #
MEMPHIS TN 38141

BULLOCK DESTAN L
4555 MISTY MOOR LN #
MEMPHIS TN 38141

PORCHAY TIERRA L
6757 ROCKBROOK DR #
MEMPHIS TN 38141

SHELBY REALTY LLC
984 INTERVALE AVE #
BRONX NY 10459

DOLLAR KELLEY
6629 QUAIL COVEY #
MEMPHIS TN 38141

LIAS ALONZO
6765 ROCKBROOK DR #
MEMPHIS TN 38141

BROWN CARRIE E
6682 BOYLSTON DR #
MEMPHIS TN 38141

RICE FATIMA
6637 QUAIL COVEY DR #
MEMPHIS TN 38141

LIPFORD MARILYN J
4564 PINE TOP CIR E
MEMPHIS TN 38141

PARKER LOUIS REVOCABLE LIVING TRUST
PSC 276 BOX 185 #
APO AP 96548

DUNIGAN WILLIAM JR & ALICE
6563 PINE TOP CIR S
MEMPHIS TN 38141

LIPFORD CRYSTAL L
4575 S QUAIL FLIGHT CV #
MEMPHIS TN 38141

WELLS JAMES A & MARIANETTE
4567 MISTY MOOR LN #
MEMPHIS TN 38141

PAIGE ANGELIA
6571 PINE TOP CIR S
MEMPHIS TN 38141

SPEIGHTS JAMES & ROSEANN
4572 BLANDFORD DR #
MEMPHIS TN 38141

MURCHINSON MILDRED
4567 ROSS RD #
MEMPHIS TN 38141

BALLINGER VALERIE
4591 HILL GAIL DR #
MEMPHIS TN 38141

SHELBY COUNTY TAX SALE 94.5 EXH #6028
PO BOX 2751 #
MEMPHIS TN 38101

JORDAN MARGARET
4568 QUAIL FLIGHT CV #
MEMPHIS TN 38141

FRONT RANGE ASSET MANAGEMENT LLC
11 CLAUDETTE CIR #
FRAMINGHAM MA 1701

HOLMES KIMMERAL
4582 ROSS RD #
MEMPHIS TN 38141

SHEAR NORMAN L
578 SUTTON WAY #
GRASS VALLEY CA 95945

BUCKLEY VICKIE
4572 S QUAIL FLIGHT CV #
MEMPHIS TN 38141

COOPER DWIGHT K
6542 E CHARDONNAY CV #
MEMPHIS TN 38141

MAYS ELIZABETH
4565 BLANDFORD DR #
MEMPHIS TN 38141

WILSON-WILBOURN JANON & NORRIS WILBOURN
4583 HILL GAIL DR #
MEMPHIS TN 38141

CANSECO ZENON
6548 E CHARDONNAY CV #
MEMPHIS TN 38141

KOUCH-YANG (THE)
4564 BLANDFORD DR #
MEMPHIS TN 38141

SANDERSON JEFFREY G
4573 S QUAIL FLIGHT CV #
MEMPHIS TN 38141

CROSS DENISE
6570 SHAKER LN #
MEMPHIS TN 38141

HERNANDEZ ARNULFO & JOVITA CARRILLO
4570 QUAIL RIDGE TRL #
MEMPHIS TN 38141

PARKS MARTIN
4573 QUAIL RIDGE TRL #
MEMPHIS TN 38141

CARR GEORGE JR
6576 SHAKER LN #
MEMPHIS TN 38141

JAMES EUNICE
6555 PINE TOP CIR S
MEMPHIS TN 38141

ECHOLS RENEE
4575 MISTY MOOR LN #
MEMPHIS TN 38141

VERGARA MARIO
4581 BLANDFORD DR #
MEMPHIS TN 38141

HUNT CHANTELLE D
4572 MISTY MOOR LN #
MEMPHIS TN 38141

WILSON JEFFREY
4574 ROSS RD #
MEMPHIS TN 38141

CURRY CARLETTA
6584 SHAKER LN #
MEMPHIS TN 38141

GREER SEAN
6596 SHAKER LN #
MEMPHIS TN 38141

WOMACK JEFF A
4588 CHELWOOD DR #
MEMPHIS TN 38141

WILLIFORD ROBERT & LASHUNDA M
4611 WINTER PARK DR #
MEMPHIS TN 38141

WILLIAMS TONI & PHILIP D
6606 SHAKER LN #
MEMPHIS TN 38141

CHARLES CHERYL
7301 HOLLORN LN #
MEMPHIS TN 38125

888 MEMPHIS LLC
PO BOX 10214 #
HONOLULU HI 96816

WALKER ANTHONY
6624 SHAKER LN #
MEMPHIS TN 38141

DODSON ROCKY
2880 TYNDALE WAY #
GRAND JUNCTION CO 81503

THUONG PHUONG
4608 SPANIEL CV #
MEMPHIS TN 38141

SIDNEY EVELYN
6632 SHAKER LN #
MEMPHIS TN 38141

BARRETTE FAMILY TRUST
11713 S TARRON AVE #
HAWTHORNE CA 90250

HICKS RAY C
6580 ERNEST CV #
MEMPHIS TN 38141

F-UNITED CO LTD
46 S FLICKER ST #
MEMPHIS TN 38104

MONTGOMERY ALICE
4596 BLANDFORD DR #
MEMPHIS TN 38141

OMELIANTSCHUK PAUL & JOY
4607 HILL GAIL DR #
MEMPHIS TN 38141

FAHNESTOCK AMY
4580 HILL GAIL DR #
MEMPHIS TN 38141

YAMASA CO LTD
PO BOX 4090 #
SCOTTSDALE AZ 85261

PEW FREDDIE JR
6588 ERNEST CV #
MEMPHIS TN 38141

JONES TERRANCE D
1162 WESTERN PARK DR #
MEMPHIS TN 38109

RATCLIFF EDWARD E & BETTY
4605 PARTRIDGE CT #
MEMPHIS TN 38141

RINOK LLC
1870 GLENBUCK CV N
GERMANTOWN TN 38139

RIDDLE JANICE
4601 VESCOVI LN #
MEMPHIS TN 38141

SHAW GARRY L SR & JOYCE E
6551 CHARDONNAY CV E
MEMPHIS TN 38141

JUNIOR PAMELA
4605 BLANDFORD DR #
MEMPHIS TN 38141

SIMPSON TERESA D
4589 BLANDFORD DR #
MEMPHIS TN 38141

VASQUEZ IRMA Y AND JUAN C B VARGAS (RS)
4609 VESCOVI LN #
MEMPHIS TN 38141

BRADLEY RAYMOND E
4604 BLANDFORD DR #
MEMPHIS TN 38141

AMBROSE DAVID
4600 SPANIEL CV #
MEMPHIS TN 38141

RJ REAL ESTATE HOLDINGS G P
5099 OLD SUMMER RD #C
MEMPHIS TN 38122

VEALS WALTER L & ZEREDA C
4615 VESCOVI LN #
MEMPHIS TN 38141

STITT MAVIS R & ADRIAN C
4611 SHAKER CV #
MEMPHIS TN 38141

FIREBALL HOLDINGS LLC
6388 HUNTINGTON DR #
CARLSBAD CA 92009

PRICE JERRY B & VONVRIETTE M
4621 SPANIEL CV #
MEMPHIS TN 38141

FANION GERALD A JR & JACQUELYN A
4606 CHELWOOD DR #
MEMPHIS TN 38141

HERNANDEZ TERESA
4611 CHELWOOD DR #
MEMPHIS TN 38141

UNITED ROYAL PROPERTIES LLC
168 MAJESTIC TRL #
COLLIERVILLE TN 38017

BLUE SALAMANDER INVESTMENTS LLC
1806 SKYLINE DR #
STOUGHTON WI 53589

BOWERS JESSIE J AND DELOIS BOWERS SANNEH
4619 SHAKER CV #
MEMPHIS TN 38141

ABSTON JAMES
4629 VESCOVI LN #
MEMPHIS TN 38141

FARMER JACQUELINE E
4611 ROSS RD #
MEMPHIS TN 38141

COLEMAN RANGELAR K & FRANCINE M
4625 WINTER PARK DR #
MEMPHIS TN 38141

AFFORDABLE MANAGEMENT LLC
5524 RIVERDALE RD #
MEMPHIS TN 38141

ECHOLS OSCAR & LYN M
6592 ERNEST CV #
MEMPHIS TN 38141

HINES JESSICA N
4624 WINTER PARK DR #
MEMPHIS TN 38141

TURTLE PRODUCTIONS LLC
1950 W POPLAR AVE #
COLLIERVILLE TN 38017

CONLEY EMMETT JR
4612 SPANIEL CV #
MEMPHIS TN 38141

BROOKS REAL ESTATE
5459 GOLD LEAF LN #
MEMPHIS TN 38125

GREEN PAULA M
4621 BLANDFORD DR #
MEMPHIS TN 38141

HOLDEN DAN T & KELLY S
6607 FERNSHAW DR #
DALLAS TX 75248

STEWART JOANN
6688 GROUSE LN #
MEMPHIS TN 38141

GLENN VICKIE R
4619 CHELWOOD DR #
MEMPHIS TN 38141

THOMPSON BETTY S AND BETTIE D TOLBERT
170 PALOMINO RUN #
HOLLY SPRINGS MS 38635

TUCKER CEDRIC & LAVERNE
4612 CHELWOOD DR #
MEMPHIS TN 38141

ODOMS THEODORE JR
4626 SHAKER CV #
MEMPHIS TN 38141

STEIGER MARY C
PO BOX 348 RD
ORACLE AZ 85623

SANFORD DOROTHY
4618 PARTRIDGE CT #
MEMPHIS TN 38141

HARRIS SHARON D & RAY A
4628 PARTRIDGE CT #
MEMPHIS TN 38141

PIPER LIVING TRUST
3717 HOMESTEAD RD #
SALEM OR 97302

BOLLER JAMES T JR
6678 GROUSE LN #
MEMPHIS TN 38141

BROOKS DENISE M AND GWENDOLYN B
4620 CHELWOOD DR #
MEMPHIS TN 38141

STOCKS DONALD R
4619 BENOIT DR #
MEMPHIS TN 38141

LOVINS ALICIA
4629 BLANDFORD DR #
MEMPHIS TN 38141

MITCHELL ANGELA S
4628 BENOIT DR #
MEMPHIS TN 38141

FLANNERY CRAIG R
2520 TOWNE VIEW CT #
FLOWER MOUND TX 75028

4SUR LLC
9966 ELKHORN ST #
LITTLETON CO 80127

TAYLOR LINZO & NADINE R
4639 SHAKER CV #
MEMPHIS TN 38141

MAJOR JAMES AND NICOLE MAJOR FAMILY
33 POPPYFIELD LN #
RANCHO SANTA MARGARITA CA 92688

BODDIE DARNELL & JANICE L
6553 MARGAUX CV E
MEMPHIS TN 38141

ANDERSON MARK & TERESA L
4640 SHAKER CV #
MEMPHIS TN 38141

SMITH PHYLLIS & CLARENCE L
4633 SHAKER CV #
MEMPHIS TN 38141

BELL CHRISTY M
4634 SPANIEL CV #
MEMPHIS TN 38141

BROWN JAMES L & DELILAH
6594 NAOMI CV #
MEMPHIS TN 38141

TRIBBLE CLEOPHUS
4630 ROSS RD #
MEMPHIS TN 38141

FREEMON EUNICE
4640 VESCOVI LN #
MEMPHIS TN 38141

BURTS ROBIN
7310 MORRISON DR #
GREENBELT MD 20770

ASKEW SEVONNE
4627 HILL GAIL DR #
MEMPHIS TN 38141

POSTON ALICE P
4637 ROSS RD #
MEMPHIS TN 38141

FISHER SUSAN M
649 CHANTICLEER DR #
WOODVILLE TX 75979

SIMMONS JUWANDA Y
4634 SHAKER CV #
MEMPHIS TN 38141

LUCHA HEYDI
6588 NAOMI CV #
MEMPHIS TN 38141

ROGERS LASHONDA R
4636 BLANDFORD DR #
MEMPHIS TN 38141

FREEMAN CRAIG
4635 PARTRIDGE CT #
MEMPHIS TN 38141

REED MICHAEL
PO BOX 751164 #
MEMPHIS TN 38175

COLLINS JOHNNY U
4636 HILL GAIL DR #
MEMPHIS TN 38141

CATHEY CHERYL C
4628 HILL GAIL DR #
MEMPHIS TN 38141

MANN WILLIAM E & ROSE T
3300 KEYSTONE HILLS DR #
EVANSVILLE IN 47711

NEWSOM EDDIE & ROCHELLE
4637 BLANDFORD DR #
MEMPHIS TN 38141

NEWSON DONALD & CHARLENE
4628 BLANDFORD DR #
MEMPHIS TN 38141

BURR SHARANESE
6519 MARGAUX CV W
MEMPHIS TN 38141

MRAZIK MARILYN
4639 SPANIEL CV #
MEMPHIS TN 38141

MCNUTT BURLON & CHERYL W
4635 CHELWOOD DR #
MEMPHIS TN 38141

KPABITEY EMMANUEL T
8241 POST CREEK CV #
MEMPHIS TN 38141

TATUM WANDA L
4656 WINTER PARK DR #
MEMPHIS TN 38141

JOHNSON DAVID L & IDA G NEWBY-JOHNSON
4636 CHELWOOD DR #
MEMPHIS TN 38141

DANZ ROBERT A AND MARY L DANZ
1009 THORNTON WAY #
SAN JOSE CA 95128

WINCE BOBO B & IDA M
4643 BENOIT DR #
MEMPHIS TN 38141

TORRES VITALINO C
4636 BENOIT DR #
MEMPHIS TN 38141

DEBRO-HARRIS RUTH & DAVID HARRIS
4644 HILL GAIL DR #
MEMPHIS TN 38141

ROBLES ARTURO V
4659 VESCOVI LN #
MEMPHIS TN 38141

RJ REAL ESTATE HOLDINGS G P
5099 OLD SUMMER RD #C
MEMPHIS TN 38122

HARDAWAY YOLANDA R
4645 BLANDFORD DR #
MEMPHIS TN 38141

TAYLOR TOMMIE L
4653 SHAKER CV #
MEMPHIS TN 38141

RICHMOND GARY SR AND SHARON K RICHMOND
4645 ROSS RD #
MEMPHIS TN 38141

YOUNG SANDRA Z
4644 BLANDFORD DR #
MEMPHIS TN 38141

FLYNN FAMILY TRUST
9030 W SAHARA AVE #442
LAS VEGAS NV 89117

NEELY SHAMAL
4646 PARTRIDGE CT #
MEMPHIS TN 38141

RUBIO MAURICIO
6584 E SHELBY DR #
MEMPHIS TN 38141

HIGHTOWER JULIA M
4651 ROSS RD #
MEMPHIS TN 38141

MCKINNEY GAYLA P
4645 PARTRIDGE CT #
MEMPHIS TN 38141

BAYNES LAQUITA H
6516 CABERNET CV W
MEMPHIS TN 38141

DICKSON HENRY L JR
4643 LEASH LN #
MEMPHIS TN 38141

KBAY GROUP LLC
PO BOX 4936 #
KANE OHE HI 96744

ZHANG LIANGMIN
4709 SUMMIT RIDGE DR #
JONESBORO AR 72404

DENNIS EDGAR L & ROSALIND L
4649 HILL GAIL DR #
MEMPHIS TN 38141

GLASS KOMACA
4643 SPANIEL CV #
MEMPHIS TN 38141

PROGRESS RESIDENTIAL BORROWER 16 LLC
PO BOX 4090 #
SCOTTSDALE AZ 85261

HERNANDEZ ARMANDO
4654 ROSS RD #
MEMPHIS TN 38141

BECKLEY BEATRICE
4648 SHAKER CV #
MEMPHIS TN 38141

SHABAZZ JAMAL
6526 W CABERNET CV #
MEMPHIS TN 38141

CAMPBELL FRANKLIN AND JOYCE CAMPBELL
4653 BLANDFORD DR #
MEMPHIS TN 38141

ROBINSON DAPHNE R
4650 HILL GAIL DR #
MEMPHIS TN 38141

JAMES KESHIA L
4667 SHAKER CV #
MEMPHIS TN 38141

MOSS-STARR TIFFANY N
6747 CLEARY DR #
MEMPHIS TN 38141

HASLETT JESSE & GLORIA
4651 CHELWOOD DR #
MEMPHIS TN 38141

FAIROFFERCASHNOW INC
1806 MEMORIAL BLVD
MURFREESBORO TN 37129

GORDON RICHARD M
6 OAKLAWN AVE #
GLEN HEAD NY 11545

NOVOGRODER/SHELBY LLC
PO BOX 1159 #
DEERFIELD IL 60015

LOGGINS BOBBIE
6830 CLEARY DR #
MEMPHIS TN 38141

CARTER DON & DEBRA
6839 CLEARY DR #
MEMPHIS TN 38141

BENSON JESSE A
4651 BENOIT DR #
MEMPHIS TN 38141

OLALLO MARIO & MARIA
6842 CLEARY DR #
MEMPHIS TN 38141

LOWE MICHAEL E & KATIE E
4717 STONEY HILL DR #
MEMPHIS TN 38141

HOWARD DARRICK A II
4661 SHAKER CV #
MEMPHIS TN 38141

BRASWELL LACHAKA C
4678 WINTER PARK DR #
MEMPHIS TN 38141

RS RENTAL I LLC
1955 S VAL VISTA DR #126
MESA AZ 85204

ROBINSON LASHAUN
4662 SHAKER CV #
MEMPHIS TN 38141

BLAIR KELI
4670 ROSS RD #
MEMPHIS TN 38141

TYSON JEFFREY
PO BOX 472 #
COLLINGSWOOD NJ 8108

BOYD STEPHEN R & SONJA L
4660 BLANDFORD DR #
MEMPHIS TN 38141

BONNER ALICE
4672 SHAKER CV #
MEMPHIS TN 38141

FRANCO JOSE
6580 S MALLARD NEST CV #
MEMPHIS TN 38141

LAWSON SAMMIE L JR & KATHALEAN
6517 W CABERNET CV #
MEMPHIS TN 38141

JS RESI HOLDINGS LLC
PO BOX 928769 #
SAN DIEGO CA 92192

HENDERSON ROBERT L & RHONDA C
6586 MALLARD NEST CV #
MEMPHIS TN 38141

MCBRIDE JASON
2830 W 5825 S #
ROY UT 84067

BRANCH USA LLC
1735 EDGEBURG LN
CORDOVA TN 38016

QUINONES OCTAVCIO
1011 BRADLEY CT #
WEST PALM BEACH FL 33405

WEST-MCLEMORE FLRINE
4673 VESCOVI LN #
MEMPHIS TN 38141

RAY JERMAINE M
6739 CLEARY DR #
MEMPHIS TN 38141

LEAKS BARBARA
4725 STONEY HILL DR #
MEMPHIS TN 38141

SHELBY DRIVE SERIES
4055 AMERICAN WAY #
MEMPHIS TN 38118

WHITE VIVIAN J
4751 BARKSHIRE DR #
MEMPHIS TN 38141

MACKEY DURRELL
4730 MALLARD NEST DR #
MEMPHIS TN 38141

MAGNOLIA MEMPHIS LLC
5532 LILLEHAMMER LN #206
PARK CITY UT 84098

DASHMIND HOLDINGS LLC
24817 SE 38TH ST #
ISSAQUAH WA 98029

FLYNN FAMILY TRUST
9030 W SAHARA AVE #442
LAS VEGAS NV 89117

YOUNG FAMILY TRUST
6515 GOODMAN RD #4-256
OLIVE BRANCH MS 38654

WILLIAMS MICHAEL & EMILY
4745 BARKSHIRE DR #
MEMPHIS TN 38141

TPW PROPERTIES LLC
630 STEEPLECHASE CT #
RENO NV 89521

CARTER EVERLYN C
4728 STONEY HILL DR #
MEMPHIS TN 38141

MCCOHN-WHITE DEBORAH
4743 BARKSHIRE DR #
MEMPHIS TN 38141

WALLACE DEVVON
4737 MALLARD RIDGE DR #
MEMPHIS TN 38141

JONES CARL & CHARLENE
4716 MALLARD RIDGE DR #
MEMPHIS TN 38141

JAMES PAMELA
4747 BARKSHIRE DR #
MEMPHIS TN 38141

FRANCOZ FAMILY TRUST
5076 MARC DR #
NASHVILLE TN 37211

SHIELDS LACHUNDA R
6607 MALLARD NEST CV #
MEMPHIS TN 38141

WILLIAMS MARLENE
4733 MALLARD NEST DR #
MEMPHIS TN 38141

MCCLENTON NATHANIEL
6772 BOYLSTON DR #
MEMPHIS TN 38141

PALISADE LLC
PO BOX 17005 #
MEMPHIS TN 38187

RHODES CURTISTINE
4727 ROSS CREEK DR #
MEMPHIS TN 38141

FLUELLEN & RICHARD & ASHLEY N
6780 BOYLSTON DR #
MEMPHIS TN 38141

APPLEWHITE KIMBERLY S
6579 MALLARD NEST CV #
MEMPHIS TN 38141

LAM DUYEN
4730 MALLARD RIDGE DR #
MEMPHIS TN 38141

SHIMOIDE MICHAEL
12336 E CLARKSON AVE #
KINGSBURG CA 93631

JOHNSON MARGARET E & WILLARD
4732 STONEY HILL DR #
MEMPHIS TN 38141

FARMER ANA
4736 STONEY HILL DR #
MEMPHIS TN 38141

NELSON CYNTHIA
4742 ROSWELL DR #
MEMPHIS TN 38141

GONZALEZ SONIA E & VICTOR A ORRALDE
4724 MALLARD NEST DR #
MEMPHIS TN 38141

J D C PROPERTIES LLC
55 RALPOP LN E
ROSSVILLE TN 38066

BOULTON JADE N V & JASON A
4733 ROSS CREEK DR #
MEMPHIS TN 38141

KARDAMYLA INVESTMENTS LLC
104 TRILLIUM PL #
VENETIA PA 15367

HENDERSON LATORIA M
4744 MALLARD NEST DR #
MEMPHIS TN 38141

REMUS ANDREA
4747 ROSS CREEK DR #
MEMPHIS TN 38141

WRING AUBREY B & VIRGINIA A
5524 RIVERDALE RD #
MEMPHIS TN 38141

MAYS BRANDY L
4741 ROSS CREEK DR #
MEMPHIS TN 38141

BATES SHEILA K
4756 MALLARD RIDGE DR #
MEMPHIS TN 38141

KING MATILDA
4738 ROSS CREEK DR #
MEMPHIS TN 38141

BUTLER MAURICE
PO BOX 280
CORDOVA TN 38088

ML GROUP PROPERTIES LLC
1741 TROON CV #
GERMANTOWN TN 38139

SHINE JOHN E & LINDA A
6665 BOYLSTON DR #
MEMPHIS TN 38141

BROADNAX STEPHANIE
4749 MALLARD RIDGE DR #
MEMPHIS TN 38141

REVEN HOUSING TENNESSEE LLC
PO BOX 1459 #
LA JOLLA CA 92038

ALLEN ERMA M
6673 BOYLSTON DR #
MEMPHIS TN 38141

RODRIGUEZ BRENDA D
4754 BARKSHIRE DR
MEMPHIS TN 38141

OCEGUEDA JOSE
4759 BARKSHIRE DR #
MEMPHIS TN 38141

DISTINGUISH CAPITAL HOLDINGS LLC
2900 DUNBAR DR #
MC KINNEY TX 75070

STEINSNYDER STEVEN M
1750 SAFFIN CIR #
LANCASTER PA 17601

MERRIWEATHER ANITA
6739 BOYLSTON DR #
MEMPHIS TN 38141

LAM PHUOC
4742 BARKSHIRE DR #
MEMPHIS TN 38141

BROWN DOROTHY M
6664 ROSS CREEK CV #
MEMPHIS TN 38141

CAMPANA MARJOREE & NGA NGUYEN
1954 BROOKE FARM CT #
WOODBIDGE VA 22192

COX DERICK A
4738 BARK SHIRE #
MEMPHIS TN 38141

RENTAL PROPERTY HOLDINGS II LLC
2980 CARNTON DR #
GERMANTOWN TN 38138

SEALE SONNY & KAREN
2100 N FM ROAD 113 #
WEATHERFORD TX 76088

NABORS LINDA J
4750 BARKSHIRE DR #
MEMPHIS TN 38141

JONES THADDEUS L & JESSIE A
6668 ROSS CREEK CV #
MEMPHIS TN 38141

WRIGHT ANGELA S
6763 BOYLSTON DR #
MEMPHIS TN 38141

BRUCK ALEXANDER Z
3671 HUDSON MANOR TER #7G
BRONX NY 10463

VEGA NELY M
6612 BLUEBILL CV #
MEMPHIS TN 38141

CAPLE ANNETTE D
6771 BOYLSTON DR #
MEMPHIS TN 38141

JENKINS SHIRLEY A
6779 BOYLSTON DR #
MEMPHIS TN 38141

WOODERS ERICA D
4761 ROSS RD #
MEMPHIS TN 38141

JACKSON TASHUNA
4762 ROSWELL DR #
MEMPHIS TN 38141

THOMPSON ERICA N
6789 BOYLSTON DR #
MEMPHIS TN 38141

PEETE BARRY C JR & LETETIA L
6665 ROSS CREEK CV #
MEMPHIS TN 38141

PAYNE LORENZO
6764 BURLINGAME DR #
MEMPHIS TN 38141

SMITH JONATHAN AND LISA WALLS (RS)
4754 ROSWELL DR #
MEMPHIS TN 38141

NEAL STEVEN L SR & DONNA L
4763 STONEY HILL DR #
MEMPHIS TN 38141

SMITH MARQUITA L
6772 BURLINGAME DR #
MEMPHIS TN 38141

RELIFORD MECHELLE D
4757 STONEY HILL DR #
MEMPHIS TN 38141

MCKINLEY THOMAS E
4772 STONEY HILL #
MEMPHIS TN 38141

MCDONALD STANLEY
4770 MALLARD NEST #
MEMPHIS TN 38141

ALACON RYAN AND KAHLIL CAGUNGUN AND
11759 WESTVIEW PKWY #
SAN DIEGO CA 92126

MOBLEY DEBRA E W
6671 ROSS CREEK CV #
MEMPHIS TN 38141

ROWLING TN LLC
853 BROADWAY #5
NEW YORK NY 10003

CAMPOS NIMIA
4765 BARKSHIRE DR #
MEMPHIS TN 38141

SMITH KELCEY
6724 BURLINGAME DR #
MEMPHIS TN 38141

M L GROUP PROPERTIES LLC
1741 TROON CV #
GERMANTOWN TN 38139

GARCIA RUTHIA H
4766 BARKSHIRE DR #
MEMPHIS TN 38141

TIPTON TUNJULA
6732 BURLINGAME DR #
MEMPHIS TN 38141

LYONS LATONYA L
6611 BLUEBILL CV #
MEMPHIS TN 38141

BERMUDEZ CARLOS
4770 MALLARD RIDGE DR #
MEMPHIS TN 38141

COOPER TEKELA
6740 BURLINGAME DR #
MEMPHIS TN 38141

SHAW RICHARD L
4772 BARKSHIRE DR #
MEMPHIS TN 38141

HART KRISTEN N
4763 ROSS CREEK DR #
MEMPHIS TN 38141

P FIN I LLC
3525 PIEDMONT RD #5, STE 410
ATLANTA GA 30305

FORTS JOHN
20610 HARVEST AVE #
LAKEWOOD CA 90715

NEWSON WAYNE
6657 ROSS CREEK CV #
MEMPHIS TN 38141

SISTRUNK ROSALYN
6605 BLUEBILL CV #
MEMPHIS TN 38141

KUBAN JEFFREY
10460 MONROE RD #
LAKELAND TN 38002

HARRISON GEORGE R JR AND
4770 ROSWELL DR #
MEMPHIS TN 38141

PARSON TOMMY T AND YOLANDA LL SALES
6606 DUCKLING CV #
MEMPHIS TN 38141

DOTSON EDNA E AND KATRINA M WATSON AND
6773 BURLINGAME DR #
MEMPHIS TN 38141

SPENCER AMANDA & ROB WILCZYNSKI
59 HERITAGE LN #
SHELBURNE VT 5482

BARNES MAXINE
6690 BURLINGAME DR #
MEMPHIS TN 38141

JOHNSON PATRICIA
6781 BURLINGAME DR #
MEMPHIS TN 38141

EQUITY TRUST CO CUST FBO
PO BOX 45290 #
WESTLAKE OH 44145

ZAMUDIO MONICA B
223 S REESE PL #
BURBANK CA 91506

WILLIAMS ANGELA
4785 ROSS CREEK DR #
MEMPHIS TN 38141

CEDILLOS JULIO C
4771 STONEY HILL DR #
MEMPHIS TN 38141

WALLACE TASHA L
4787 MALLARD NEST DR #
MEMPHIS TN 38141

BOHANNA SANDRA B
6532 GADWALL DR N
MEMPHIS TN 38141

BOXLEY KELVIN JR
4773 STONEY HILL DR #
MEMPHIS TN 38141

GFM INVESTMENTS LLC
2130 PENDLETON ST #
MEMPHIS TN 38114

WRIGHT BETTY F AND ARGARET S WRIGHT (RS)
4792 BARKSHIRE DR #
MEMPHIS TN 38141

COCROFT KAPHNE S AND FELICIA L COCROFT
6668 BURLINGAME DR #
MEMPHIS TN 38141

KNOELL EDWARD J
5516 E VOLTAIRE AVE #
SCOTTSDALE AZ 85254

WOODARD LINDA A & ANDREW G
6538 GADWALL DR
MEMPHIS TN 38141

TAYLOR TERESA
4775 STONEY HILL DR #
MEMPHIS TN 38141

HEARMS KIMBERLY D
4778 ROSWELL DR #
MEMPHIS TN 38141

STANBACK SHERYL
6544 GADWALL DR N
MEMPHIS TN 38141

THOMPSON REGINALD K
6674 BURLINGAME DR #
MEMPHIS TN 38141

FRANKLIN WILLIE AND ROSHONDA STEPHENSON
6733 BURLINGAME DR #
MEMPHIS TN 38141

HOUSTON KIMBERLY D
4800 BLUE WING ST #
MEMPHIS TN 38141

RASHAD DONNIE M
6680 BURLINGAME DR #
MEMPHIS TN 38141

NGUYEN LONG T
6749 BURLINGAME DR #
MEMPHIS TN 38141

CABO ENTERPRISES LLC
3230 CLAIBORNE FARM CV #
GERMANTOWN TN 38138

BLAIR TERESA & JULIAN
4775 ROSS CREEK DR #
MEMPHIS TN 38141

PELLETT EDWARD AND KAREN PELLETT
6757 BURLINGAME DR #
MEMPHIS TN 38141

GIBSON BRENDA L
6657 BURLINGAME DR #
MEMPHIS TN 38141

ROBINSON THERESA G
2195 CLEMENTI LN #
AURORA IL 60503

GILL EVELYN & LARRY
6748 HENREDON DR #
MEMPHIS TN 38141

WILLIAMS SANDRA L
7419 HOLLYVIEW DR #
MEMPHIS TN 38125

PITTMAN-HARRIS TANDRA D
6673 BURLINGAME DR #
MEMPHIS TN 38141

MCNAMEE TIMOTHY L & BEATRICE B
6756 HENREDON DR #
MEMPHIS TN 38141

JOPLIN VINCENT E & LARREN L
4833 MALLARD NEST RADL #
MEMPHIS TN 38141

JACOBSEN OWEN W
23729 NE 61ST ST #
REDMOND WA 98053

HALL LINDA K
6772 HENREDON DR #
MEMPHIS TN 38141

WELLS NICOLE
4825 MALLARD NEST #
MEMPHIS TN 38141

JOHNSON MICHAEL D & ANNIE L
6681 BURLINGAME DR #
MEMPHIS TN 38141

PERRY MICHAEL
4795 ROSWELL DR #
MEMPHIS TN 38141

RTSCHUSTER LLC
3712 FENELON ST #
SAN DIEGO CA 92106

SYKES STEVE M
6689 BURLINGAME #
MEMPHIS TN 38141

BOELCKE DAWN
6686 MALEJ RD #
MEMPHIS TN 38141

FRAZIER SHEDRICH & BRENDA
4802 ROSWELL DR #
MEMPHIS TN 38141

CHEN CHIH-JUNG
7539 WILLEY RD #
GERMANTOWN TN 38138

CLARK SHELIA R
4800 MALLARD NEST DR #
MEMPHIS TN 38141

NITER RENEE AND ROSIE NITER (RS)
4811 BARKSHIRE DR #
MEMPHIS TN 38141

INFIELD JANA
6740 HENREDON DR #
MEMPHIS TN 38141

JOHNSON DARRELL AND EUNESTIAN JOHNSON
4794 ROSWELL DR #
MEMPHIS TN 38141

STEWART SAVANIAL L
4812 BLUE WING ST #
MEMPHIS TN 38141

WARREN TORIANO & BRIDGETT
6605 DUCKLING CV #
MEMPHIS TN 38141

KATSUMATA HIROSHI
46 S FLICKER ST #
MEMPHIS TN 38104

BOYER BRIAN
5192 HARRISON AVE #100
ROCKFORD IL 61108

CASE RYAN J
1419 APPLEBERRY WAY #
WEST CHESTER PA 19382

VANDIVER MARCEL L
4804 BLUE WING ST #
MEMPHIS TN 38141

JACKSON GREGORY & AVA D
6725 HENREDON DR #
MEMPHIS TN 38141

SILVERSTRE JESUS
6716 HEREDON DR #
MEMPHIS TN 38141

MALONE STEVEN L & JEANNETTE C
4809 BLUE WING ST #
MEMPHIS TN 38141

FARRAR MARK L AND GENEVA R FARRAR
4814 MALLARD NEST DR #
MEMPHIS TN 38141

PAYNE STARKISHA
6741 HENREDON DR #
MEMPHIS TN 38141

BUKES GEORGE D & ANDREA L
8873 TRAILRIDGE AVE
SANTEE CA 92071

LABARRE DERRICK R SR AND LAKASHIA WRIGHT
6595 WADERS RIDGE DR #
MEMPHIS TN 38141

CRESTVIEW ENTERPRISES LLC
5990 S HEREDITY PL #
SALT LAKE CITY UT 84123

WILLIAMS PAMELA E
6648 MALEJ RD #
MEMPHIS TN 38141

PADGETT JUANKIA
4860 WATER FOWL LN #
MEMPHIS TN 38141

RHODES QUINTON
6749 HENREDON DR #
MEMPHIS TN 38141

POLLARD KEITH AND BRENDA POLLARD
4832 MALLARD NEST DR #
MEMPHIS TN 38141

BOARD OF EDUCATION OF THE MEMPHIS
2597 AVERY ST #
MEMPHIS TN 38112

BOELCKE DAWN M
6686 MALEJ RD #
MEMPHIS TN 38141

RILEY WARREN
4848 MALLARD NEST DR #
MEMPHIS TN 38141

UPCHURCH ANTHONY & BARBARA
6650 ROSS CV #
MEMPHIS TN 38141

CARPENTER PATRICIA
6757 HENREDON DR #
MEMPHIS TN 38141

COLLINS FAMILY TRUST
2116 DONOVAN DR #
LINCOLN CA 95648

CRAFTON EDWARD & MARY
6709 HENREDON DR #
MEMPHIS TN 38141

TURCIOS JUAN A
4845 MALLARD NEST DR #
MEMPHIS TN 38141

WILLIAMS MAGNOLIA
149 COLDWATER RIVER RD #
COAHOMA MS 38617

JERNIGAN WILFORD O REVOCABLE TRUST
6659 MALEJ RD #
MEMPHIS TN 38141

CRUTCHER DARBY
PO BOX 30982
MEMPHIS TN 38130

EDWARDS CLYDE W JR
6604 WADERS RIDGE DR #
MEMPHIS TN 38141

HAZLEY JESSE A JR & AMY C MARTIN
4853 ROSS RD #
MEMPHIS TN 38141

COOPER DARYL D
6789 HENREDON DR #
MEMPHIS TN 38141

GRAY JUANDREL & KIMBERLY R
4850 BLUE WING ST #
MEMPHIS TN 38141

WOODS PATSY E
6626 WADERS RIDGE DR #
MEMPHIS TN 38141

WILSON RUTHIE
4816 MALLARD NEST DR #
MEMPHIS TN 38141

MOORE DARRELL & KATRINA
PO BOX 750162 #
MEMPHIS TN 38175

REALTY INCOME PROPERTIES 18 LLC
500 VOLVO PKWY #
CHESAPEAKE VA 23320

MOORE HENRY L AND JAMES L MOORE
4820 MALLARD NEST DR #
MEMPHIS TN 38141

WINGO JAPEDALO
19269 HOLMES ST #
OMAHA NE 68135

HEDGEROW PROPERTY LLC
1057 OLD HEARTHSTONE CIR E
COLLIERVILLE TN 38017

TRENT DEDRICK
6769 SHELBY DR
MEMPHIS TN 38141

TSAI SU-HWA

SHEAR NORMAN L
578 SUTTON WAY #209
GRASS VALLEY CA 95945

AFFORDABLE MANAGEMENT LLC
5524 RIVERDALE RD #
MEMPHIS TN 38141

HAMMOND MICHAEL A
4712 MALLARD NEST DR #
MEMPHIS TN 38141

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

PANGEA PROPERTIES LLC
4247 STANBRIDGE AVE #
LONG BEACH CA 90808

FIRST MILESTONE LLC SERIES 4718 MALLARD
PO BOX 172125 #
MEMPHIS TN 38187

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

VALVOLINE LLC
PO BOX 55630 #
LEXINGTON KY 40555

DURHAM DEBORAH V
6652 BOYLSTON DR #
MEMPHIS TN 38141

BAF ASSETS LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

RESENDEZ CLAUDIA
6606 MALLARD NEST CV #
MEMPHIS TN 38141

DILLARD WILLIE E & CAROLYN M
6660 BOYLSTON DR #
MEMPHIS TN 38141

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

JOHNSON TANYA
4572 QUAIL RIDGE TRL #
MEMPHIS TN 38141

SULTZER VERNON L & EVYLINA
6670 BOYLSTON DR #
MEMPHIS TN 38141

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

PAGE CURTIS D & IRIS T
4575 QUAIL RIDGE TRL #
MEMPHIS TN 38141

LOUIS AQUILLA
6674 BOYLSTON DR #
MEMPHIS TN 38141

TRUE MEM2016 1 LLC
1024 BAYSIDE DR #205
NEWPORT BEACH CA 92660

WHITE VERONICA
4671 SHAKER CV #
MEMPHIS TN 38141

HOME SFR BORROWER IV LLC
3505 KOGER BLVD #400
DULUTH GA 30096

BAF ASSETS 2 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

BERUK PROPERTIES INC
3264 SARAZENS CIR #
MEMPHIS TN 38125

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

HOME SFR BORROWER II LLC
3505 KOGER BLVD #400
DULUTH GA 30096

BERRY BARDELL
4211 GLENROY DR #
MEMPHIS TN 38125

FISH EAGLE USA LLC
6800 POPLAR AVE #130
GERMANTOWN TN 38138

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

TURNKEY INVESTMENTS LLC
2235 WHITTEN RD
BARTLETT TN 38133

NITER MARY E
6010 KNIGHT AROLD RD #2
MEMPHIS TN 38115

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

HOME SFR BORROWER III LLC
3505 KOGER BLVD #400
DULUTH GA 30096

ALTO ASSET CO 1 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

TRUE MEM2016 -1 LLC
1024 BAYSIDE DR #205
NEWPORT BEACH CA 92660

GILL MARTIN & HERRING
8130 MACON STA #114
CORDOVA TN 38018

BAF ASSETS LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

HEAPSGROUP PROPERTIES LLC
6280 CHESTER ST #101
ARLINGTON TN 38002

MIDWAY EXCHANGE BORROWER 12 LLC
3505 KOGER BLVD
DULUTH GA 30096

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

GLOBAL PROPERTY TRUST
803 MOUNT MORIAH RD #201
MEMPHIS TN 38117

MIDWAY EXCHANGE BORROWER 12 LLC
3505 KOGER BLVD
DULUTH GA 30096

RESI TL1 BORROWER LLC
3505 KOGER BLVD #400
SCOTTSDALE AZ 85261

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

RS RENTAL I LLC
1955 S VAL VISTA DR #126
MESA AZ 85204

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

BAF ASSETS LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

AMNL ASSET CO 2 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

SUNFIRE 3 LLC
5001 PLZA ON THE LAKE #200
AUSTIN TX 78746

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

HOME SFR BORROWER II LLC
3505 KOGER BLVD #400
DULUTH GA 30096

BAF 1 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

ALPHA GROUP LLC
2693 UNION EXTENDED AVE #104
MEMPHIS TN 38112

FKH SFR PROPCO B HLD LP
1850 PARKWAY PL #900
MARIETTA GA 30067

MIDLAND TRUST COMPANY AS CUSTODIAN FBO
135 S LA SALLE ST #2150
CHICAGO IL 60603

BAF ASSETS LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

BHO HOLDINGS LLC AND MIO HOLDINGS LLC
45 OTTAWA AVE SW #600
GRAND RAPIDS MI 49503

D BRADY INVESTMENTS LLC
10960 WILSHIRE BLVD #5
LOS ANGELES CA 90024

CANNES LLC
1055 RIVER RD #802
EDGEWATER NJ 7020

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

SPECIALIZED IRA SERVICES FBO JUAN MIRET
6100 INDIAN SCHOOL RD NE #215
ALBUQUERQUE NM 87110

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

FKH SFR PROPCO B HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

GOODRICH DEADRA R
7894 AUTUMN HOLLOW DR #5
CORDOVA TN 38016

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

KUMAR MOHAN
34 SWEET SHADE
IRVINE CA 92606

EQUITY TRUST CUSTODIAN FBO
5384 POPLAR AVE #109
MEMPHIS TN 38119

SRMZ 4 ASSET COMPANY 1 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

CZ JOHN
4437 WINNERS CIR #1326
SARASOTA FL 34238

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

FKH SFR PROPCO B-HLD LP
1850 PARKWAY PL SE #900
MARIETTA GA 30067

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

FAIRWAY CAPITAL PARTNERS LLC
5384 POPLAR AVE #109
MEMPHIS TN 38119

HOME SFR BORROWER III LLC
3505 KOGER BLVD #400
DULUTH GA 30096

E W P LLC
3124 BROTHER BLVD #104
BARTLETT TN 38133

HOME SFR BORROWER IV LLC
3505 KOGER BLVD #400
DULUTH GA 30096

HOME SFR BORROWER LLC
3505 KOGER BLVD #400
DULUTH GA 30096

BOARD OF EDUCATION OF THE MEMPHIS CITY
2597 AVERY ST #114
MEMPHIS TN 38112

SHIVERS RAPHAEL D & FREDREUNA D
4748 MALLARD RIDGE DR
MEMPHIS TN 38141

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

ALTO ASSET CO 2 LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

HOME SFR BORROWER III LLC
3505 KOGER BLVD #400
DULUTH GA 30096

YANG SHU
2235 WHITTEN RD #101
MEMPHIS TN 38141

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

HOME SFR BORROWER II LLC
3505 KOGER BLVD #400
DULUTH GA 30096

VILLAGES OF BENNINGTON PROP OWNERS
5100 POPLAR AVE #2732
MEMPHIS TN 38137

093725 H00071 - MOMON PEARLIE
093523 I00001 - RHODES SHEILA R
093725 H00030 - RS RENTAL 1 LLC
093725 H00039 - LOPEZ JULIO AND IVAN LOPEZ AND
093725 H00024 - WILLIAMS WILLIE JR AND GERALD LONGMIRE
093523 I00026 - ROBINSON EDWARD
093725 H00055 - ANDERSON LATOSHA
093725 H00029 - SCHOLAND DONALD & MARY
093725 H00033 - BACON ANDREA
093725 H00041 - TAYLOR ROBERT H
093723 C00001 - STEPHENS ANTHONY
093725 H00026 - DEBCO LLC
093723 E00002 - KING BRENDA J
093725 G00062 - MOORE KERMIT L JR
093725 G00061 - MENDIETA RICHARD J & ANA M
093723 F00001 - BOYD JEROME
093725 H00057 - COOK TRAVIS W JR & LINDSEY
093723 E00004 - TIRERA SORAGATA AND FATOUMATA SILLAH
093723 D00002 - JOHNSON CHRIS
093725 H00058 - GLASPIE WILLIAM H & ETHEL W
093724 H00016 - ALDRIDGE WAYNE E & BRENDA K
093724 G00053 - KING KERON
093724 G00056 - YANCY RICHARD K & BETTY L
093724 G00057 - MOTTLEY TOM C JR
093724 G00058 - MCCLOUD LERONCE R

093724 G00059 - CONTE-ROMO JUAN C AND DELIA O DIAZ

093723 E00005 - KILLEBREW PATRICE

093723 C00005 - BODDIE TIERIKKA & ROBERT

093724 G00050 - MCNEILL GREG & TINA H

093724 G00028 - BUCKNER ANTHONY J

093723 F00018 - DOBBINS ADRIENNE L

093723 G00005 - RANKIN RORY B SR & CHARLENE

093724 G00068 - BRASWELL LACHAKA

093725 G00072 - WILLIAMS JENNISE R

093723 F00004 - MULLINS CAPREE & COURTNEY

093724 G00029 - HUGHES MONTINA

093724 G00015 - JIMENEZ DAVID & KATIA C MERCADO

093723 C00007 - LOPEZ ELEVI

093723 D00019 - BAKER JOE W & PATRICIA F

093725 G00075 - HENDERSON KEVIN E

093724 G00025 - TAYLOR OMEGA & TAMIKA

093723 G00007 - JACKSON COURTNEY L

093724 H00023 - FARRIS CHATEEKA

093723 C00008 - DUCKETT PERCELL

093723 E00009 - FRANCKEK ERICA P

093723 E00018 - CHAIDEZ HORACIO

093724 G00024 - HALL DORIS J

093724 G00010 - MOORE LORRAINE C

093724 G00018 - GATES ALFRED JR

093724 G00009 - WILLIAMS RODNEY & COURTNEY

093723 G00009 - VM PRONTO LLC
093724 H00006 - OTOTAKE JUNKO 2016 REVOCABLE TRUST
093725 G00078 - LOVELACE KAMERON S & TYANIAH S
093724 G00022 - GNO JOHN AND MY N TAT
093724 G00005 - WOODS MARKESHA
093723 G00010 - WILSON ALFONZO & VIRGINIA P
093725 G00081 - TAYLOR REINHOLD JR
093725 G00082 - WALTERS RANDY D JR AND JASMINE S OWENS
093723 F00012 - FERGUSON CASSANDRA
093724 G00035 - POPOVICI PETRU
093724 H00003 - WILLIAMS MICHAEL A
093723 F00011 - QUINN WILLIAM
093723 B00006 - SPIKNER DERRICK AND LATONYA JEFFRIES
093723 B00004 - WILLIAMS CEDRIC L
093725 G00083 - HILL- CUMMINGS LINDA K
093724 G00037 - WASHINGTON DESI
093723 B00002 - SINCLAIR HORACE & DOROTHY
093725 G00087 - HENDERSON ADAM
093723 B00017 - JOHNSON SILVER L
093723 B00018 - SHELTON CRISSY AND DORETHA LOVING
093723 B00020 - VERGARA ALVARO
093723 B00021 - ALLGOOD KIMBERLY D
093723 B00023 - OCAMPO YURIRIA C M AND ELPIDIA S O ORTIZ
093724 D00048 - RJ REAL ESTATE HOLDINGS LP
093724 D00001 - SALCEDO JOSE

093724 E00072 - GARMON BETTY J
093724 E00075 - ANDERSON ED L & MARIETTA
093724 D00002 - ZAPATA CAMILO & MARIA F R AREVALO
093723 M00010 - PARKWAY PROPERTIES LLC
093724 D00020 - GOLD SPIKE CAPITAL LLC
093724 E00069 - TAYLOR ROBRT & TAWNY
093724 D00046 - HAMILTON THOMAS & ABIGAIL
093724 D00004 - WALLER SHADIE
093724 D00019 - ORTEZ PABLA M
093724 E00063 - QUARLES LISA M
093724 D00018 - FULGHAM KIMBERLY
093724 E00006 - ECHOLS JERRY AND MARJORIE ECHOLS
093724 A00002 - MABE DIXIE AND MABE LIVING TRUST
093724 A00003 - WILLIFORD BRENDA A
093724 A00006 - FRANKLIN ARTHUR
093724 A00012 - DESCANSO PROPERTIES LLC
093724 E00110 - COSBY J DOUGLAS
093724 D00042 - WRING AUBREY AND VIRGINIA A WRING
093724 D00025 - MEZA ANDRES
093724 E00056 - RUSSELL TWANA L
093724 I00038 - KAHMANN RANDY E
093724 I00044 - ROSS JACOB A
093724 E00077 - STRAHAN GWENDOLYN
093724 E00009 - REI NATION LLC
093724 A00025 - TIGUE SHARA

093724 A00024 - BROWN JOE E
093724 A00023 - GRIFFIN KENNETH D
093724 I00035 - CARTER MILTON & GLORIA J
093724 D00010 - MALLARD RIDGE TRUST (TR)
093724 I00012 - DOBY JERRY D
093724 I00045 - GALVAN-MORAN VICTOR M & ROSA Y MAZON
093724 B00001 - COLE ESSIE M
093724 B00002 - WILLIAMS ANGELA B
093724 E00053 - ANDERSON JESSICA W
093724 E00083 - LUONG TAN & MONG TRUONG
093724 I00014 - HARRIS AQUENTIN M
093724 D00037 - AFFORDABLE MANAGEMENT LLC
093724 I00047 - EDWARDS GWENDOLYN
093724 D00032 - HISKY ROBIN S
093724 E00085 - SMITH NETTIE C
093724 E00013 - CHIANG XIAO R
093724 E00100 - PIERCE KENOSHA S
093724 E00087 - GILLARD JUANITA
093724 B00022 - WILLIAMS WHITNEY L
093724 B00019 - JOHNSON JEREMIAH T
093724 E00014 - NETO ARLINDO
093719 J00030 - DICKERSON LEONARD T
093719 J00035 - JEFFERSON CARLOS S & KEVA
093724 E00089 - WEBB PAULA A
093724 C00004 - HITE ROLAND

093724 C00008 - LIM MARK
093724 C00010 - HARMON PAMELA J
093724 I00018 - CROOM JANICE AND JAMARACA HOUSETON (RS)
093719 J00079 - PRICE TIMOTHY & SHONNA
093724 I00019 - KILLEBREW BRANDEN & LASHANDA
093724 E00093 - HUGHES WILLIAM & ROSA F
093724 E00091 - MOTEN CORDAY
093724 I00020 - ECHOLS ALICIA A
093719 J00041 - ASKEW KRYSTAL C
093724 C00014 - BOBO MELISSA A
093724 C00027 - SHIRLEY DAVID A & CATHIE W
093724 C00015 - CLARK SHERITA Y
093724 E00022 - MALONE MICHAEL D
093724 E00024 - JONES BILLY J SR & KENITRA
093724 E00025 - MOODY ELGIN S & MELANIE C
093719 J00043 - MCKINNEY JEFFREY
093724 E00046 - COLEMAN RODERICK
093719 J00081 - MAVI SANTPAL S & JASVINDER K CHARITABLE
093724 E00033 - DILLARD EKINIA M
093724 E00027 - WHITE TORSHA A
093724 E00026 - MYERS HENRY JR
093724 E00035 - JAMES W ANTHONY JR & TANJA D
093724 E00115 - LONGS JAMES & AMY MENEFFEE-LONGS
093724 E00173 - HEARD APRIL S
093724 C00025 - BONILLA VERONICA

093719 A00012 - JONES MICHAEL & SANDRA
093719 A00007 - TONEY STEPHANIE
093719 A00004 - SETLER JOHNNIE E & GWENDOLYN
093700 00571 - O'REILLY AUTOMOTIVE, INC
093723 M00003 - SHIVANI PROPERTIES LLC
093724 G00060 - JORDAN BARBARA J
093724 G00061 - GUERRERO ARNULFO B
093724 G00039 - GHOLSON MICHAEL D
093700 00557 - SHELBY REALTY LLC
093724 I00002 - BROWN CARRIE E
093724 D00041 - SANFORD LATOYA A
093724 D00040 - REVEN HOUSING TENNESSEE LLC
093725 G00084 - BANKS HOMER & ROZETTA L
093523 I00002 - EASLEY JACQUELYN C AND FRANK EASLEY
093725 H00085 - CACHOLA DARYL K & KARA A MURAMOTO
093725 H00084 - GARNER MICHAEL & VALERIE
093725 H00053 - RIVERIA RANDALL AND LISA M GAUTIER
093725 H00023 - BULLOCK DESTAN L
093725 H00031 - DOLLAR KELLEY
093725 H00032 - RICE FATIMA
093725 H00038 - COLE SHERMAN E
093725 H00040 - TANG DAVID
093725 G00057 - CONTRERAS JOSE A
093725 H00047 - HOUSTON STEVEN K & CAROL L
093523 I00027 - HOLLOWAY SHERMAN & BARBARA

093523 I00025 - RICHEY ZERRICK
093523 I00024 - STUART MICHAEL
093523 I00023 - PORCHAY TIERRA L
093523 I00022 - LIAS ALONZO
093725 G00059 - LIPFORD MARILYN J
093725 H00046 - PARKER LOUIS REVOCABLE LIVING TRUST
093725 H00025 - WELLS JAMES A & MARIANETTE
093725 H00056 - MURCHINSON MILDRED
093725 H00037 - JORDAN MARGARET
093725 G00060 - SHEAR NORMAN L
093723 D00001 - MAYS ELIZABETH
093723 D00013 - KOUCH-YANG (THE)
093725 H00045 - HERNANDEZ ARNULFO & JOVITA CARRILLO
093725 G00066 - JAMES EUNICE
093725 H00028 - HUNT CHANTELE D
093725 G00065 - DUNIGAN WILLIAM JR & ALICE
093725 G00064 - PAIGE ANGELIA
093723 E00003 - BALLINGER VALERIE
093725 G00063 - FRONT RANGE ASSET MANAGEMENT LLC
093725 H00036 - BUCKLEY VICKIE
093723 E00001 - WILSON-WILBOURN JANON & NORRIS WILBOURN
093725 H00034 - SANDERSON JEFFREY G
093725 H00042 - PARKS MARTIN
093725 H00027 - ECHOLS RENEE
093723 C00002 - WILSON JEFFREY

093725 H00035 - LIPFORD CRYSTAL L
093723 D00014 - SPEIGHTS JAMES & ROSEANN
093700 00130 - SHELBY COUNTY TAX SALE 94.5 EXH #6028
093723 C00003 - HOLMES KIMMERAL
093725 G00068 - COOPER DWIGHT K
093725 G00069 - CANSECO ZENON
093724 H00013 - CROSS DENISE
093724 H00014 - CARR GEORGE JR
093723 D00003 - VERGARA MARIO
093724 H00015 - CURRY CARLETTA
093724 H00017 - GREER SEAN
093724 G00051 - WILLIAMS TONI & PHILIP D
093724 G00054 - WALKER ANTHONY
093724 G00055 - SIDNEY EVELYN
093723 E00022 - F-UNITED CO LTD
093723 F00002 - FAHNESTOCK AMY
093723 C00004 - JONES TERRANCE D
093724 H00012 - RIDDLE JANICE
093723 D00004 - SIMPSON TERESA D
093724 G00062 - AMBROSE DAVID
093723 F00019 - WOMACK JEFF A
093724 G00069 - CHARLES CHERYL
093723 E00006 - DODSON ROCKY
093723 E00023 - BARRETTE FAMILY TRUST
093723 D00017 - MONTGOMERY ALICE

093723 D00005 - YAMASA CO LTD
093724 G00027 - RATCLIFF EDWARD E & BETTY
093725 G00071 - SHAW GARRY L SR & JOYCE E
093724 H00011 - VASQUEZ IRMA Y AND JUAN C B VARGAS (RS)
093724 G00014 - RJ REAL ESTATE HOLDINGS G P
093725 G00098 - WILLIFORD ROBERT & LASHUNDA M
093725 G00073 - 888 MEMPHIS LLC
093724 G00063 - THUONG PHUONG
093724 H00020 - HICKS RAY C
093723 E00007 - OMELIANTSCHUK PAUL & JOY
093724 H00021 - PEW FREDDIE JR
093723 E00020C - RINOK LLC
093723 D00006 - JUNIOR PAMELA
093723 D00018 - BRADLEY RAYMOND E
093724 H00010 - VEALS WALTER L & ZEREDA C
093724 G00049 - STITT MAVIS R & ADRIAN C
093723 F00017 - FANION GERALD A JR & JACQUELYN A
093723 G00006 - BLUE SALAMANDER INVESTMENTS LLC
093724 G00067 - FARMER JACQUELINE E
093724 H00022 - ECHOLS OSCAR & LYN M
093724 G00064 - CONLEY EMMETT JR
093723 E00008 - HOLDEN DAN T & KELLY S
093723 E00019 - THOMPSON BETTY S AND BETTIE D TOLBERT
093723 D00007 - STEIGER MARY C
093725 G00096 - PIPER LIVING TRUST

093724 H00009 - FIREBALL HOLDINGS LLC
093723 F00005 - HERNANDEZ TERESA
093724 G00048 - BOWERS JESSIE J AND DELOIS BOWERS SANNEH
093725 G00097 - COLEMAN RANGELAR K & FRANCINE M
093725 G00074 - HINES JESSICA N
093725 G00076 - BROOKS REAL ESTATE
093724 G00066 - STEWART JOANN
093723 F00016 - TUCKER CEDRIC & LAVERNE
093724 G00016 - SANFORD DOROTHY
093724 G00065 - BOLLER JAMES T JR
093724 G00011 - PRICE JERRY B & VONVRIETTE M
093724 H00024 - UNITED ROYAL PROPERTIES LLC
093724 H00008 - ABSTON JAMES
093724 G00047 - AFFORDABLE MANAGEMENT LLC
093723 D00020 - TURTLE PRODUCTIONS LLC
093723 D00008 - GREEN PAULA M
093723 F00006 - GLENN VICKIE R
093724 G00031 - ODOMS THEODORE JR
093724 G00017 - HARRIS SHARON D & RAY A
093723 F00015 - BROOKS DENISE M AND GWENDOLYN B
093723 G00008 - STOCKS DONALD R
093723 G00017 - FLANNERY CRAIG R
093724 H00007 - MAJOR JAMES AND NICOLE MAJOR FAMILY
093724 G00046 - SMITH PHYLLIS & CLARENCE L
093723 C00009 - TRIBBLE CLEOPHUS

093723 E00010 - ASKEW SEVONNE
093724 G00032 - SIMMONS JUWANDA Y
093724 G00023 - FREEMAN CRAIG
093723 E00017 - CATHEY CHERYL C
093723 D00021 - NEWSON DONALD & CHARLENE
093723 D00009 - LOVINS ALICIA
093723 F00007 - 4SUR LLC
093725 G00077 - BODDIE DARNELL & JANICE L
093724 G00004 - BELL CHRISTY M
093724 H00025 - FREEMON EUNICE
093724 G00003 - POSTON ALICE P
093724 H00026 - LUCHA HEYDI
093723 F00014 - REED MICHAEL
093725 G00092 - MANN WILLIAM E & ROSE T
093725 G00093 - BURR SHARANESE
093723 G00016 - MITCHELL ANGELA S
093724 G00045 - TAYLOR LINZO & NADINE R
093724 G00033 - ANDERSON MARK & TERESA L
093724 H00027 - BROWN JAMES L & DELILAH
093723 E00011 - BURTS ROBIN
093723 C00010 - FISHER SUSAN M
093723 D00022 - ROGERS LASHONDA R
093723 E00016 - COLLINS JOHNNY U
093723 D00010 - NEWSOM EDDIE & ROCHELLE
093724 G00008 - MRAZIK MARILYN

093723 F00008 - MCNUTT BURLON & CHERYL W
093723 F00013 - JOHNSON DAVID L & IDA G NEWBY-JOHNSON
093723 G00015 - TORRES VITALINO C
093724 H00005 - RJ REAL ESTATE HOLDINGS G P
093724 G00002 - RICHMOND GARY SR AND SHARON K RICHMOND
093724 G00020 - NEELY SHAMAL
093724 G00021 - MCKINNEY GAYLA P
093724 G00044 - KBAY GROUP LLC
093724 G00007 - GLASS KOMACA
093724 G00034 - BECKLEY BEATRICE
093724 G00006 - KPABITEY EMMANUEL T
093723 E00012 - DANZ ROBERT A AND MARY L DANZ
093723 E00015 - DEBRO-HARRIS RUTH & DAVID HARRIS
093723 D00011 - HARDAWAY YOLANDA R
093723 D00023 - YOUNG SANDRA Z
093700 00321 - RUBIO MAURICIO
093725 G00089 - BAYNES LAQUITA H
093725 G00090 - ZHANG LIANGMIN
093723 F00009 - PROGRESS RESIDENTIAL BORROWER 16 LLC
093725 G00091 - SHABAZZ JAMAL
093725 G00080 - TATUM WANDA L
093723 G00011 - WINCE BOBO B & IDA M
093724 H00004 - ROBLES ARTURO V
093724 G00043 - TAYLOR TOMMIE L
093723 G00014 - FLYNN FAMILY TRUST

093724 G00001 - HIGHTOWER JULIA M
093723 I00018 - DICKSON HENRY L JR
093723 E00013 - DENNIS EDGAR L & ROSALIND L
093723 C00012 - HERNANDEZ ARMANDO
093723 D00012 - CAMPBELL FRANKLIN AND JOYCE CAMPBELL
093723 E00014 - ROBINSON DAPHNE R
093723 F00010 - HASLETT JESSE & GLORIA
093700 00572 - NOVOGRODER/SHELBY LLC
093723 G00012 - BENSON JESSE A
093724 G00042 - HOWARD DARRICK A II
093724 G00036 - ROBINSON LASHAUN
093723 B00007 - BOYD STEPHEN R & SONJA L
093725 G00088 - LAWSON SAMMIE L JR & KATHALEAN
093723 B00005 - MCBRIDE JASON
093724 H00002 - WEST-MCLEMORE FLRINE
093724 G00041 - JAMES KESHIA L
093723 B00003 - FAIROFFERCASHNOW INC
093723 B00001 - LOGGINS BOBBIE
093723 H00017 - OLALLO MARIO & MARIA
093725 G00085 - BRASWELL LACHAKA C
093723 B00010 - BLAIR KELI
093724 G00038 - BONNER ALICE
093724 H00001 - JS RESI HOLDINGS LLC
093723 B00013 - BRANCH USA LLC
093723 B00014 - RAY JERMAINE M

093723 B00015 - MOSS-STARR TIFFANY N
093723 B00022 - GORDON RICHARD M
093723 H00001 - CARTER DON & DEBRA
093724 D00049 - LOWE MICHAEL E & KATIE E
093724 D00050 - RS RENTAL I LLC
093724 D00051 - TYSON JEFFREY
093724 E00073 - FRANCO JOSE
093724 E00074 - HENDERSON ROBERT L & RHONDA C
093724 E00111 - QUINONES OCTAVCIO
093724 D00047 - LEAKS BARBARA
093723 M00008 - SHELBY DRIVE SERIES
093700 00186 - MAGNOLIA MEMPHIS LLC
093724 E00071 - YOUNG FAMILY TRUST
093724 D00021 - CARTER EVERLYN C
093724 D00003 - JONES CARL & CHARLENE
093724 E00066 - SHIELDS LACHUNDA R
093724 E00065 - PALISADE LLC
093724 E00070 - APPLEWHITE KIMBERLY S
093724 D00022 - JOHNSON MARGARET E & WILLARD
093724 E00004 - GONZALEZ SONIA E & VICTOR A ORRALDE
093724 E00058 - WHITE VIVIAN J
093724 E00059 - DASHMIND HOLDINGS LLC
093724 E00061 - WILLIAMS MICHAEL & EMILY
093724 E00062 - MCCOHN-WHITE DEBORAH
093724 E00060 - JAMES PAMELA

093724 E00064 - WILLIAMS MARLENE
093724 I00008 - RHODES CURTISTINE
093724 D00005 - LAM DUYEN
093724 D00023 - FARMER ANA
093724 D00044 - J D C PROPERTIES LLC
093724 E00005 - MACKEY DURRELL
093724 D00006 - FLYNN FAMILY TRUST
093724 D00024 - TPW PROPERTIES LLC
093724 D00017 - WALLACE DEVVON
093724 A00005 - FRANCOZ FAMILY TRUST
093724 A00009 - MCCLENTON NATHANIEL
093724 A00010 - FLUELLEN & RICHARD & ASHLEY N
093724 A00011 - SHIMOIDE MICHAEL
093724 A00013 - NELSON CYNTHIA
093724 I00009 - BOULTON JADE N V & JASON A
093724 E00057 - KARDAMYLA INVESTMENTS LLC
093724 D00007 - WRING AUBREY B & VIRGINIA A
093724 I00039 - KING MATILDA
093724 I00040 - SHINE JOHN E & LINDA A
093724 I00041 - ALLEN ERMA M
093724 E00107 - DISTINGUISH CAPITAL HOLDINGS LLC
093724 E00108 - LAM PHUOC
093724 E00109 - COX DERICK A
093724 E00106 - NABORS LINDA J
093724 D00016 - BRUCK ALEXANDER Z

093724 E00007 - HENDERSON LATORIA M
093724 I00010 - MAYS BRANDY L
093724 D00026 - BUTLER MAURICE
093724 D00015 - BROADNAX STEPHANIE
093724 E00105 - RODRIGUEZ BRENDA D
093724 A00014 - STEINSNYDER STEVEN M
093724 I00037 - BROWN DOROTHY M
093724 E00079 - RENTAL PROPERTY HOLDINGS II LLC
093724 I00036 - JONES THADDEUS L & JESSIE A
093724 E00078 - VEGA NELY M
093724 I00011 - REMUS ANDREA
093724 D00009 - BATES SHEILA K
093724 D00027 - ML GROUP PROPERTIES LLC
093724 D00014 - REVEN HOUSING TENNESSEE LLC
093724 E00055 - OCEGUEDA JOSE
093724 A00022 - MERRIWEATHER ANITA
093724 A00021 - CAMPANA MARJOREE & NGA NGUYEN
093724 A00020 - SEALE SONNY & KAREN
093724 A00019 - WRIGHT ANGELA S
093724 A00018 - CAPLE ANNETTE D
093724 A00017 - JENKINS SHIRLEY A
093724 A00016 - THOMPSON ERICA N
093724 A00015 - SMITH JONATHAN AND LISA WALLS (RS)
093724 D00039 - RELIFORD MECHELLE D
093724 D00013 - ALACON RYAN AND KAHLIL CAGUNGUN AND

093724 E00054 - CAMPOS NIMIA
093724 E00103 - GARCIA RUTHIA H
093724 D00011 - BERMUDEZ CARLOS
093724 I00013 - HART KRISTEN N
093724 I00032 - NEWSON WAYNE
093724 I00046 - WOODERS ERICA D
093724 I00033 - PEETE BARRY C JR & LETETIA L
093724 D00038 - NEAL STEVEN L SR & DONNA L
093724 D00029 - MCKINLEY THOMAS E
093724 I00034 - MOBLEY DEBRA E W
093724 B00003 - SMITH KELCEY
093724 B00004 - TIPTON TUNJULA
093724 B00005 - COOPER TEKELA
093724 B00006 - P FIN I LLC
093724 E00081 - SISTRUNK ROSALYN
093724 B00012 - JACKSON TASHUNA
093724 B00008 - PAYNE LORENZO
093724 B00009 - SMITH MARQUITA L
093724 E00011 - MCDONALD STANLEY
093724 B00010 - ROWLING TN LLC
093724 B00011 - M L GROUP PROPERTIES LLC
093724 E00082 - LYONS LATONYA L
093724 E00102 - SHAW RICHARD L
093724 E00012 - FORTS JOHN
093724 D00031 - KUBAN JEFFREY

093724 B00013 - HARRISON GEORGE R JR AND
093724 I00031 - SPENCER AMANDA & ROB WILCZYNSKI
093724 D00030 - EQUITY TRUST CO CUST FBO
093724 D00035 - CEDILLOS JULIO C
093724 D00034 - BOXLEY KELVIN JR
093724 I00030 - COCROFT KAPHNE S AND FELICIA L COCROFT
093724 D00033 - TAYLOR TERESA
093724 I00029 - THOMPSON REGINALD K
093724 I00028 - RASHAD DONNIE M
093724 I00015 - BLAIR TERESA & JULIAN
093724 E00086 - PARSON TOMMY T AND YOLANDA LL SALES
093724 I00027 - BARNES MAXINE
093724 E00052 - ZAMUDIO MONICA B
093724 E00084 - WALLACE TASHA L
093724 B00025 - GFM INVESTMENTS LLC
093724 B00024 - KNOELL EDWARD J
093724 B00014 - HEARMS KIMBERLY D
093724 B00023 - FRANKLIN WILLIE AND ROSHONDA STEPHENSON
093724 B00021 - NGUYEN LONG T
093724 B00020 - PELLETT EDWARD AND KAREN PELLETT
093724 B00018 - DOTSON EDNA E AND KATRINA M WATSON AND
093724 B00017 - JOHNSON PATRICIA
093724 I00016 - WILLIAMS ANGELA
093719 J00031 - BOHANNA SANDRA B
093724 E00099 - WRIGHT BETTY F AND ARGARET S WRIGHT (RS)

093719 J00032 - WOODARD LINDA A & ANDREW G
093719 J00033 - STANBACK SHERYL
093719 J00036 - HOUSTON KIMBERLY D
093724 B00015 - CABO ENTERPRISES LLC
093724 I00022 - GIBSON BRENDA L
093724 I00023 - ROBINSON THERESA G
093724 I00024 - PITTMAN-HARRIS TANDRA D
093724 I00017 - JACOBSEN OWEN W
093724 I00025 - JOHNSON MICHAEL D & ANNIE L
093724 I00026 - SYKES STEVE M
093724 E00015 - CHEN CHIH-JUNG
093724 C00005 - INFIELD JANA
093724 E00088 - WARREN TORIANO & BRIDGETT
093724 E00090 - CASE RYAN J
093724 C00002 - SILVERSTRE JESUS
093724 C00006 - GILL EVELYN & LARRY
093724 C00007 - MCNAMEE TIMOTHY L & BEATRICE B
093724 C00009 - HALL LINDA K
093724 C00011 - PERRY MICHAEL
093719 A00001 - BOELCKE DAWN
093724 E00016 - CLARK SHELIA R
093724 C00012 - JOHNSON DARRELL AND EUNESTIAN JOHNSON
093724 E00097 - KATSUMATA HIROSHI
093719 J00037 - VANDIVER MARCEL L
093719 J00040 - MALONE STEVEN L & JEANNETTE C

093724 I00021 - WILLIAMS SANDRA L
093724 E00094 - JOPLIN VINCENT E & LARREN L
093724 E00092 - WELLS NICOLE
093724 E00017 - RTSCHUSTER LLC
093724 C00013 - FRAZIER SHEDRICH & BRENDA
093724 E00048 - NITER RENEE AND ROSIE NITER (RS)
093719 J00038 - STEWARD SAVANIAL L
093719 J00078 - BOYER BRIAN
093724 C00024 - JACKSON GREGORY & AVA D
093724 E00018 - FARRAR MARK L AND GENEVA R FARRAR
093724 C00022 - PAYNE STARKISHA
093724 E00095 - CRESTVIEW ENTERPRISES LLC
093724 C00021 - RHODES QUINTON
093719 A00002 - BOELCKE DAWN M
093724 C00020 - CARPENTER PATRICIA
093724 E00047 - TURCIOS JUAN A
093724 C00018C - CRUTCHER DARBY
093724 C00016 - COOPER DARYL D
093724 E00019 - WILSON RUTHIE
093724 E00020 - MOORE HENRY L AND JAMES L MOORE
093724 E00021 - BUKES GEORGE D & ANDREA L
093719 A00003 - WILLIAMS PAMELA E
093724 E00023 - POLLARD KEITH AND BRENDA POLLARD
093719 J00080 - RILEY WARREN
093724 E00030 - COLLINS FAMILY TRUST

093724 E00029 - WILLIAMS MAGNOLIA
093724 E00028 - EDWARDS CLYDE W JR
093719 J00082 - GRAY JUANDREL & KIMBERLY R
093724 E00045 - MOORE DARRELL & KATRINA
093724 E00034 - WINGO JAPEDALO
093724 E00038 - LABARRE DERRICK R SR AND LAKASHIA WRIGHT
093724 E00114 - PADGETT JUANKIA
093700 00159 - BOARD OF EDUCATION OF THE MEMPHIS
093719 A00011 - UPCHURCH ANTHONY & BARBARA
093724 C00026 - CRAFTON EDWARD & MARY
093719 A00005 - JERNIGAN WILFORD O REVOCABLE TRUST
093719 A00006 - HAZLEY JESSE A JR & AMY C MARTIN
093724 E00032 - WOODS PATSY E
093700 00570 - REALTY INCOME PROPERTIES 18 LLC
093723 M00001C - HEDGEROW PROPERTY LLC
093723 M00007 - TRENT DEDRICK
093724 A00007 - AFFORDABLE MANAGEMENT LLC
093724 A00008 - PANGEA PROPERTIES LLC
093723 M00006 - VALVOLUME LLC
093724 E00112 - RESENDEZ CLAUDIA
093725 H00044 - JOHNSON TANYA
093725 H00043 - PAGE CURTIS D & IRIS T
093724 G00040 - WHITE VERONICA
093700 00162C - BERUK PROPERTIES INC
093724 E00076 - BERRY BARDELL

093724 E00001 - TSAI SU-HWA
093724 E00002 - HAMMOND MICHAEL A
093724 E00003 - FIRST MILESTONE LLC SERIES 4718 MALLARD
093724 I00006 - DURHAM DEBORAH V
093724 I00005 - DILLARD WILLIE E & CAROLYN M
093724 I00004 - SULTZER VERNON L & EVYLINA
093724 I00003 - LOUIS AQUILLA
093724 G00052 - HOME SFR BORROWER IV LLC
093724 G00070 - CSMA BLT LLC
093723 F00003 - FISH EAGLE USA LLC
093724 G00013 - SHEAR NORMAN L
093724 G00012 - CSMA BLT LLC
093725 G00079 - FKH SFR PROPCO B-HLD LP
093723 G00013 - BAF ASSETS LLC
093723 B00024 - HOME SFR BORROWER LLC
093724 E00104 - HOME SFR BORROWER LLC
093724 D00012 - TRUE MEM2016 1 LLC
093719 J00034 - BAF ASSETS 2 LLC
093724 C00001 - HOME SFR BORROWER II LLC
093724 C00019 - HOME SFR BORROWER LLC
093724 E00031 - TURNKEY INVESTMENTS LLC
093724 E00036 - HOME SFR BORROWER III LLC
093700 00556 - GILL MARTIN & HERRING
093725 H00072 - MIDWAY EXCHANGE BORROWER 12 LLC
093725 H00048 - MIDWAY EXCHANGE BORROWER 12 LLC

093725 H00054 - RS RENTAL I LLC
093725 G00058 - AMNL ASSET CO 2 LLC
093723 D00015 - HOME SFR BORROWER LLC
093725 G00070 - BAF 1 LLC
093723 F00020 - MIDLAND TRUST COMPANY AS CUSTODIAN FBO
093723 D00016 - NITER MARY E
093724 H00019 - ALTO ASSET CO 1 LLC
093724 H00018 - BAF ASSETS LLC
093723 C00006 - HOME SFR BORROWER LLC
093724 G00026 - RESI TL1 BORROWER LLC
093724 G00030 - CSMA BLT LLC
093725 G00094 - SUNFIRE 3 LLC
093724 G00019 - CSMA BLT LLC
093723 C00011 - ALPHA GROUP LLC
093723 D00024 - BAF ASSETS LLC
093723 I00017 - HOME SFR BORROWER LLC
093723 B00009 - TRUE MEM2016 -1 LLC
093723 B00008 - HEAPSGROUP PROPERTIES LLC
093725 G00086 - GLOBAL PROPERTY TRUST
093723 B00012 - HOME SFR BORROWER LLC
093723 B00016 - BAF ASSETS LLC
093723 B00011 - CSMA BLT LLC
093723 B00019 - HOME SFR BORROWER II LLC
093723 H00002 - FKH SFR PROPCO B HLD LP
093723 M00009 - BHO HOLDINGS LLC AND MIO HOLDINGS LLC

093724 E00068 - D BRADY INVESTMENTS LLC
093724 E00067 - SPECIALIZED IRA SERVICES FBO JUAN MIRET
093724 D00045 - GOODRICH DEADRA R
093724 I00007 - EQUITY TRUST CUSTODIAN FBO
093724 D00043 - CZ JOHN
093724 A00001 - FKH SFR PROPCO B-HLD LP
093724 A00004 - HOME SFR BORROWER LLC
093724 I00042 - FAIRWAY CAPITAL PARTNERS LLC
093724 I00043 - HOME SFR BORROWER IV LLC
093724 D00008 - SHIVERS RAPHAEL D & FREDREUNA D
093724 E00008 - CANNES LLC
093724 A00026 - CSMA BLT LLC
093724 D00028 - CSMA BLT LLC
093724 E00080 - SRMZ 4 ASSET COMPANY 1 LLC
093724 B00007 - CSMA BLT LLC
093724 E00101 - HOME SFR BORROWER LLC
093724 D00036 - FKH SFR PROPCO B-HLD LP
093724 B00026 - HOME SFR BORROWER III LLC
093724 B00016 - HOME SFR BORROWER LLC
093724 E00051 - CSMA BLT LLC
093724 E00098 - FKH SFR PROPCO B-HLD LP
093724 E00050 - FKH SFR PROPCO B HLD LP
093724 C00003 - KUMAR MOHAN
093724 E00049 - CSMA BLT LLC
093724 E00096 - CSMA BLT LLC

093724 C00023 - FKH SFR PROPCO B-HLD LP

093719 J00039 - CSMA BLT LLC

093719 J00042 - E W P LLC

093700 00160 - BOARD OF EDUCATION OF THE MEMPHIS CITY

093724 E00037 - ALTO ASSET CO 2 LLC

093724 E00039 - HOME SFR BORROWER III LLC

093724 E00010 - YANG SHU

093724 E00113 - CSMA BLT LLC

093724 I00001 - HOME SFR BORROWER II LLC

093700 00565 - VILLAGES OF BENNINGTON PROP OWNERS

PROPERTY DEED

RAY GILL IS SEARCHING FOR DEED AND WILL BE SUBMITTING SHORTLY



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

May 17, 2022

Century Express Car Wash
Anita Archambeau & Matt Wolf, ETI Corp.
1755 Lynnfield Rd., Ste. 100
Memphis, TN 38119

Sent via electronic mail to: aarchambeau@eticorp.com; mwolfe@eticorp.com

Planned Development Amendment (PD 18-046)
Case Number: PD 22-07
LUCB Recommendation: Approval with conditions

Dear applicant,

On Thursday, May 12, 2022, the Memphis and Shelby County Land Use Control Board recommended **approval** of your amendment application for the Ross Creek Planned Development to allow a car wash establishment, subject to the attached conditions.

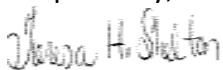
This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6621 or via email at teresa.shelton@memphistn.gov.

Respectfully,



Teresa H. Shelton
Municipal Planner

Letter to Applicant
PD 22-07

Land Use and Development Services
Division of Planning and Development

Cc: Anita Archambeau & Matt Wolfe, ETI CORP.
File

Letter to Applicant

PD 22-07

General Plan Conditions

1. The final plan shall be re-recorded with amended use conditions.
2. Staff will require an increase in buffer between the car wash and the existing residential neighborhood it abuts off Ross Rd. A final landscape plan is subject to administrative review by the Division of Planning and Development.

From: [Georgette Kearney](#)
To: [Shelton, Teresa](#)
Subject: Re: Planned development: Case no: PD2022-007
Date: Tuesday, March 22, 2022 10:12:05 AM
Attachments: [Outlook-yjppgb0r.png](#)
[Outlook-i1vc41jb.png](#)
[Outlook-zfcyuj3.png](#)
[Outlook-yfwqcals.png](#)
[Outlook-yfwqcals.png](#)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for your reply. This is my response to the opposition of a new car wash in our area.

Hickory Hill area has plenty of car washes within 5 miles of each other and we do not want any more car washes. Unlike other neighborhoods, we would like to receive businesses, such as community organizations, established restaurants, and other positive community improvement center, that will improve the Hickory Hill area instead of lowering property values with businesses that will not improve the demographics of its patrons.

On Tue, Mar 22, 2022, 10:09 AM Shelton, Teresa <Teresa.Shelton@memphistn.gov> wrote:

You can send me an email in writing or you can come to the meeting and speak

Teresa Shelton
Municipal Planner
Land Use and Development Services
Division of Planning and Development
125 N. Main, Ste. 468 Memphis, TN 38103
Phone: 901-636-6619
Cell: 901-295-9034
Email: teresa.shelton@memphistn.gov



Visit our [website](#)

From: Georgette Kearney <gkearney08@gmail.com>
Sent: Tuesday, March 22, 2022 9:37 AM
To: Shelton, Teresa <Teresa.Shelton@memphistn.gov>
Subject: Planned development: Case no: PD2022-007

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----- Forwarded message -----

From: **Georgette Kearney** <gkearney08@gmail.com>
Date: Sun, Mar 20, 2022, 7:52 PM
Subject: Planned development: Case no: PD2022-007
To: <develop901@memphistn.gov>

Good evening,

How can we oppose this planned development? Hickory Hill area has plenty of car washes within 5 miles of each other and we do not want any more car washes. Unlike other neighborhoods, we would like to receive businesses that will improve the Hickory Hill area instead of lowering property values with businesses that will not improve the demographics of its patrons.

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 07/12/2022

DATE

PUBLIC SESSION: 07/12/2022

DATE

ITEM (CHECK ONE)

 ORDINANCE X RESOLUTION REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code approving a planned development at the subject property located at 1914 Poplar Avenue, known as case number PD 2022-009

CASE NUMBER: PD 2022-009

DEVELOPMENT: The Parkview Planned Development

LOCATION: 1914 Poplar Avenue

COUNCIL DISTRICTS: District 5 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: SB Memphis Parkview LLC & Parkview Equity Fund LLC / Forge Partners (Tim Williams)

REPRESENTATIVE: Mike Davis & Gil Uhlhorn (Bass, Berry & Sims PLC)

REQUEST: New mixed use planned development to convert an existing adult independent living use to multi-family apartments with optional ground floor commercial uses

AREA: +/-1.911 acres

RECOMMENDATION: The Division of Planning and Development recommended *Approval with conditions*
The Land Use Control Board recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: **Public Hearing NOT Required**
Hearing – July 12, 2022

PRIOR ACTION ON ITEM:

<u>(1)</u>	APPROVAL - (1) APPROVED (2) DENIED
<u>05/12/2022</u>	DATE
<u>(1) Land Use Control Board</u>	ORGANIZATION - (1) BOARD / COMMISSION (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

<u>(2)</u>	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
<u>\$</u>	AMOUNT OF EXPENDITURE
<u>\$</u>	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

<u>\$</u>	OPERATING BUDGET
<u>\$</u>	CIP PROJECT # _____
<u>\$</u>	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
_____	_____	MUNICIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	CHIEF ADMINISTRATIVE OFFICER
_____	_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

PD 2022-009

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT 1914 POPLAR AVENUE, KNOWN AS CASE NUMBER PD 2022-009

- This item is a resolution with conditions to allow a new mixed use planned development to convert an existing adult independent living use to multi-family apartments with optional ground floor commercial uses; and
- This resolution, if approved with conditions, will supersede the existing zoning for this property; and
- The item may require future public improvement contracts.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, May 12, 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER:	PD 2022-009
DEVELOPMENT:	The Parkview Planned Development
LOCATION:	1914 Poplar Avenue
COUNCIL DISTRICT(S):	District 5 and Super District 9 – Positions 1, 2, and 3
OWNER/APPLICANT:	SB Memphis Parkview LLC & Parkview Equity Fund LLC / Forge Partners (Tim Williams)
REPRESENTATIVE:	Mike Davis & Gil Uhlhorn (Bass, Berry & Sims PLC)
REQUEST:	New mixed use planned development to convert an existing adult independent living use to multi-family apartments with optional ground floor commercial uses
EXISTING ZONING:	Residential Single-Family – 6 (R-6), Residential Urban – 3 (RU-3), and Commercial Mixed Use – 3 (CMU-3) with Midtown Overlay and Historic District Overlay
AREA:	+/-1.911 acres

The following spoke in support of the application: Mike Davis

The following spoke in opposition the application: Shauna Bateman, Juanita Freeman, and Frank Gilliam

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion passed by a vote of 9-0 on the regular agenda.

Respectfully,



Ayse Penzes
Municipal Planner
Land Use and Development Services
Division of Planning and Development

Cc: Committee Members
File

Outline Plan Conditions

PD 2022-009

The Parkview Planned Development

Outline Plan Conditions

I. Uses Permitted:

A. Existing tower to be used as multi-family with certain commercial uses that may occur on the ground floor, said commercial uses shall be limited to restaurant and retail sales and services as allowed in Midtown Overlay District CMU-3. The following uses are prohibited:

1. Drive-in or drive-thru restaurant.
2. Animal hospital, veterinary clinic, or pet clinic.
3. Animal boarding, shelter, kennel, or doggy day care.
4. Convenience store with or without gas pumps.
5. Cleaning establishment, pick up station.
6. Funeral establishment, merchandise, directing, crematorium, or pet crematorium.
7. Commercial greenhouse or nursery.
8. Tattoo, palmist, psychic, medium, or massage parlor.
9. Vehicle parts and accessories.
10. Any group living.
11. Any medical facility.
12. Any indoor recreation, except a health club for the residents.
13. Any overnight lodging.
14. Any self-service storage, except additional storage spaces for the residents.
15. Any vehicle service, repair, sales, rental, or leasing.
16. Any industrial use.

II. Bulk Regulations:

A. Building heights are as follows:

1. Maximum height for Parkview tower building shall remain as currently exists: +/- 125' high.

B. Building setbacks are as follows:

1. Minimum setbacks for the tower shall remain as currently exist: +/- 14 feet from Poplar Avenue.

C. Parking lot setbacks are as follows:

1. Eight (8) feet on Buena Vista.

2. Eight (8) feet on Poplar Ave.

III. Access, Circulation and Parking:

- A. All internal roads shall be private and have a minimum width of twenty-two (22).
- B. One (1) curb cut shall be allowed along Poplar Ave in the general location of the existing curb cut as indicated on the site plan.
- C. No curb cuts shall be allowed along Buena Vista Place.
- D. The City Engineer shall approve the design, number and location of curb cuts. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk as identified during the plan review process.
- E. Any gated entrance shall meet the requirements of Unified Development Code (UDC) (4.4.8).
- F. Minimum of 123 parking spaces shall be provided on-site.
- G. Minimum of 20 bicycle parking spaces shall be provided on-site.

IV. Architecture, Landscaping, Lighting and Screening:

- A. Streetscape landscape shall be provided along Poplar Ave and Buena Vista Place as illustrated on the outline plan.
- B. An eight (8) foot buffer shall be maintained along Buena Vista Place. Existing, healthy, mature trees shall be maintained where feasible and supplemented with additional evergreens to increase density. Invasive species shall be avoided; native species shall be used when possible.
- C. Internal parking lot landscaping shall be as shown on the attached landscape plan.
- D. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.
- E. An eight (8) foot high opaque brick wall shall be provided around the parking lot along Buena Vista Place and Poplar Ave and along the north property line to shield views of the parking lot.
- F. Site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. Parking lot light standards shall be a maximum of twenty (20) feet in height.
- G. An eight (8) foot high opaque brick wall shall be provided along the west, north, and east boundaries of the pool area and landscape consisting of native evergreens, trees and shrubs shall be provided along the north boundary of the pool area.
- H. Pool area lighting shall be designed to direct lighting away from all residential properties and shall be of pedestrian scale.
- I. All lighting fixtures must be concealed or shielded to prevent glare and off-site impacts on abutting/adjacent properties.
- J. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.

V. Drainage:

- A. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
- B. Design of the storm water conveyance and management facilities for this project shall be in accordance with the Memphis-Shelby County Storm Water Management Manual. The manual requires on-site detention of storm water run-off generated from the project that exceeds the capacity of the downstream system. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for storm water detention facilities.

VI. Signs:

- A. Attached signs are allowed in accordance with UDC for CMU-3.
- B. Monument-style signs along Poplar Avenue shall be in accordance with the UDC for CMU-3. No signs will be allowed on Buena Vista Place.
- C. The existing monument-style sign at the intersection of Poplar Avenue and Kenilworth Street shall be allowed to remain as-is, except the graphics can be updated for the new use. Updates will be subject to review and approval by DPD.

VII. The Land Use Control Board may modify the bulk, access, parking, landscaping, and sign requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator of the Division of Planning and Development, to have such action reviewed by the Memphis City Council.

VIII. Site Plan Review

- A. A site plan shall be submitted for the review and comment by appropriate governing agencies and the Division of Planning and Development prior to approval of any final plan. Site plan review by the Land Use Control Board shall not be required if the final plan conform to the site plan presented to the Land Use Control Board as part of the Planned Development Outline Plan approval.
- B. The site plan shall illustrate the location and dimensions of building footprints, parking lots, private drives, building elevations, landscaping and screening plans.
- C. The site plan shall be reviewed and based upon the following criteria:
 - 1. Conformance with the Outline Plan conditions and the standards and criteria for commercial planned developments contained in the UDC.
 - 2. Adequacy of public facilities (streets, sewers, drainage, etc.)
 - 3. Elements of site design such as building orientation and setback, access and parking, internal vehicular and pedestrian circulation, landscaping and lighting.
 - 4. Building elevations and materials.

- IX. A final plan shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.
- X. Any final plan shall include the following:
 - A. The outline plan conditions.
 - B. The exact location and dimensions, including lots, buildable areas, pedestrian and utility easements, service drives, parking areas, trash receptacles, loading facilities, and required landscaping and screening areas.
 - C. The location and ownership, whether public or private, of any easement.
 - D. Specific plans for internal and perimeter landscaping and screening including landscaping of all open space features.
 - E. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.
 - F. A standard improvement contract as defined by Section 5.5.5 of the UDC for any needed public improvements.
 - G. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
 - H. The 100-year flood elevation.
 - I. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

SITE PLAN

Job 2024 2/20/2021(2)-0113 1914 Poplar Ave - Parkview/01 RD/Site Planning Apr 07, 2022 - 10:4am



SITE DATA

GROSS LOT AREA	81,732 S.F.
USE	APARTMENT
BUILDING AREA	± 18,127 S.F.
BUILDING HEIGHT	± 175 FEET
BUILDING UNITS	27 UNITS
STUDIO	1 BEDROOM
1 BEDROOM	81 UNITS
2 BEDROOM	18 UNITS
TOTAL	126 UNITS
PARKING REQUIRED	27 SPACES
STUDIO (1 PER UNIT)	18.5 SPACES
1 & 2 BR (1.5 PER UNIT)	18.5 SPACES
QUEST (0.15 PER UNIT)	18.5 SPACES
TOTAL	55.5 SPACES
PARKING REDUCTIONS:	20 SPACES
PUBLIC TRAVEL (10%)	3 SPACES
1 PER 5 EXTRA BICYCLE SPACES	25 SPACES
TOTAL	25 SPACES
PARKING REQUIRED AFTER REDUCTIONS	170 SPACES
PARKING PROVIDED:	118 SPACES
ON-SITE (SECURED)	7 SPACES
ON-SITE (UNSECURED)	22 SPACES
TOTAL (ONC 514C)	145 SPACES
PARKING SHORTAGE:	25 SPACES
BICYCLE PARKING (8 PROVIDED INSIDE THE BUILDING)	4 SPACES
PER UDC	25 SPACES
FOR REDUCTION (ONC1)	20 SPACES
TOTAL	29 SPACES

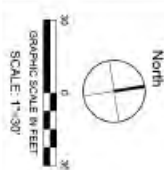
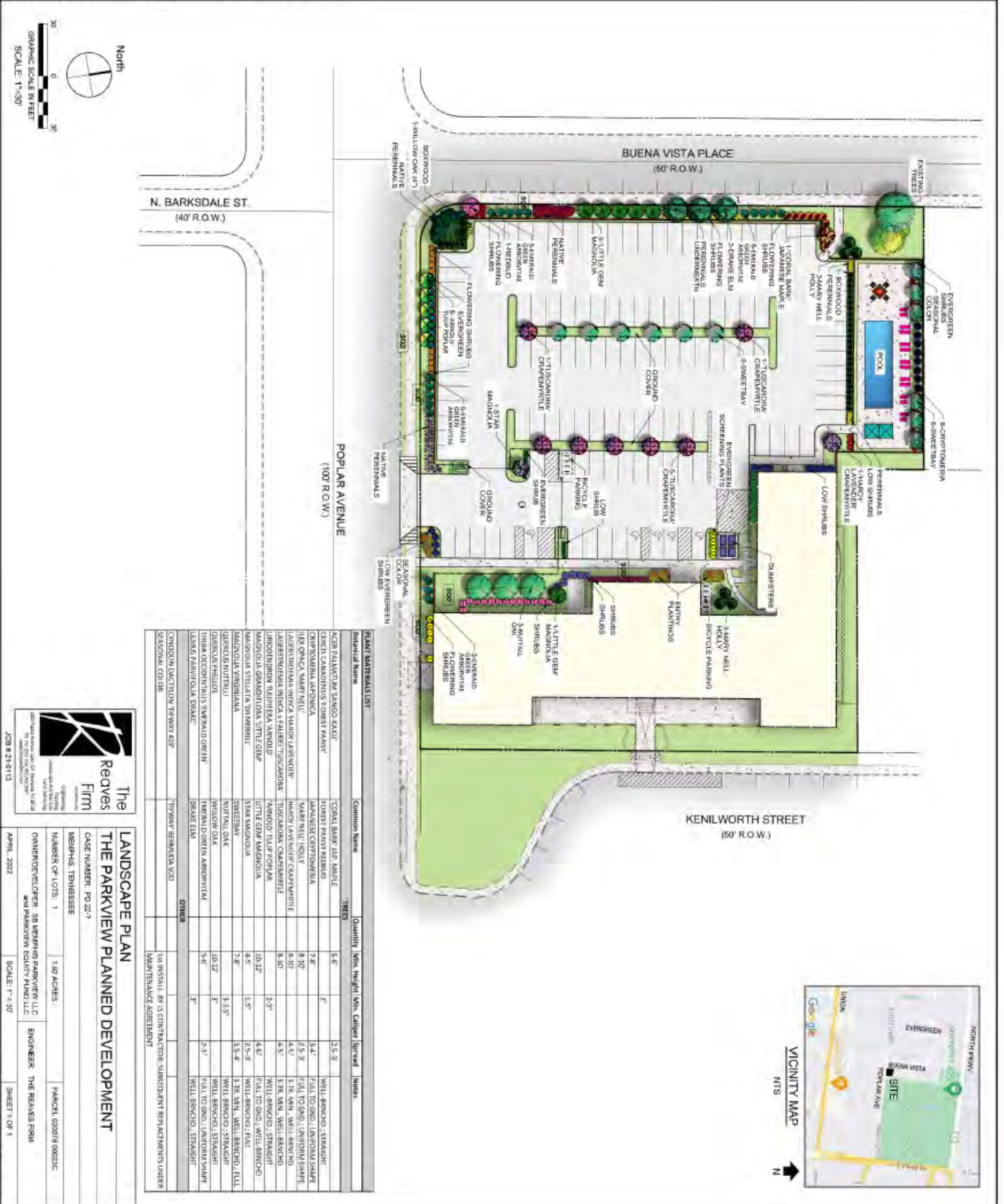


SITE PLAN	
THE PARKVIEW PLANNED DEVELOPMENT	
CASE NUMBER: PD 20-7	
NEIGHBOR, TENNESSEE	
NUMBER OF LOTS: 1	PARCEL 020019 000002
OWNER/DEVELOPER: SB WARDENS PARKVIEW LLC	ENGINEER: THE REEVES FIRM
AND PARKVIEW EQUITY FUND LLC	
APRIL, 2022	SCALE: 1" = 30'
	SHEET 1 OF 1

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LANDSCAPE PLAN

CH:\Projects\2024\2\1\2024\21-0113\124 Poplar Ave - Parkview\01 PD\Landscape Plan.dwg Apr 07, 2022 - 8:24am



Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
ACER PALMUTUM 'SANGRE CAROL'	RED BARK MAPLE	5-6"	7'	2.5"	3'	WELL BRANCHED, STRAIGHT
CERTIS CAROLINENSIS 'FOREST PANACE'	FOREST PALM REDBUD	7-8"	7'	3-4"	3'	FALL TO BOND, LINDORF SHADE
CHRYTHOERIA LIPIDICA	JAPANESE CHRYTHOEBIA	8-10"	8-10'	2.5"	3'	FALL TO BOND, LINDORF SHADE
LEX GRACIA 'VARIETY 111'	WAXY WAXY 'HOLLY'	8-10"	8-10'	4-5"	3'	3/8\"/>



LANDSCAPE PLAN
THE PARKVIEW PLANNED DEVELOPMENT
 CASE NUMBER: PD 202-7
 MEMPHIS, TENNESSEE
 NUMBER OF LOTS: 1
 1.60 ACRES
 PARCEL: 002019 00202C
 OWNER/DEVELOPER: 3B MEMPHIS PARKVIEW LLC
 AND PARKVIEW EQUITY FUND LLC
 ENGINEER: THE REEVES FIRM
 APRIL, 2022
 SCALE: 1" = 30'
 SHEET 1 OF 1
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RESOLUTION APPROVING THE PARKVIEW PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT 1914 POPLAR AVENUE, KNOWN AS CASE NUMBER PD 2022-009.

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a planned development for certain stated purposes in the various zoning districts; and

WHEREAS, the Forge Partners filed an application with the Memphis and Shelby County Division of Planning and Development for a planned development to allow new mixed use planned development to convert an existing adult independent living use to multi-family apartments with optional ground floor commercial uses; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives and standards for planned developments as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Memphis and Shelby County Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on May 12, 2022, and said Board has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a planned development is hereby granted in accordance with the attached outline plan conditions.

BE IT FURTHER RESOLVED, that the requirements of said aforementioned clause of the Unified Development Code shall be deemed to have been complied with; that the outline plan shall bind the applicant, owner, mortgagee, if any, and the legislative body with respect to the contents of said plan; and the applicant and/or owner may file a final plan in accordance with said outline plan and the provisions of Section 9.6.11 of the Unified Development Code.

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

OUTLINE PLAN CONDITIONS

PD 2022-009

The Parkview Planned Development

Outline Plan Conditions

I. Uses Permitted:

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7. Commercial greenhouse or nursery.
8. Tattoo, palmist, psychic, medium, or massage parlor.
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1. Minimum setbacks for the tower shall remain as currently exist: +/- 14 feet from Poplar Avenue.

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1. Eight (8) feet on Buena Vista.
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- G. An eight (8) foot high opaque brick wall shall be provided along the west, north, and east boundaries of the pool area and landscape consisting of native evergreens, trees and shrubs shall be provided along the north boundary of the pool area.
- H. Pool area lighting shall be designed to direct lighting away from all residential properties and shall be of pedestrian scale.
- I. All lighting fixtures must be concealed or shielded to prevent glare and off-site impacts on abutting/adjacent properties.
- J. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.

V. Drainage:

- A. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
- B. Design of the storm water conveyance and management facilities for this project shall be in accordance with the Memphis-Shelby County Storm Water Management Manual. The manual

requires on-site detention of storm water run-off generated from the project that exceeds the capacity of the downstream system. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for storm water detention facilities.

VI. Signs:

- A. Attached signs are allowed in accordance with UDC for CMU-3.
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VII. The Land Use Control Board may modify the bulk, access, parking, landscaping, and sign requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator of the Division of Planning and Development, to have such action reviewed by the Memphis City Council.

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- C. The site plan shall be reviewed and based upon the following criteria:
 - 1. Conformance with the Outline Plan conditions and the standards and criteria for commercial planned developments contained in the UDC.
 - 2. Adequacy of public facilities (streets, sewers, drainage, etc.)
 - 3. Elements of site design such as building orientation and setback, access and parking, internal vehicular and pedestrian circulation, landscaping and lighting.
 - 4. Building elevations and materials.

IX. A final plan shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.

X. Any final plan shall include the following:

- A. The outline plan conditions.
- B. The exact location and dimensions, including lots, buildable areas, pedestrian and utility easements, service drives, parking areas, trash receptacles, loading facilities, and required landscaping and screening areas.
- C. The location and ownership, whether public or private, of any easement.

- D. Specific plans for internal and perimeter landscaping and screening including landscaping of all open space features.
- E. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.
- F. A standard improvement contract as defined by Section 5.5.5 of the UDC for any needed public improvements.
- G. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
- H. The 100-year flood elevation.
- A. I. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

LANDSCAPE PLAN

Christine 20/24 2/2022/21-0113 1/14 Paper A1 - Parkville/01 PO/Landscape Plan.dwg Apr 07, 2022 - 8:24am



Botanical Name	Common Name	Quantity	Limbs	Height	Wth.	Caliper	Spread	Notes
ACER PALMATUS 'SANGRE ECAJI'	COBAL BARK JAP. MAPLE	5-6	7'	2.5-3'				WELL BRNCH - STAGHIT
CITRUS CAMAROTUS 'FOREST PAVY'	FOREST PAVY REBUD	7-8		3-4'				FALL TO GND.; UNIFORM SHAPE
CHRYDORERIA LIPNICKA	JAPANESE CHRYDORERIA	8-10		2.5-3'				FALL TO GND.; UNIFORM SHAPE
ILIX OPACA 'VALENTI'	VALENTI 'HOLLY'	8-10		4-5'				3 TR. MIN.; WELL BRNCH
LACINSTRIBATA INDICA 'MADON LAVERNIER'	MADON LAVERNIER COARCTATE	8-10		4-5'				3 TR. MIN.; WELL BRNCH
LIQUIDAMBORA THURIFERA 'VINOLO'	VINOLO TULIP POPPY	10-12		2-3'				WELL BRNCH - STAGHIT
MANGOLIA GRANDIFLORA 'VITTE GEM'	LITTLE GEM MAGNOLIA	4-5		4-5'				FALL TO GND.; WELL BRNCH
MANGOLIA VINCIGALLANA	STAR MAGNOLIA	7-8		1.5'				WELL BRNCH - FULL
QUERCUS NUTTALLI	NUTTALL OAK	3-5		3-3.5'				3 TR. MIN.; WELL BRNCH; FULL
QUERCUS PHELLOS	WILDLOW OAK	10-12		3'				WELL BRNCH - STAGHIT
TRIFOLIUM OCCIDENTALE 'SWEETBAY'	WILDLOW OAK	5-6		2-3'				FALL TO GND.; UNIFORM SHAPE
LIAMIS PANICULATA 'DOAKE'	DOAKE ELM	7						WELL BRNCH - STAGHIT
OTHERS								
CHANDON DACTYLION 'TRIMWAY A15'	TRIMWAY BIRNACIA SOO							1/4 INSTALL. BY US CONTRACTOR; SUBSEQUENT REPLACEMENTS UNDER MAINTENANCE AGREEMENT

LANDSCAPE PLAN THE PARKVIEW PLANNED DEVELOPMENT



OWNER/DEVELOPER: 38 MIDWAY PARKVIEW LLC AND PARKVIEW EQUITY FUND LLC
 ENGINEER: THE REVES FIRM
 CASE NUMBER: PD 22-7
 MEMPHIS, TENNESSEE
 NUMBER OF LOTS: 1
 1.62 ACRES
 APRIL, 2022
 SCALE: 1" = 30'

AGENDA ITEM: 21

CASE NUMBER: PD 2022-009 **L.U.C.B. MEETING:** May 12, 2022

DEVELOPMENT: The Parkview Planned Development

LOCATION: 1914 Poplar Avenue

COUNCIL DISTRICT: District 5 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: SB Memphis Parkview LLC & Parkview Equity Fund LLC / Forge Partners (Tim Williams)

REPRESENTATIVE: Mike Davis & Gil Uhlhorn (Bass, Berry & Sims PLC)

REQUEST: New Residential Planned Development to convert an existing adult independent living use to multi-family apartments

AREA: +/-1.911 acres

EXISTING ZONING: Residential Single-Family – 6 (R-6), Residential Urban – 3 (RU-3), and Commercial Mixed Use – 3 (CMU-3) with Midtown Overlay and Historic District Overlay

CONCLUSIONS

1. The applicant is seeking approval for a new Residential Planned Development to convert an existing adult independent living use to multi-family apartments.
2. A multi-family apartment building as a principal use is permitted by right based on the underlying zoning.
3. The subject property is currently existing as a multi-story independent living facility with a surface parking area.
4. The applicant is proposing to renovate the existing building to use as a 126-unit multi-family apartment, reconfigure the existing surface parking to maximize the efficient use of the parking space, and a new landscape plan for the parking area and the overall perimeter of the Planned Development site.
5. Subject property is in Evergreen Historic District and considered a contributing structure. Exterior alterations including but not limited to driveway, fences/walls, building alterations (window and/or door replacements) are subject to Memphis Landmarks Commission review and approval.
6. The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

CONSISTENCY WITH MEMPHIS 3.0

This proposal is consistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on pages 17-18 of this report.

RECOMMENDATION
Approval with conditions

GENERAL INFORMATION

Street Frontage:	Poplar Avenue	+/-375.50 linear feet
	Kenilworth Street	+/-269.20 curvilinear feet
	Buena Vista Place	+/-289.50 linear feet
Zoning Atlas Page:	2035	
Parcel ID:	020078 00023C	
Existing Zoning:	Residential Single-Family – 6 (R-6), Residential Urban – 3 (RU-3), and Commercial Mixed Use – 3 (CMU-3) with Midtown Overlay and Historic District Overlay	

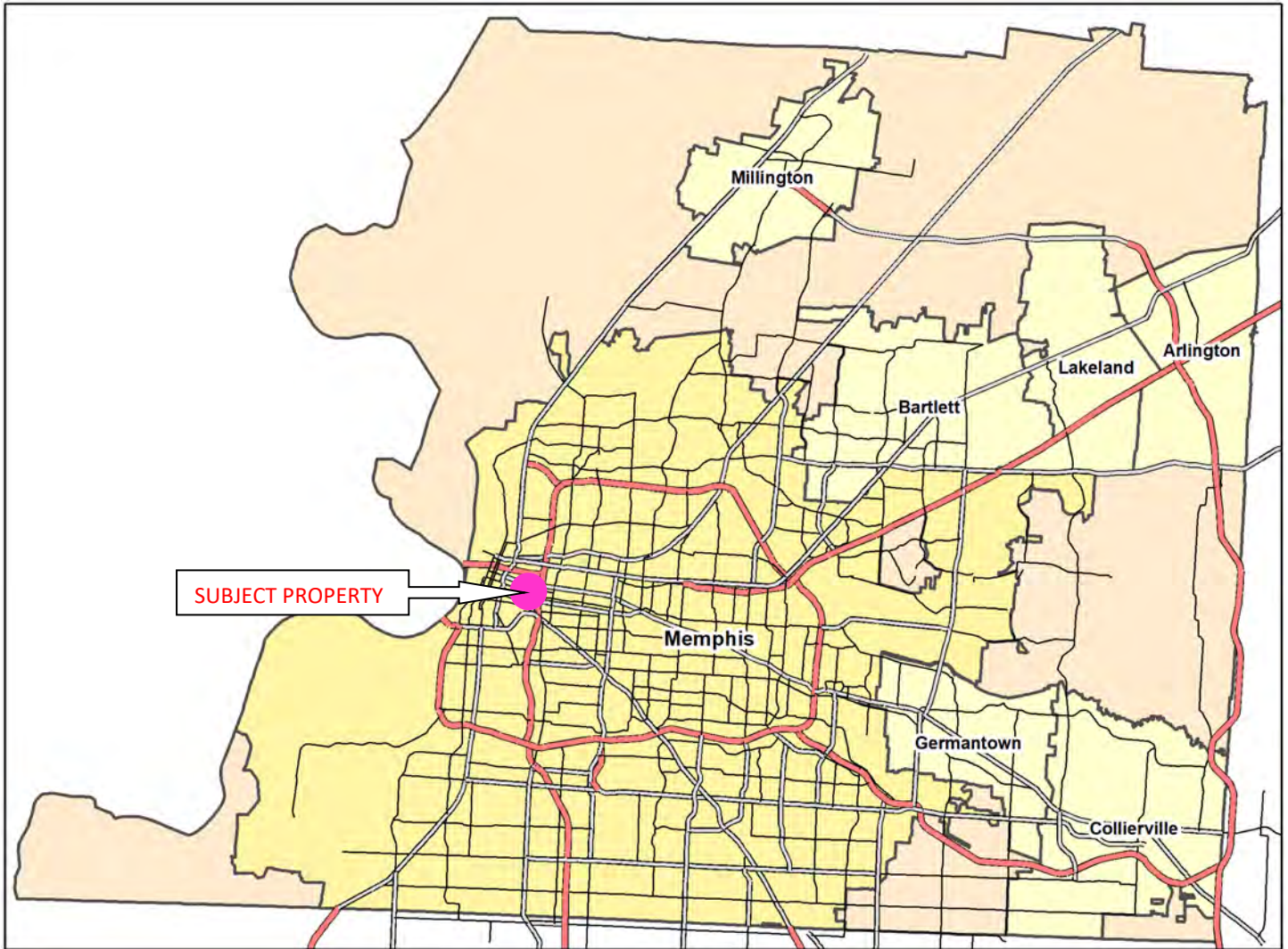
NEIGHBORHOOD MEETING

The virtual meeting was held at 7:00 PM on Thursday, April 28, 2022, see pages 42-45 of this report for notes provided by the applicant regarding the neighborhood meeting.

PUBLIC NOTICE

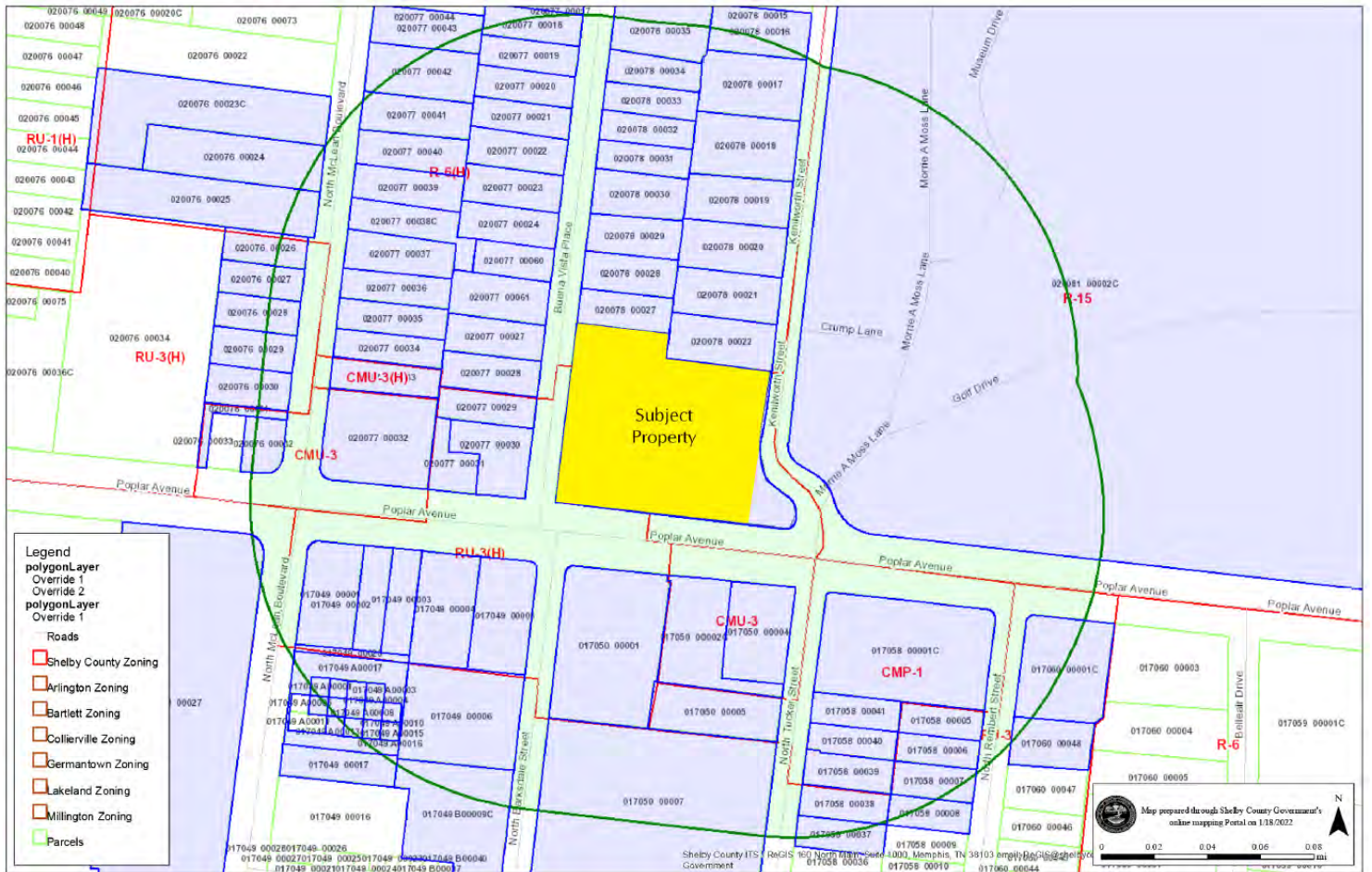
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 136 notices were mailed on April 27, 2022. A total of 3 signs posted at the subject property on May 2, 2022. The sign affidavit has been added to this report.

LOCATION MAP



Subject property located within the pink circle, in Midtown and Evergreen Historic District

VICINITY MAP



Subject property highlighted in yellow

AERIAL



Subject property outlined in yellow, imagery from 2021

LAND USE MAP



Subject property outlined in orange indicated by a pink star.

SITE PHOTOS



View of the subject property from Poplar Avenue looking north



View of the subject property from Poplar Avenue looking northeast



View of the subject property from Buena Vista Place looking east



View of the subject property from the Kenilworth Street looking southwest

SITE PLAN



SITE DATA

GROSS LOT AREA	83,732 S.F.
USE	APARTMENT
BUILDING AREA	± 18,127 S.F.
BUILDING HEIGHT	± 125 FEET
DWELLING UNITS	
STUDIO	27 UNITS
1 BEDROOM	81 UNITS
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PARKING REQUIRED	
STUDIO (1 PER UNIT)	27 SPACES
1 & 2 BR (1.5 PER UNIT)	148.5 SPACES
GUEST (0.15 PER UNIT)	18.9 SPACES
TOTAL	196 SPACES
PARKING REDUCTIONS	
PUBLIC TRANSIT (10%)	20 SPACES
1 PER 5 EXTRA BICYCLE SPACES	5 SPACES
TOTAL	25 SPACES
PARKING REQUIRED AFTER REDUCTIONS	170 SPACES
PARKING PROVIDED	
ON-SITE (SECURE)	118 SPACES
ON-SITE (UNSECURE)	7 SPACES
ON-STREET	32 SPACES
TOTAL (INC. 5 HC)	145 SPACES
PARKING SHORTAGE	25 SPACES
BICYCLE PARKING (2 PROVIDED INSIDE THE BUILDING) PER UDC	4 SPACES
FOR REDUCTION CREDIT	25 SPACES
TOTAL	29 SPACES

LANDSCAPE PLAN



PLANT MATERIALS LIST						
Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
ACER PALMATUM 'SANGO-KAKU'	'CORAL BARK' JAP. MAPLE		5-6'		2.5-3'	
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD			2"		WELL-BRNC'D.; STRAIGHT
CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA		7-8'		3-4'	FULL TO BND.; UNIFORM SHAPE
ILEX OPACA 'MARY NELL'	'MARY NELL' HOLLY		8-10'		2.5-3'	FULL TO BND.; UNIFORM SHAPE
LAGERSTROMIA INDICA 'HARDY LAVENDER'	'HARDY LAVENDER' CRAPEMYRTLE		8-10'		4-5'	3 TR. MN.; WELL-BRNC'D.
LIRIODENDRON TUPEIFERA 'ARNOLD'	'ARNOLD' TULIP POPLAR		8-10'		4-5'	3 TR. MN.; WELL-BRNC'D.
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	'LITTLE GEM' MAGNOLIA		10-12'		4-6'	FULL TO BND.; WELL-BRNC'D.
MAGNOLIA STYLLATA 'DR. MERRILL'	STAR MAGNOLIA		4-5'	1.5"	2.5-3'	WELL-BRNC'D.; FULL
MAGNOLIA VIRGINIANA	SWEETBAY		7-8'		3.5-4'	3 TR. MN.; WELL-BRNC'D.; FULL
QUERCUS NUTTALLI	NUTTALL OAK				3-3.5'	WELL-BRNC'D.; STRAIGHT
QUERCUS PHELLOS	WILLOW OAK		10-12'	3"		WELL-BRNC'D.; STRAIGHT
TRIFOLIUM OCCIDENTALE 'EMERALD GREEN'	'EMERALD GREEN' ARBORVITAE		5-6'		2-3'	FULL TO BND.; UNIFORM SHAPE
ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM				3"	WELL-BRNC'D.; STRAIGHT
OTHER						
CYNODON DACTYLON 'TIFWAY 419'	'TIFWAY' BERBERIS SOO					1/4" INSTALL. BY IS CONTRACTOR; SUBSEQUENT REPLACEMENTS UNDER MAINTENANCE AGREEMENT

STAFF ANALYSIS

Request

The application, planned development general provisions, and letter of intent have been added to this report.

The request is a new Residential Planned Development to convert an existing adult independent living use to multi-family apartments.

Applicability

Staff agrees the applicability standards and criteria as set out in Section 4.10.2 of the Unified Development Code are or will be met.

4.10.2 Applicability

The governing bodies may, upon proper application, grant a special use permit for a planned development (see Chapter 9.6) for a tract of any size within the City or for tracts of at least three acres in unincorporated Shelby County to facilitate the use of flexible techniques of land development and site design, by providing relief from district requirements designed for conventional developments, and may establish standards and procedures for planned developments in order to obtain one or more of the following objectives:

- A. Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property.*
- B. Diversification in the uses permitted and variation in the relationship of uses, structures, open space and height of structures in developments intended as cohesive, unified projects.*
- C. Functional and beneficial uses of open space areas.*
- D. Preservation of natural features of a development site.*
- E. Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program.*
- F. Rational and economic development in relation to public services.*
- G. Efficient and effective traffic circulation, both within and adjacent to the development site, that supports or enhances the approved transportation network.*
- H. Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environment and living units.*
- I. Revitalization of established commercial centers of integrated design in order to encourage the rehabilitation of such centers in order to meet current market preferences.*
- J. Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work.*
- K. Consistency with the Memphis 3.0 General Plan.*

General Provisions

Staff agrees the general provisions standards and criteria as set out in Section 4.10.3 of the Unified Development Code are or will be met.

4.10.3 General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations of the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions

contained in this Chapter.

- A. *The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.*
- B. *An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.*
- C. *The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for structures, parking and loading areas or access way shall be landscaped or otherwise improved except where natural features are such as to justify preservation.*
- D. *Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.*
- E. *Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.*
- F. *Lots of record are created with the recording of a planned development final plan.*

Residential Criteria

Staff agrees the additional planned residential development criteria as set out in Section 4.10.4 of the Unified Development Code are or will be met.

4.10.4 Planned Residential Developments

In addition to the standards and criteria set forth in Section 4.10.3, planned residential developments shall comply with the standards and criteria set forth below:

- A. **Formal Open Space**
A minimum of 0.6% of the total land area of a planned residential development of 15 acres or more shall be subject to the formal open space requirements of Section 6.2.3. No open area may be delineated or accepted as formal open space under the provisions of this Chapter unless it meets the standards of Chapter 6.2, Open Space.
- B. **Accessibility of Site**
All proposed streets, alleys and driveways shall be adequate to serve the residents, occupants, visitors or other anticipated traffic of the planned residential development. The location of the entrance points of the streets, alleys and driveways upon existing public roadways shall be subject to the approval of the City or County Division of Public Works.
- C. **Off-Street Parking**
Off-street parking shall be conveniently accessible to all dwelling units and other uses. Where appropriate, common driveways, parking areas, walks and steps may be provided, maintained and lighted for night use. Screening of parking and service areas shall be required through use of trees, shrubs and/or hedges and screening walls.
- D. **Pedestrian Circulation**
The pedestrian circulation system and its related walkways shall be separated, whenever feasible, from the vehicular street system in order to provide an appropriate degree of separation of pedestrian and vehicular movement.
- E. **Privacy**
The planned residential development shall provide reasonable visual and acoustical privacy for

dwelling units within and adjacent to the planned residential development. Protection and enhancement of property and the privacy of its occupants may be provided by the screening of objectionable views or uses and reduction of noise through the use of fences, insulation, natural foliage, berms and landscaped barriers. High-rise buildings shall be located within the development in such a way as to minimize any adverse impact on adjoining low rise buildings.

F. Distance Requirements

Where minimum distance requirements are provided between single family residential zoning districts and certain stipulated uses in this Code, the single-family residential areas of planned developments shall be considered zoned residential.

Approval Criteria

Staff agrees the approval criteria as set out in Section 9.6.9 of the Unified Development Code are being met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- A. The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- B. The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- C. The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- D. The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- E. The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- F. The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- G. The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- H. Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Description

The subject property is +/-1.911 acres located on the northeast corner of the intersection of Poplar Avenue and Kenilworth Street. The underlying zoning of the site are Residential Single-Family – 6 (R-6), Residential Urban – 3 (RU-3), and Commercial Mixed Use – 3 (CMU-3) with Midtown Overlay and Historic District Overlay. There is an existing curb cut around the center of the site’s frontage along Poplar Avenue and the site contains an existing ten-story independent living facility and a surface parking lot.

Site Zoning History

On January 27, 1960, the Board of Adjustment approved a surface parking lot at east side of Buena Vista Place, 129 feet north of Poplar Avenue (also known as 206 Buena Vista Place) with conditions, see pages 46-48 of this report for said notice of disposition.

On September 28, 1966, the Board of Adjustment approved a surface parking lot at northeast corner of Poplar Avenue and Buena Vista Place with conditions, see pages 49-51 of this report for said notice of disposition.

On January 23, 1990, the City Council adopted Ordinance 3929 designating the area generally between North Parkway, Poplar Avenue, Watkins Street, and McLean Boulevard and west of Overton Park including south of Poplar Avenue portions of Stonewall, Clark, and Willett Streets and Court Avenue as a historic district. See pages 52-55 of this report for said ordinance.

On April 22, 2020, the Board of Adjustment approved an off-premise sign on a lot with another principal use and to be located farther than 300 feet to an U.S. Interstate Highway with conditions, see pages 56-58 of this report for said notice of disposition.

Site Plan Review

- Multi-family apartment as a principal use is permitted by right
- Proposed units are: 27 studio, 81 one-bedroom, and 18 two-bedroom
- Total parking required 171 after reductions, provided 123
- There are no changes being proposed to the setback, height, or footprint of the existing multi-story building
- A detailed landscape plan is being proposed for the parking lot reconfiguration and for the overall perimeter of the Planned Development site

Consistency with Memphis 3.0

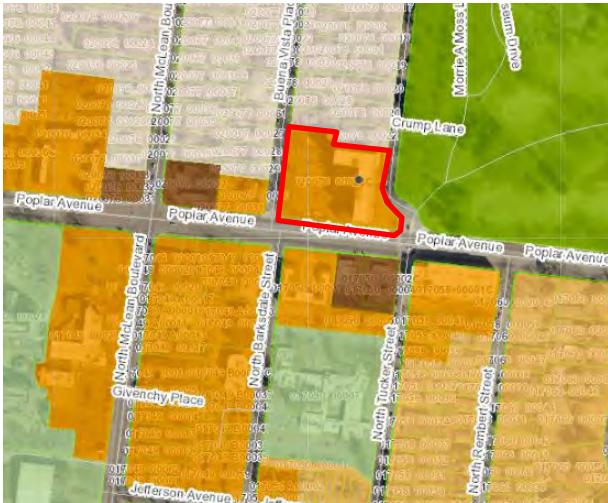
Site Address/location: 1914 Poplar Ave.

Land Use Designation (see page 88 for details): Primarily Multifamily Neighborhood (NM)

Based on the future land use and existing adjacent land uses the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

1. FUTURE LAND USE PLANNING MAP



Red polygon indicates the application sites on the Future Land Use Map.

2. Land use description & applicability:

Multifamily Neighborhoods are characterized by their house and block size buildings that are a combination of attached, detached and semi attached homes. These neighborhoods are major residential hubs that consist of apartment complexes and condominiums, and located greater than a 10-minute walk outside of the closest anchor. See graphic portrayal to the right.



“NM” Goals/Objectives:

Preservation/maintenance of existing multi-family housing.

“NM” Form & Location Characteristics:

Attached, semi-detached, and detached. House-scale and some block-scale buildings. Primarily residential with mixed use encouraged along avenues, boulevards and parkways as identified in the Street Types. Map 1-3+ stories height. Beyond 1/2 mile from a Community Anchor.

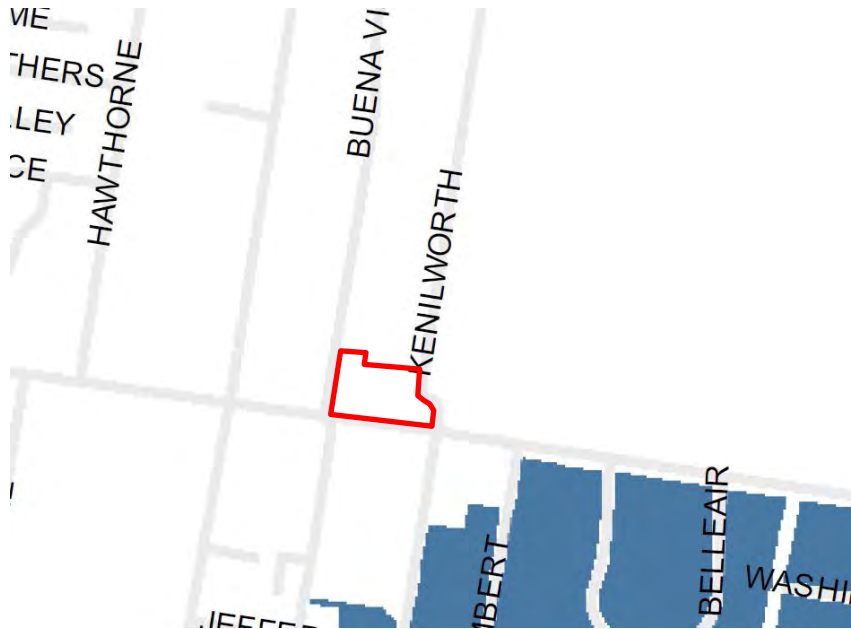
The applicant is seeking approval for a Planned Development with the intention of converting Parkview to multifamily apartments.

The request meets the criteria of NM because the proposed use would be detached apartment complex. The conversion of Parkview to multifamily apartments would preserve/maintain the existing multi-family housing. Additionally, the proposal will act as a buffer area between the single-family developments to the north and commercial/multifamily uses to the south.

3. Existing, Adjacent Land Use and Zoning

The subject site is surrounded by the following land uses: Institution, Multi-Family, Single-Family, and Commercial. The subject site is surrounded by the following zoning district: CMU-3(H), RU-3(H), and R-6(H). This requested land use is compatible with the adjacent land uses because *existing land uses surrounding the parcels is similar in nature to the requested use.*

4. Degree of Change map



Red polygon denotes the proposed site in Degree of Change area. There is no degree of change.

5. Degree of Change Descriptions

N/A

Based on the information provided, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Faria Army, Comprehensive Planning.

Conclusions

The applicant is seeking approval for a new Residential Use Planned Development to convert an existing adult independent living use to multi-family apartments.

A multi-family apartment building as a principal use is permitted by right based on the underlying zoning.

The subject property is currently existing as a multi-story independent living facility with a surface parking area.

The applicant is proposing to renovate the existing building to use as a 126-unit multi-family apartment, reconfigure the existing surface parking to maximize the efficient use of the parking space, and a new landscape plan for the parking area and the overall perimeter of the Planned Development site.

Subject property is located in Evergreen Historic District and considered a contributing structure. Exterior alterations including but not limited to driveway, fences/walls, building alterations (window and/or door replacements) are subject to Memphis Landmarks Commission review and approval.

The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

RECOMMENDATION

Staff recommends approval with outline plan conditions.

Outline Plan Conditions

I. Uses Permitted:

- A. Existing tower to be used as multi-family with certain commercial uses that may occur on the ground floor, said commercial uses shall be limited to restaurant and retail sales and services as allowed in Midtown Overlay District CMU-3. The following uses are prohibited:
 1. Drive-in or drive-thru restaurant.
 2. Animal hospital, veterinary clinic, or pet clinic.
 3. Animal boarding, shelter, kennel, or doggy day care.
 4. Convenience store with or without gas pumps.
 5. Cleaning establishment, pick up station.
 6. Funeral establishment, merchandise, directing, crematorium, or pet crematorium.
 7. Commercial greenhouse or nursery.
 8. Tattoo, palmist, psychic, medium, or massage parlor.
 9. Vehicle parts and accessories.
 10. Any group living.
 11. Any medical facility.

12. Any indoor recreation, except a health club for the residents.
13. Any overnight lodging.
14. Any self-service storage, except additional storage spaces for the residents.
15. Any vehicle service, repair, sales, rental, or leasing.
16. Any industrial use.

II. Bulk Regulations:

A. Building heights are as follows:

1. Maximum height for Parkview tower building shall remain as currently exists: +/- 125' high.

B. Building setbacks are as follows:

1. Minimum setbacks for the tower shall remain as currently exist: +/- 14 feet from Poplar Avenue.

C. Parking lot setbacks are as follows:

1. Eight (8) feet on Buena Vista.
2. Eight (8) feet on Poplar Ave.

III. Access, Circulation and Parking:

A. All internal roads shall be private and have a minimum width of twenty-two (22).

B. One (1) curb cut shall be allowed along Poplar Ave in the general location of the existing curb cut as indicated on the site plan.

C. No curb cuts shall be allowed along Buena Vista Place.

D. The City Engineer shall approve the design, number and location of curb cuts. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk as identified during the plan review process.

E. Any gated entrance shall meet the requirements of Unified Development Code (UDC) (4.4.8).

F. Minimum of 123 parking spaces shall be provided on-site.

G. Minimum of 20 bicycle parking spaces shall be provided on-site.

IV. Architecture, Landscaping, Lighting and Screening:

A. Streetscape landscape shall be provided along Poplar Ave and Buena Vista Place as illustrated on the outline plan.

B. An eight (8) foot buffer shall be maintained along Buena Vista Place. Existing, healthy, mature trees shall be maintained where feasible and supplemented with additional evergreens to increase density. Invasive species shall be avoided; native species shall be used when possible.

C. Internal parking lot landscaping shall be as shown on the attached landscape plan.

D. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.

E. An eight (8) foot high opaque brick wall shall be provided around the parking lot along Buena Vista

Place and Poplar Ave and along the north property line to shield views of the parking lot.

- F. Site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. Parking lot light standards shall be a maximum of twenty (20) feet in height.
- G. An eight (8) foot high opaque brick wall shall be provided along the west, north, and east boundaries of the pool area and landscape consisting of native evergreens, trees and shrubs shall be provided along the north boundary of the pool area.
- H. Pool area lighting shall be designed to direct lighting away from all residential properties and shall be of pedestrian scale.
- I. All lighting fixtures must be concealed or shielded to prevent glare and off-site impacts on abutting/adjacent properties.
- J. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.

V. Drainage:

- A. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
- B. Design of the storm water conveyance and management facilities for this project shall be in accordance with the Memphis-Shelby County Storm Water Management Manual. The manual requires on-site detention of storm water run-off generated from the project that exceeds the capacity of the downstream system. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for storm water detention facilities.

VI. Signs:

- A. Attached signs are allowed in accordance with UDC for CMU-3.
- B. Monument-style signs along Poplar Avenue shall be in accordance with the UDC for CMU-3. No signs will be allowed on Buena Vista Place.
- C. The existing monument-style sign at the intersection of Poplar Avenue and Kenilworth Street shall be allowed to remain as-is, except the graphics can be updated for the new use. Updates will be subject to review and approval by DPD.

VII. The Land Use Control Board may modify the bulk, access, parking, landscaping, and sign requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator of the Division of Planning and Development, to have such action reviewed by the Memphis City Council.

VIII. Site Plan Review

- A. A site plan shall be submitted for the review and comment by appropriate governing agencies and the Division of Planning and Development prior to approval of any final plan. Site plan review by the Land Use Control Board shall not be required if the final plan conform to the site plan presented to the Land

Use Control Board as part of the Planned Development Outline Plan approval.

- B. The site plan shall illustrate the location and dimensions of building footprints, parking lots, private drives, building elevations, landscaping and screening plans.
- C. The site plan shall be reviewed and based upon the following criteria:
 - 1. Conformance with the Outline Plan conditions and the standards and criteria for commercial planned developments contained in the UDC.
 - 2. Adequacy of public facilities (streets, sewers, drainage, etc.)
 - 3. Elements of site design such as building orientation and setback, access and parking, internal vehicular and pedestrian circulation, landscaping and lighting.
 - 4. Building elevations and materials.
- IX. A final plan shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.
- X. Any final plan shall include the following:
 - A. The outline plan conditions.
 - B. The exact location and dimensions, including lots, buildable areas, pedestrian and utility easements, service drives, parking areas, trash receptacles, loading facilities, and required landscaping and screening areas.
 - C. The location and ownership, whether public or private, of any easement.
 - D. Specific plans for internal and perimeter landscaping and screening including landscaping of all open space features.
 - E. A lighting plan detailing the location, height, style, direction, etc. of all outdoor lighting and a photometric plan shall be submitted for administrative review and approval by the Division of Planning and Development.
 - F. A standard improvement contract as defined by Section 5.5.5 of the UDC for any needed public improvements.
 - G. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
 - H. The 100-year flood elevation.
 - I. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer:

CITY ENGINEERING COMMENTS DATE: **4/25/2022**

CASE: **PD-22-009**

NAME: **Parkview Apartments**

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. City sanitary sewers are available to serve this development.
3. All sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

6. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.
7. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
8. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

9. The City Engineer shall approve the design, number and location of curb cuts.
10. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
11. On street parking is not guaranteed.

Drainage:

12. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
13. The development is located in a sensitive drainage basin (Lick Creek 2-K). Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
14. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
15. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
16. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

Site Plan Notes:

17. Adequate queuing spaces in accordance with section 4.4.8 of the UDC shall be provided between the street right-of-way line and any proposed gate/guardhouse/card reader.
18. Adequate maneuvering room shall be provided between the right-of-way and the gate/guardhouse/card reader for vehicles to exit by forward motion.

City/County Fire Division:



DIVISION OF FIRE SERVICES ♦ FIRE PREVENTION BUREAU

2668 Avery Avenue · Memphis · Tennessee · 38112
(901) 636-5401 Fax (901) 320-5425

Case Number: PD 22 09

Date Reviewed: 4/26/22

Reviewed by: J. Stinson

Address or Site Reference: 1914 Poplar

- All design and construction shall comply with the 2021 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).
- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

City Real Estate: No comments received.

City/County Health Department: No comments received.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Office of Sustainability and Resilience:

RE: No OSR Comments on LUCB Case

Huffman, Leigh <Leigh.Huffman@memphistn.gov>

Mon 4/25/2022 3:45 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Hello Ayse,

I do not have comments on your upcoming LUCB case.

1. ***PD 22-09: MIDTOWN:** planned development to allow Parkview conversion to multifamily apartments at 1914 Poplar Ave

Thank you,
Leigh



Leigh Huffman

Municipal Planner

Office of Sustainability and Resilience

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6699

Email: Leigh.Huffman@memphistn.gov



Visit our [website](#)

Office of Comprehensive Planning: See pages 17-18 of this report.

APPLICATION



MEMPHIS AND SHELBY COUNTY

Record Summary for Planned Development

Record Detail Information

Record Type: Planned Development

Record Status: Assignment

Opened Date: April 7, 2022

Record Number: PD 2022-009

Expiration Date:

Record Name: Parkview Apartments

Description of Work: On behalf of SB Memphis Parkview LLC and Parkview Equity Fund LLC, current owners of the Parkview Senior Living Facility, we are pleased to submit the attached planned development application for the Parkview facility on Poplar Avenue adjacent to Overton Park. The purpose of the application is to establish a new planned development that will convert the current adult independent living use to multi-family apartments and establish site specific criteria for the entire development.

Parent Record Number:

Address: 1914 POPLAR AVE, MEMPHIS 38104

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	SB MEMPHIS PARKVIEW LLC (49.67%) AND	0 PO BOX 1651, RANCHO SANTA FE, CA 92067	(858) 756-5754

Parcel Information

Parcel No:
020078 00023C

Contact Information

Name	Organization Name	Contact Type	Phone
Tim Williams	Forge Partners	Applicant	(858) 756-5754

Suffix:

Address

0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067

Mike Davis	Architect / Engineer / Surveyor	(901) 761-2016
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Address

Kay Maynard	Architect / Engineer / Surveyor	(901) 581-4835
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Address

6800 Poplar Ave. Suite 101

Christine Donhardt	Architect / Engineer / Surveyor	(901) 761-2016
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Address

Tim Williams	Forge Partners	Property Owner of Record	(858) 756-5754
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Address

0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067

Mike Davis	Representative	(901) 761-2016
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Address

Gil Uhlhorn	Bass, Berry & Sims PLC	Representative	(901) 543-5943
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Address

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed	Unit	Fee Code
1373860	Credit Card Use Fee (.026 x fee)	1	39.00	INVOICED	0.00	04/07/2022		PLNGPUD08
1373860	Planned Development - 5 acres or less	1	1,500.00	INVOICED	0.00	04/07/2022	Acres	PLNGPUD01
Total Fee Invoiced: \$1,539.00					Total Balance: \$0.00			

Payment Information

Payment Amount	Method of Payment
\$1,539.00	Credit Card

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner	Brett Ragsdale
Date of Meeting	03/18/2022

GENERAL PROJECT INFORMATION

Planned Development Type	New Planned Development (PD)
Previous Docket / Case Number	-
Medical Overlay / Uptown	No
If this development is located in unincorporated Shelby County, is the tract at least three acres? (Note a tract of less than three acres is not eligible for a planned development in unincorporated Shelby County)	N/A
Is this application in response to a citation, stop work order, or zoning letter	No
If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information	-

APPROVAL CRITERIA

UDC Sub-Section 9.6.9A

Proposed improvements to the Parkview will visually enhance the adjacent neighborhood through cosmetic repair of the existing building, new lighting, new parking, new buffer walls and heavy landscaping. Vehicular movement to and from the property will use existing curb cuts and will be improved through a carefully planned circulation pattern. All traffic movements will be directed to Poplar Avenue, rather than Buena Vista. The proposed planned development will have no adverse effect on public utilities.

UDC Sub-Section 9.6.9B

The project will operate as an apartment complex rather than the current restricted 55+ senior living facility, but otherwise will have no significant effect on adjacent properties. The proposed use is compatible with the mixed-use nature of the area. Several similar multi-family properties are nearby, including the recently constructed Arts Loft development across Poplar Ave.

UDC Sub-Section 9.6.9C

The Parkview is an existing facility with access to all public services.

UDC Sub-Section 9.6.9D

The historic nature of the Parkview will not be compromised. Attention will be paid to deferred maintenance of the building and proposed site improvements will make the development appear new again. A few significant trees will be removed along Buena Vista, but they will be replaced with extensive new landscaping.

UDC Sub-Section 9.6.9E

The project complies with local codes, with exception of parking, which, according to UDC requirements, is short by 25 spaces. Internal parking landscape islands vary slightly from UDC standards.

UDC Sub-Section 9.6.9F

Correct.

GENERAL PROVISIONS

UDC Sub-Section 4.10.3A

Correct. Cosmetic changes to the site will only enhance the surrounding neighborhood. The use change from adult independent living to market apartments is consistent with the mixed-use nature of midtown and the Poplar Corridor.

B) An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development

All utilities are existing on or near this property.

C) The location and arrangement of the structures, parking and loading areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for such facilities shall be landscaped or otherwise improved except where natural features are such as to justify preservation

The existing building will be preserved, with exception of a small insignificant single-story structure tacked on to the building years ago. The existing surface parking area will be reconstructed and equipped with security fencing, privacy walls and proper landscaping. New parking lot lighting will be directed away from neighboring properties. The dumpster location will be screened from surrounding properties.

D) Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest

Correct.

E) Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements

Understood. The apartment ownership will maintain all common open space.

F) Lots of record are created with the recording of a planned development final plan

Understood.

GIS INFORMATION

Central Business Improvement District	No
Case Layer	BOA1960-002-CI, BOA1966-107-CI, null, Z89-105
Class	R
Downtown Fire District	No
Historic District	Evergreen
Land Use	SINGLE-FAMILY
Municipality	MEMPHIS
Overlay/Special Purpose District	Midtown Overlay
Zoning	R-6
State Route	-
Lot	1-3 S P4
Subdivision	KENILWORTH TER SUBD
Planned Development District	-
Wellhead Protection Overlay District	-

MEMPHIS AND SHELBY COUNTY DIVISION OF PLANNING AND DEVELOPMENT

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

In the event the applicant is not the Owner, the following shall be signed and acknowledged by the owner.

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, [Signature] *for SB Memphis Parkview, LLC*, state that I have read the definition of "Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 1914 Poplar Ave, Memphis, TN 38104 and further identified by Assessor's Parcel Number 020078 00023C, for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this _____ day of _____ in the year of 20_____.

Signature of Notary Public

My Commission Expires *CA Just attached*

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

Subscribed and sworn to (or affirmed) before me on this 07
day of April, 2022, by Tim Williams

proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.



(Seal)

Signature Heidi Cortez


**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

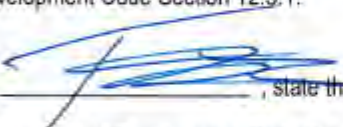
City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

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I, , *For Parkview Equity Fund, LLC*, state that I have read the definition of "Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 1914 Poplar Ave, Memphis, TN 38104 and further identified by Assessor's Parcel Number 020078 00023C, for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this _____ day of _____ in the year of 20_____

Signature of Notary Public

My Commission Expires

CA Jurat attached

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

Subscribed and sworn to (or affirmed) before me on this 07
day of April, 2022, by Tim Williams

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature Heidi Cortez

LETTER OF INTENT



April 7, 2022

Mr. Brett Ragsdale
Zoning Administrator
Division of Planning and Development
125 N. Main, Ste. 477
Memphis, TN 38103

RE: Parkview

Dear Brett,

On behalf of SB Memphis Parkview LLC and Parkview Equity Fund LLC, current owners of the Parkview Senior Living Facility, we are pleased to submit the attached planned development application for the Parkview facility on Poplar Avenue adjacent to Overton Park. The purpose of the application is to establish a new planned development that will convert the current adult independent living use to multi-family apartments and establish site specific criteria for the entire development. The 1.92-acre subject property is currently governed by a combination of three zoning designations: R-6, CMU-3 and RU-3.

Parkview opened as a luxury 10-story residential hotel on New Year's Eve in 1923. In 1964, the property was purchased by Presbyterian Services, Inc. and converted to adult independent living. The property has since been owned and operated by several reputable senior living organizations including Starling Senior Living and Brookdale Senior Living with only marginal success. In 2020, the applicant purchased the property and made significant capital investments, primarily on the interior of the building, in hopes of improving an inherited occupancy rate of 50%. Unfortunately, the occupancy rate remained unchanged as Parkview was unable to compete with newer suburban low-rise active adult communities with more amenities, expansive green space, modern floorplans, and easier access to medical facilities.

If approved, the attached application will allow conversion of Parkview to market-rate apartments and attract tenants more likely to engage in the diverse Midtown Memphis culture. The iconic exterior of the Parkview will be preserved with only minor cosmetic repair and treatment. Most notably, the exterior window air conditioning units will be replaced with an internal cooling system and the exterior windows will be replaced or repaired to meet modern standards.

As the Parkview was constructed as a hotel, many of the interior walls of the facility are structurally critical and thus impractical to relocate or remove. Therefore, the proposed unit mix is weighted toward 1-bedroom and studio floorplans with some two-bedroom units located primarily in the building corners. The total building unit count will be reduced from the current 136 to 126. The applicant plans to gut and upgrade each existing living space to meet current market standards. The revered original hotel lobby and other ornate lower floor spaces were updated recently by the applicant and will be repurposed as needed for future tenants.

In an effort to include the surrounding neighborhood in the conversion planning process, the Parkview design team, lead by designshop, pllc, (architects) and The Reaves Firm, Inc., (planners and engineers), met first with board members of the Evergreen Historic District and then later with a greater representation of the Evergreen District and ultimately with adjacent neighbors to discuss particular aspects of the project. Most of the dialogue centered around a proposed 4-story parking garage originally considered necessary to adequately park the proposed use conversion. Several architectural versions of the garage were presented at each meeting and guests were encouraged to voice opinions and offer suggestions in response to the presentation. Generally, the garage concept was met with skepticism by a majority of the attendees who listed building height, noise, sun obstruction, and neighborhood architectural contextual issues as negative aspects of the plan.

As a result of the meetings and in response to neighborhood concerns, the Parkview design team abandoned the garage theory in favor of the attached site plan that provides a low impact surface parking concept sufficient to accommodate the proposed use change. The plan uses a combination of on-site parking and adjacent on-street parking to achieve an overall parking ratio of 1.15 space/unit which compares favorably with the 1 space/unit ratio granted the neighboring Art Lofts apartment project in 2019.

The proposed on-site lot will be surrounded on the Poplar and Buena Vista Street frontages and on the northern property line by an 8' opaque masonry fence to shield neighborhood views of the parked cars. The wall will be heavily landscaped with a mixture of shade and evergreen trees, flowering shrubs, and flowering perennials to blend with the adjacent neighborhood. Lighting for the proposed lot will use cut off fixtures to direct light away from surrounding homes. The lot will be gated and accessed only by key punch or card readers for maximum security.

Without exception, every person polled during our recent due diligence and planning exercise views Parkview as a critical Memphis landmark. The property anchors arguably the most important public space in Memphis and its visual presence is enjoyed by thousands on a daily basis. Approval of the proposed planned development will lay the groundwork for revitalization of Parkview. We would appreciate a staff recommendation for approval. Please do not hesitate to contact our design team if there are questions or if you need additional information.

Sincerely,



Mike Davis, R.L.A.
Principal

SIGN AFFIDAVIT



AFFIDAVIT

Shelby County
State of Tennessee

I, Andrew Coleman, being duly sworn, depose and say that at 9:30 AM on the 2nd day of May, 2022, I posted a Public Notice Sign(s) pertaining to Case No. PD 22-09 at 1914 POPLAR AVE (3 locations):
 providing notice of a Public Hearing before the
 Land Use Control Board,
 Memphis City Council,
 Shelby County Board of Commissioners

for consideration of a proposed:
 Land Use Action (Planned Development),
 Street /Alley Closure
 Special Use Permit,
 Use Variance,
 Zoning District Map Amendment.

A photograph of said sign(s) being attached hereto and a copy of the sign purchase receipt or rental contract attached hereto.

Andrew Coleman 5.2.22
 Owner, Applicant or Representative Date

Subscribed and sworn to before me this 12th day of May, 2022
Michelle Cortese
 Notary Public
 My commission expires: 5/11/22









NEIGHBORHOOD MEETING HELD ON APRIL 28, 2022 AT 7 PM

Parkview Neighborhood Meeting

Zoom, 4-28-2022, 7pm

Design Team:

Tim Michael
Scott Guidry
Mike Davis
Kay Maynard
Christine Donhardt

Neighbors:

Jeremy Williams (President)
Councilman Dr. Jeffrey Warren (Adjacent neighbor)
Juanita Freeman (Adjacent neighbor)
John Brooke & Jolieke Oosterwijk (Adjacent neighbors)
David Cotton (north of John & Jolieke)
Eric Gottlieb (6th house north)
Lee Askew
Don Jones

Developers:

Tim Williams
Matt Campbell

Presentation of the site plan & landscape plan given by Mike Davis.

Q&A

David Cotton: What is the approach to painting the building - yellow stripes?

Scott Guidry / Tim Michael: No grand paint schemes are being considered.

Dr. Warren: Looks great, only concern is the case for residents where we have the sidewalk on Poplar next to people doing 50 mph. Look at what we did with the sidewalk down by the park (it's brought that sidewalk back). Can we do a divider / maybe concrete planters on Poplar?

Mike Davis: We have a limited area in the sidewalk area. We have thought of moving the sidewalk closer to the wall and maybe put tree grates on Poplar.

Dr. Warren: Even if you have a wall facing poplar with just a vine on it, people would love you for that (moving sidewalk) because that will be how they get to the park. I'm fine with people parking on Buena Vista and I live across from it. It makes it more like a city. But if you can help us make a safer city that would be great (i.e. with the protected walkway).

Mike Davis: We will be more than willing to do it.

John Brooke & Jolieke Oosterwijk: A great point. I was wondering about the 8' wall. We are the property right next to it (north of Parkview on the front side). There is green space, sidewalk and then a few feet to the other side. Is that where the wood fence is right now? We have a sewer easement in the back there. Are you going to pull the wall more forward toward Kenilworth?

Mike Davis: We could bring the fence even to the face of the building.

John Brooke & Jolieke Oosterwijk: Yes, we would like that.

Dr. Warren: What will you be doing with the roof, interior, and inside plans? Please explain to the neighborhood.

Matt Campbell: We will keep existing lobby that we love. We will enhance aspects of the property and history and modernize the interiors of the units.

Lee Askew: Amazing how you managed to comply with parking and do it all on a small footprint. Commend you on how great it looks.

Juanita Freeman: On the wall on Buena Vista, how far is it from the street?

Mike Davis: 8' from the back of the sidewalk.

Dr. Warren: About how wide is the sidewalk?

Mike Davis: 5'

David Cotton: What is the proposed unit mix? Current units?

Mike Davis: 18 2-bed at the corners of the buildings, the rest are 1-bed and studios. 126 total units.

Scott Guidry / Tim Michael: Currently 132 or 134 units.

David Cotton: What is the staging of the construction and how long you project that to last?

Scott Guidry / Tim Michael: A contractor will determine the duration, but we suspect it will be in 1.5 to 2 years. The units have received some modifications. The work on the inside doesn't have much impact on the exterior. When we do the parking lot is when you will see it, at the very end.

David Cotton: At the in person meeting I asked a question about the spotlight shining on Tri's house, it is invasive. I'm curious when they will close the pool.

Matt Campbell: Normal business hours.

Juanita Freeman: The spotlighting is blinding people across the street. It's not getting dimmer. The gas station has timers where the lights get dimmer at night. She's been living here 10 years and it has never been that bright.

Scott Guidry / Tim Michael: The UDC has rules about parking lot lighting with regards to pollution, to which we would adhere to within the construction documents.

Eric Gottlieb: It's the area north of the parking lot, not the parking lot light. If it's possible to direct that to the parking lot instead of at the neighbor.

Dr. Warren: What you're hearing is that people want it done now, not in 2 years.

Scott Guidry / Tim Michael: We will get with Forge to see if they can fix that light sooner.

Don Jones: Have they had any conversation at City Engineering with traffic flow with Poplar and Tucker.

Mike Davis: We got the staff report for the Technical Review Meeting last night and had no staff comments from engineering. But we will do a traffic count.

David Cotton: Traffic varies greatly depending on events. Sometimes it's a line for hours.

Scott Guidry / Tim Michael: Are you advocating for another curb cut?

David Cotton: No, I'm making them aware there are issues here.

Dr. Warren: We know not to drive fast in our neighborhood, but we will have spaces on Buena Vista and those people driving there will be new to the neighborhood. Can developers pay for putting in speed bumps down Buena Vista? If those were in place, it would make a lot of people not as worried about the cars on the street. Most of the people will be young and out of town and not aware of the current conditions.

Matt Campbell: We want to be good neighbors. If there's ever anything we can do, communicate at our property, we would always be open to that. Willing to share a way to make it better for everybody. The last thing we want is residents or guests not respecting the rules. At any time, we would be happy to communicate anything that needs to be communicating along those lines.

David Cotton: Have you thought of selling condos instead of renting apartments?

Matt Campbell: Due to the structure of our investment it's not something that would be easy to undertake. So our goal is to keep it intact as an apartment.

David Cotton: I appreciate how you have worked with us over the past several weeks.

Matt Campbell: We have a great team, and it is our pleasure and we look forward to working with you again.

Dr. Warren: I echo that.

Comments in the chat:

Eric - Even a model like what's at the ~~sw~~ corner of Poplar and e. parkway might work -- they have heavy duty wooden bollards. The historic home there.

BOA 1960-002 CITY NOTICE OF DISPOSITION

Form No. 4

Notice of Disposition of Zoning Case

BOARD OF ADJUSTMENT

CITY OF MEMPHIS

Memphis, Tenn., Feb. 22, 1960

To: Parkview Hotel,
1914 Poplar Street,
 Memphis, Tennessee.

Premises Affected east side of Buena
Vista Pl., 129 ft. north of Poplar.
206 Buena Vista Pl.

Sir:

You will please be advised that on January 27, 1960, the Board of Adjustment { granted } your { application } Docket No. 60-2 ~~disallowed~~

All appeals and applications granted are expressly conditioned upon the applicant obtaining the permit requested or other order within six (6) months from the date of the decision of the Board of Adjustment.

Conditions, if any, are shown below.

The resolution of the Board is subject to your inspection at the office of the Board of Adjustment.

Respectfully,

Secretary

Therefore, this application is approved subject to the following conditions:

- ✓ 1. That the parking lot be paved with concrete or asphalt.
- ✓ 2. That grading and drainage control be in conformance with the requirements of the City Engineering Department.
- ✓ 3. That the existing curb cut in front of the subject property on Buena Vista Street be discontinued and closed.
- ✓ 4. That there will be no ingress nor egress for vehicles to the lot from Buena Vista Street.
- ✓ 5. That ingress and egress to the lot be provided only from the property immediately adjacent to the east.
- ✓ 6. That a brick or brick and stone faced wall be erected to the height proposed for the fence and wall in the plans accompanying the application, said wall to encircle the entire lot, with the exception of the required front yard and to be continuous with the exception of one opening of normal width for pedestrians on the west line and one opening of normal width for vehicles on the east line.

- Notice of Disposition of Zoning Case**
7. That the setback for the parking lot conform to the plans incorporated in the application.
 8. That lighting, if any, be located at grade level or on standards not exceeding three feet in height and so designed that there will be no illumination cast upon the adjacent and surrounding residential properties.
 9. That the portion of the property not used for the parking of vehicles nor as maneuvering area be landscaped and maintained in an attractive appearance at all times and that the parking lot be maintained in a neat and clean appearance at all times.
 10. That a Certificate of Occupancy be obtained from the City Building Department prior to commencing the requested use of the property.
 11. That the parking lot be improved in accordance with the plans incorporated in the application, subject to the above stated conditions.

BOA 1966-107 CITY NOTICE OF DISPOSITION

Notice of Disposition

BOARD OF ADJUSTMENT

161 ADAMS AVENUE

CITY OF MEMPHIS

October 13, 1966

CORRECTED NOTICE:

Memphis, Tenn.,

To Presbyterian Services Incorporated
1914 Poplar

Memphis, Tennessee.

Dear Sir:

September 28, 1966

On _____, the Board of

Adjustment Approved your application, Docket No. 66-107 City

Premises Affected Northeast corner of Poplar Avenue and Buena Vista

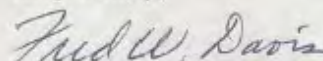
Request An exception from the Zoning Ordinance to permit parking for use by an adjoining commercial business (Parkview Manor), with a variation to permit a reduction in the required front yards.

All appeals and applications granted are expressly conditioned upon the applicant obtaining the permit requested or other order within six (6) months from the date of the decision of the Board of Adjustment.

Conditions, if any, are shown on back of notice.

The resolution of the Board is subject to your inspection at the office of the Board of Adjustment.

Respectfully,



Fred D. Davis

Secretary of the Board of Adjustment

This application is approved contingent upon the developer complying with the following conditions:

1. The applicant is to extend the existing clay brick wall presently located along the west side of the existing parking area southwardly (parallel to Buena Vista Street) to the point of intersection of the setback line of the Parkview Manor Hotel as extended westwardly (parallel to Poplar Avenue). The brick wall is then to run eastwardly along said setback line to a point; said point being the westernmost line of the existing driveway from Poplar Avenue to said parking area. This wall is to be maintained and erected to the same height as the existing wall as measured from the present grade of the subject property.
2. The applicant is permitted to remove the existing brick wall now located along the northern boundary of the subject property. This wall runs in an east-west direction along said northern boundary, and separates the existing parking area from that parking area expansion herein considered.
3. Any lighting erected on said parking area is to be on standards not exceeding three (3) feet in height, and is to be shielded in such a manner that light shall be reflected downward.
4. No entrance or exits are permitted to and from Buena Vista Street.
5. No covering of individual parking sites is to be permitted. However, covering of the entire parking area of a uniform design will be allowed.

Secretary of the Board of Adjustment

CITY ORDINANCE 3929

0000820000

000196

Ord. 3929

AN ORDINANCE AMENDING ORDINANCE NO. 3064 OF THE CODE OF ORDINANCES, CITY OF MEMPHIS, TENNESSEE, ADOPTED ON OCTOBER 7, 1980, AS AMENDED, KNOWN AS THE ZONING ORDINANCE OF THE CITY OF MEMPHIS, SO AS TO MAKE CERTAIN CHANGES IN THE USE DISTRICTS PROVIDED IN SAID ORDINANCE

WHEREAS, A proposed amendment to the Zoning Ordinance of the City of Memphis, being Ordinance No. 3064 of the Code of Ordinances, City of Memphis, Tennessee, as amended, has been submitted to the Memphis and Shelby County Land Use Control Board for its recommendation and report, designated as Z 89-105

WHEREAS, The Memphis and Shelby County Land Use Control Board has filed its recommendation and report with the Council of the City of Memphis; and

WHEREAS, The provisions of the Code of Ordinances, City of Memphis, Tennessee, as amended, relating to the proposed amendment, have been complied with;

NOW, THEREFORE,

SECTION 1. BE IT ORDAINED BY THE COUNCIL OF THE CITY OF MEMPHIS That the Zoning Ordinance of the City of Memphis, Ordinance No. 3064 of the Code of Ordinances, City of Memphis, as amended, be and the same hereby is amended with respect to Use Districts, as follows:

BY MAINTAINING THE EXISTING USE DISTRICTS AND INCLUDING IN THE HISTORIC CONSERVATION (H-C) DISTRICT

THE FOLLOWING DESCRIBED PROPERTY LOCATED IN THE CITY OF MEMPHIS, TENNESSEE:

Generally between North Parkway, Poplar Avenue, Watkins Street and McLean Boulevard and west of Overton Park including south of Poplar Avenue portions of Stonewall, Clark and Willett Streets and Court Avenue

The property is more particularly described as follows:

Begin at the midpoint of the intersection of the centerline of Poplar Avenue and a point parallel with the eastern edge of Kenilworth Street, which is the western boundary of Overton Park; go due south along the east edge of Kenilworth Street; and continue along this line until it becomes the boundary of Overton Park and Parkview Street; continue north to the point of intersection with the north line of Galloway Avenue, which is a southern boundary line of Overton Park;

Then go west along the north line of Galloway Avenue to the intersection with the centerline of McLean Boulevard; then go north along the centerline of McLean Boulevard to the intersection with North Parkway, and continue north to a point parallel with the rear property line of parcel 036-064-015, (1840 North Parkway);

Then go due west following the rear property lines of parcels which front on the north side of North Parkway to the point of intersection with the centerline of Stonewall Street; thence go due south along the centerline of Stonewall Street to the point of intersection with the south line of the North Parkway access road going to the south; then go generally westward along the south line of the access road right of way to a point of intersection with the centerline of Watkins Street;

//

0008200000 000197

Then go south along the east line of Watkins Street to a point parallel with the south property line of parcel number 020-031-001 (1401 North Parkway); then go east to the rear (west) property line of parcel number 020-031-005 (499 Garland Street); then go south along the rear property lines of those parcels which front on the west side of Garland Street, to the point of intersection with the centerline of Overton Park Avenue;

Then go west along the centerline of Overton Park Avenue to a point parallel with the west property line of parcel 020-021-007, (345 N. Watkins Street), which lies south of Overton Park Avenue and which is on the west side of Watkins Street; then go straight due south to meet the west property lines of parcels lying on the west side of Watkins Street, beginning with parcel number 020-021-007, following these to the point of intersection with the south property line of parcel number 020-026-013 (203 N. Watkins Street) which fronts on the west side of Watkins Street;

Then go due east along the rear (north) property lines of parcels which front on the north side of Poplar Avenue to the intersection with the centerline of Garland Street; then go due south, across Poplar Avenue and along the west property line of parcel number 017-019-003 (1429 Poplar Avenue), which lies on the south side of Poplar Avenue; then turn east following the rear (south) property lines of parcels which front on the south side of Poplar Avenue to the point of intersection with the centerline of North McNeil Street;

Then go south on the centerline of North McNeil Street to a point parallel to the rear property line of parcel number 017-031-001 (1483 Court Avenue); thence go due east along the rear property lines of properties which front on the south side of Court Avenue to the intersection with the western edge of Avalon Street; then go due north along the western edge of Avalon Street (generally the rear property lines of parcels which front on the eastern side of Willett Street) to the point of intersection with the north property line of parcel number 017-035-002 (168 North Willett Street);

Then go west along the south property line of parcel number 017-035-002 to the centerline of North Willett Street; then go north to the centerline of Poplar Avenue; then go east along the centerline of Poplar Avenue, except to include in their entirety the following parcels which lie to the south of Poplar Avenue and to the east of North Willett Street:

To be included:

1. 017-043-003 (1705 Poplar Avenue) (Circuit Playhouse)
2. 017-044-002 (1751 Poplar Avenue)
3. 017-049-001 (1855 Poplar Avenue)
4. 017-049-002 (1861 Poplar Avenue)
5. 017-049-003 (1865 Poplar Avenue)
6. 017-049-004 (1875 Poplar Avenue)
7. 017-049-005 (1879 Poplar Avenue)
8. 017-050-001 (1899 Poplar Avenue)

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0008200007 000198

All other parcels east of Willett Street and south of Poplar Avenue are to be excluded from the boundaries of the district described here, and in addition the following parcels which lie on the north side of Poplar Avenue and North McLean Boulevard are excluded:

To be excluded:

1. 202-076-031 (1836 Poplar Avenue)
2. 202-076-032
3. 202-076-033
4. 020-076-032 (1864-50 Poplar Avenue)

With the above listed inclusions and exclusions otherwise follow the centerline of Poplar Avenue back to the intersection of the point parallel to the eastern line of Kenilworth Street, which is the point of beginning.

SECTION 2. BE IT FURTHER ORDAINED That the Director of the Office of Planning and Development be, and he is hereby directed to make the necessary changes in the Official Use District Maps to conform to the changes herein made; that all official maps and records of the Memphis and Shelby County Land Use Control Board and the City of Memphis be, and they hereby are, amended and changed so as to show the aforementioned amendment of the said Zoning Ordinance.

SECTION 3. BE IT FURTHER ORDAINED That this ordinance take effect from and after the date it shall have been passed by the Council, signed by the Chairman of the Council, certified and delivered to the Office of the Mayor in writing by the comptroller, and become effective as otherwise provided by law.

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THE FOREGOING ORDINANCE

* 3929 PASSED

1st Reading 1/9/90

2nd Reading 1/16/90

3rd Reading 1/23/90

Approved [Signature]
Chairman of Council

Date Signed: 1/30/90

APPROVED:

[Signature]
Mayor, City of Memphis

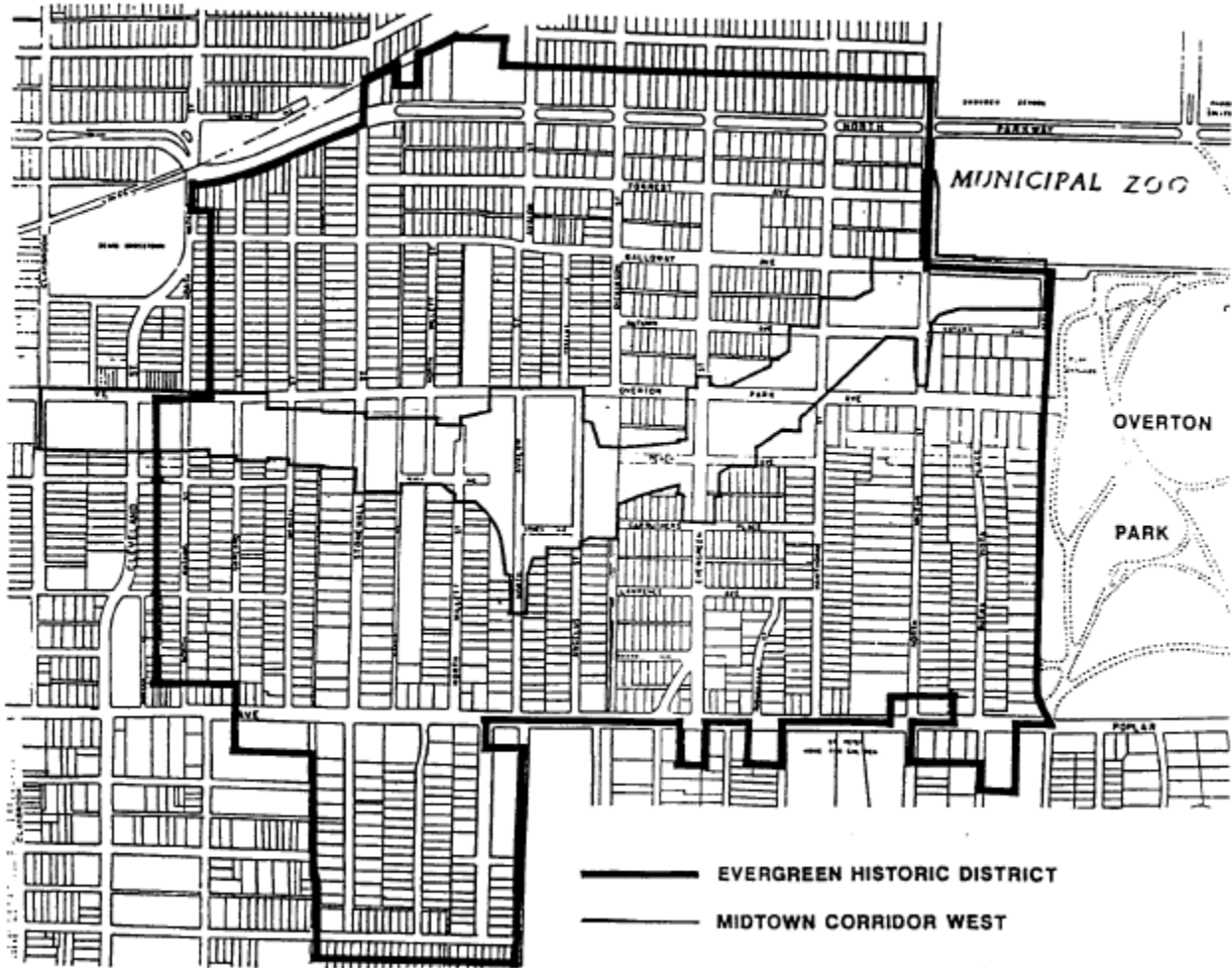
Date Signed: 2/9/90

I hereby certify that the foregoing is a true copy, and said document was adopted by the Council of the City of Memphis as above indicated and approved by the Mayor.

[Signature]

11

EVERGREEN HISTORIC DISTRICT



BOA 2020-026 CITY NOTICE OF DISPOSITION

APPROVED



Memphis and Shelby County
Office of Planning and Development

CITY HALL - 125 N. MAIN STREET, SUITE 468 - MEMPHIS, TENNESSEE 38103

BOARD OF ADJUSTMENT NOTICE OF DISPOSITION

TO: Applicant
Memphis Zoo

DATE: April 23, 2020
DOCKET: BOA 20-26
1914 Poplar

Sent via electronic mail to: mdickerson@memphiszoo.org

On April 22, 2020, the Memphis and Shelby County Board of Adjustment *approved* your application requesting variance from Sub-Section 4.9.8A of the Memphis and Shelby County Unified Development Code to allow an off-premise sign on a lot with another principal use and to be located farther than 300 feet to an U.S. Interstate Highway, subject to the following condition:

1. The sign shall be setback 14ft. from Kenilworth and 7ft. from Poplar.
2. The sign area shall not exceed +/-129 sf. in size.
3. Any change or deviation from the current size or setback of the existing sign, upon the determination of the Planning Director, shall be submitted to the Board of Adjustment for review and approval or administrative review and approval by the Office of Planning and Development.

All appeals and applications granted are expressly conditioned upon the applicant obtaining the permit requested or other order within two years from the date of the decision of the Board of Adjustment, unless the Board explicitly provided a different time frame in its approval.

Respectfully,

Somer Smith, AICP
Municipal Planner
Land Use Control Section

Cc: Rick Meister – Office of Construction Code Enforcement
Felecia Campbell – Office of Construction Code Enforcement
Chris Simmons – Office of Construction Code Enforcement
Burk Renner – Office of Planning and Development
Memphis Zoo – Applicant
Marlon Dickerson – Representative
File

Encl: Sign Photos and Setbacks

SIGN PHOTOS



SIGN SETBACKS



LETTERS RECEIVED

One letter of support and no letters of opposition were received at the time of completion of this report and have subsequently been attached.

Letter of Support



Planning Committee: Jeremy Williams, President, John (Don) Jones, Chairman, Buddy Fey, Turner Foster, Sam Goff, Marion Jones, Ann Mulhearn, Cannon Parkerson, John Pruett, Niel Prosser, Sarah Prosser, Michael Seeker, Phylis Weaver

TO: Memphis and Shelby County Land Use Control Board

RE: P.D. 2022-009 AKA The Parkview

1. While we do have some concerns which is expressed below, The Board of EHDA does want to express our sincere appreciation to the applicant and his development team (The Reaves Firm, Design Shop) for their inclusive approach which included meetings with our board and the neighbors of Buena Vista and Kenilworth prior to the filing of the application in addition to the required Neighborhood Meeting.

2. The thorniest issue is parking and we do believe that it will continue to be an issue moving forward, but we believe all that participated in the review meetings recognize that while there will be some inconveniences, getting this Landmark property back into full and successful use will benefit all.

3. Reutilization of the property: Moving from an age restricted tenant base with a stated occupancy rate of 60 percent to a market rate, non-age restricted clientele at maximum capacity will dramatically change the traffic pattern in this immediate area, not only with respect to the parking (which will have to rely to some degree on the availability of on-street parking) but also the flow of traffic in and out of the parking lot. The current curb cut is close to the intersection of Poplar and Tucker. Left hand turns in and out of this lot plus left hand turns at the intersection could be problematic. Add to this, the newly constructed Poplar Lofts Apartments at the southeast corner of Poplar and Tucker, aprox 110 units, and its movements thru this intersection. Add further, that under the review of the Poplar Lofts, efforts were made to create a Pedestrian Plaza at this intersection in order to create a queuing area for Pedestrians moving northward toward their destination of Overton Park. And finally, add both Zoo events (Zoo Boo, Zoo Lights) and Overton Park events such as the Shell, and you have an intersection with lots of activity throughout the day and throughout the year.

We respectfully recommend/suggest – that a Traffic Study be conducted to assess all of these movements to see if any changes are needed to the signalization at this intersection, any changes that might be needed to the left turn lanes, or even the possibility of moving the curb cut.

4. Landscaping – Please make every effort to use Native Species whenever and wherever possible.

5. Pool – This pool is located at the northwest corner of the site and within close proximity of an existing residential structure on Buena Vista. We implore the property owner to use Best Management Practices with respect to this amenity to limit the trespass of light onto the adjoining property and limit the noise of voices, music and water related activities after reasonable hours thru the week and weekends.

6. The applicant and the design team have done a good job at redesigning the surface parking to maximize it while still incorporating some landscaping which will add some much needed shade. But unfortunately, there will be a need for some of the parking to seek locations within the neighborhood. We respectfully ask for the applicant's help to send the message to tenant and guest alike, while these are public streets, their primary goal is to provide access to and from single family residential homes (in an historic neighborhood). Please drive thru here with courtesy and caution so that the speed, the volume of music, human voices and the slamming of doors is kept to a minimum.



MEMPHIS AND SHELBY COUNTY

Record Summary for Planned Development

Record Detail Information

Record Type: **Planned Development**

Record Status: **Assignment**

Opened Date: **April 7, 2022**

Record Number: **PD 2022-009**

Expiration Date:

Record Name: **Parkview Apartments**

Description of Work: On behalf of SB Memphis Parkview LLC and Parkview Equity Fund LLC, current owners of the Parkview Senior Living Facility, we are pleased to submit the attached planned development application for the Parkview facility on Poplar Avenue adjacent to Overton Park. The purpose of the application is to establish a new planned development that will convert the current adult independent living use to multi-family apartments and establish site specific criteria for the entire development.

Parent Record Number:

Address: 1914 POPLAR AVE, MEMPHIS 38104

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	SB MEMPHIS PARKVIEW LLC (49.67%) AND	0 PO BOX 1651, RANCHO SANTA FE, CA 92067	(858) 756-5754

Parcel Information

Parcel No:
020078 00023C

Contact Information

Name	Organization Name	Contact Type	Phone
Tim Williams	Forge Partners	Applicant	(858) 756-5754

Suffix:

Address

0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067
0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067

Mike Davis		Architect / Engineer / Surveyor	(901) 761-2016
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Address

Kay Maynard		Architect / Engineer / Surveyor	(901) 581-4835
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Address

6800 Poplar Ave. Suite 101

Christine Donhardt		Architect / Engineer / Surveyor	(901) 761-2016
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Address

Tim Williams	Forge Partners	Property Owner of Record	(858) 756-5754
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Address

0 PO BOX 1651, RANCHO SANTA FE, CA, RANCHO SANTA FE, CA 92067

Mike Davis		Representative	(901) 761-2016
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Address

Gil Uhlhorn	Bass, Berry & Sims PLC	Representative	(901) 543-5943
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Address

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed	Unit	Fee Code
1373860	Credit Card Use Fee (.026 x fee)	1	39.00	INVOICED	0.00	04/07/2022		PLNGPUD08
1373860	Planned Development - 5 acres or less	1	1,500.00	INVOICED	0.00	04/07/2022	Acres	PLNGPUD01

Total Fee Invoiced: \$1,539.00

Total Balance: \$0.00

Payment Information

Payment Amount	Method of Payment
\$1,539.00	Credit Card

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner	Brett Ragsdale
Date of Meeting	03/18/2022

GENERAL PROJECT INFORMATION

Planned Development Type	New Planned Development (PD)
Previous Docket / Case Number	-
Medical Overlay / Uptown	No
If this development is located in unincorporated Shelby County, is the tract at least three acres? (Note a tract of less than three acres is not eligible for a planned development in unincorporated Shelby County)	N/A
Is this application in response to a citation, stop work order, or zoning letter	No
If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information	-

APPROVAL CRITERIA

UDC Sub-Section 9.6.9A

Proposed improvements to the Parkview will visually enhance the adjacent neighborhood through cosmetic repair of the existing building, new lighting, new parking, new buffer walls and heavy landscaping. Vehicular movement to and from the property will use existing curb cuts and will be improved through a carefully planned circulation pattern. All traffic movements will be directed to Poplar Avenue, rather than Buena Vista. The proposed planned development will have no adverse effect on public utilities.

UDC Sub-Section 9.6.9B

The project will operate as an apartment complex rather than the current restricted 55+ senior living facility, but otherwise will have no significant effect on adjacent properties. The proposed use is compatible with the mixed-use nature of the area. Several similar multi-family properties are nearby, including the recently constructed Arts Loft development across Poplar Ave.

UDC Sub-Section 9.6.9C

The Parkview is an existing facility with access to all public services.

UDC Sub-Section 9.6.9D

The historic nature of the Parkview will not be compromised. Attention will be paid to deferred maintenance of the building and proposed site improvements will make the development appear new again. A few significant trees will be removed along Buena Vista, but they will be replaced with extensive new landscaping.

UDC Sub-Section 9.6.9E

The project complies with local codes, with exception of parking, which, according to UDC requirements, is short by 25 spaces. Internal parking landscape islands vary slightly from UDC standards.

UDC Sub-Section 9.6.9F

Correct.

GENERAL PROVISIONS

UDC Sub-Section 4.10.3A

Correct. Cosmetic changes to the site will only enhance the surrounding neighborhood. The use change from adult independent living to market apartments is consistent with the mixed-use nature of midtown and the Poplar Corridor.

B) An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development

All utilities are existing on or near this property.

C) The location and arrangement of the structures, parking and loading areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for such facilities shall be landscaped or otherwise improved except where natural features are such as to justify preservation

The existing building will be preserved, with exception of a small insignificant single-story structure tacked on to the building years ago. The existing surface parking area will be reconstructed and equipped with security fencing, privacy walls and proper landscaping. New parking lot lighting will be directed away from neighboring properties. The dumpster location will be screened from surrounding properties.

D) Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest

Correct.

E) Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements

Understood. The apartment ownership will maintain all common open space.

F) Lots of record are created with the recording of a planned development final plan

Understood.

GIS INFORMATION

Central Business Improvement District

No

Case Layer

BOA1960-002-CI, BOA1966-107-CI, null, Z89-105

Class

R

Downtown Fire District

No

Historic District

Evergreen

Land Use

SINGLE-FAMILY

Municipality

MEMPHIS

Overlay/Special Purpose District

Midtown Overlay

Zoning

R-6

State Route

-

Lot

1-3 S P4

Subdivision

KENILWORTH TER SUBD

Planned Development District

-

Wellhead Protection Overlay District

-



April 7, 2022

Mr. Brett Ragsdale
Zoning Administrator
Division of Planning and Development
125 N. Main, Ste. 477
Memphis, TN 38103

RE: Parkview

Dear Brett,

On behalf of SB Memphis Parkview LLC and Parkview Equity Fund LLC, current owners of the Parkview Senior Living Facility, we are pleased to submit the attached planned development application for the Parkview facility on Poplar Avenue adjacent to Overton Park. The purpose of the application is to establish a new planned development that will convert the current adult independent living use to multi-family apartments and establish site specific criteria for the entire development. The 1.92-acre subject property is currently governed by a combination of three zoning designations: R-6, CMU-3 and RU-3.

Parkview opened as a luxury 10-story residential hotel on New Year's Eve in 1923. In 1964, the property was purchased by Presbyterian Services, Inc. and converted to adult independent living. The property has since been owned and operated by several reputable senior living organizations including Starling Senior Living and Brookdale Senior Living with only marginal success. In 2020, the applicant purchased the property and made significant capital investments, primarily on the interior of the building, in hopes of improving an inherited occupancy rate of 50%. Unfortunately, the occupancy rate remained unchanged as Parkview was unable to compete with newer suburban low-rise active adult communities with more amenities, expansive green space, modern floorplans, and easier access to medical facilities.

If approved, the attached application will allow conversion of Parkview to market-rate apartments and attract tenants more likely to engage in the diverse Midtown Memphis culture. The iconic exterior of the Parkview will be preserved with only minor cosmetic repair and treatment. Most notably, the exterior window air conditioning units will be replaced with an internal cooling system and the exterior windows will be replaced or repaired to meet modern standards.

As the Parkview was constructed as a hotel, many of the interior walls of the facility are structurally critical and thus impractical to relocate or remove. Therefore, the proposed unit mix is weighted toward 1-bedroom and studio floorplans with some two-bedroom units located primarily in the building corners. The total building unit count will be reduced from the current 136 to 126. The applicant plans to gut and upgrade each existing living space to meet current market standards. The revered original hotel lobby and other ornate lower floor spaces were updated recently by the applicant and will be repurposed as needed for future tenants.

In an effort to include the surrounding neighborhood in the conversion planning process, the Parkview design team, lead by designshop, pllc, (architects) and The Reaves Firm, Inc., (planners and engineers), met first with board members of the Evergreen Historic District and then later with a greater representation of the Evergreen District and ultimately with adjacent neighbors to discuss particular aspects of the project. Most of the dialogue centered around a proposed 4-story parking garage originally considered necessary to adequately park the proposed use conversion. Several architectural versions of the garage were presented at each meeting and guests were encouraged to voice opinions and offer suggestions in response to the presentation. Generally, the garage concept was met with skepticism by a majority of the attendees who listed building height, noise, sun obstruction, and neighborhood architectural contextual issues as negative aspects of the plan.

As a result of the meetings and in response to neighborhood concerns, the Parkview design team abandoned the garage theory in favor of the attached site plan that provides a low impact surface parking concept sufficient to accommodate the proposed use change. The plan uses a combination of on-site parking and adjacent on-street parking to achieve an overall parking ratio of 1.15 space/unit which compares favorably with the 1 space/unit ratio granted the neighboring Art Lofts apartment project in 2019.

The proposed on-site lot will be surrounded on the Poplar and Buena Vista Street frontages and on the northern property line by an 8' opaque masonry fence to shield neighborhood views of the parked cars. The wall will be heavily landscaped with a mixture of shade and evergreen trees, flowering shrubs, and flowering perennials to blend with the adjacent neighborhood. Lighting for the proposed lot will use cut off fixtures to direct light away from surrounding homes. The lot will be gated and accessed only by key punch or card readers for maximum security.

Without exception, every person polled during our recent due diligence and planning exercise views Parkview as a critical Memphis landmark. The property anchors arguably the most important public space in Memphis and its visual presence is enjoyed by thousands on a daily basis. Approval of the proposed planned development will lay the groundwork for revitalization of Parkview. We would appreciate a staff recommendation for approval. Please do not hesitate to contact our design team if there are questions or if you need additional information.

Sincerely,



Mike Davis, R.L.A.
Principal

**MEMPHIS AND
SHELBY COUNTY**  **DIVISION OF PLANNING
AND DEVELOPMENT**


City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

Property Owner's Affidavit

In the event the applicant is not the Owner, the following shall be signed and acknowledged by the owner.

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, , *for SB Memphis Parkview, LLL* state that I have read the definition of "Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 1914 Poplar Ave, Memphis, TN 38104 and further identified by Assessor's Parcel Number 020078 00023C, for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this _____ day of _____ in the year of 20_____.

Signature of Notary Public

My Commission Expires

CA Jurat attached

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

Subscribed and sworn to (or affirmed) before me on this 07
day of April, 2022, by Tim Williams

proved to me on the basis of satisfactory evidence to be the
person(s) who appeared before me.



(Seal)

Signature Heidi Cortez

**MEMPHIS AND
SHELBY COUNTY**  **DIVISION OF PLANNING
AND DEVELOPMENT**

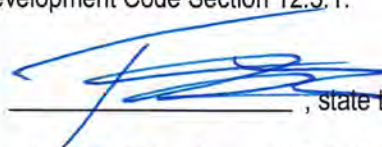
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I,  *For Parkview Equity Fund, LLC*, state that I have read the definition of "Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 1914 Poplar Ave, Memphis, TN 38104 and further identified by Assessor's Parcel Number 020078 00023C, for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this _____ day of _____ in the year of 20_____.

Signature of Notary Public

My Commission Expires

CA Surety attached

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of San Diego

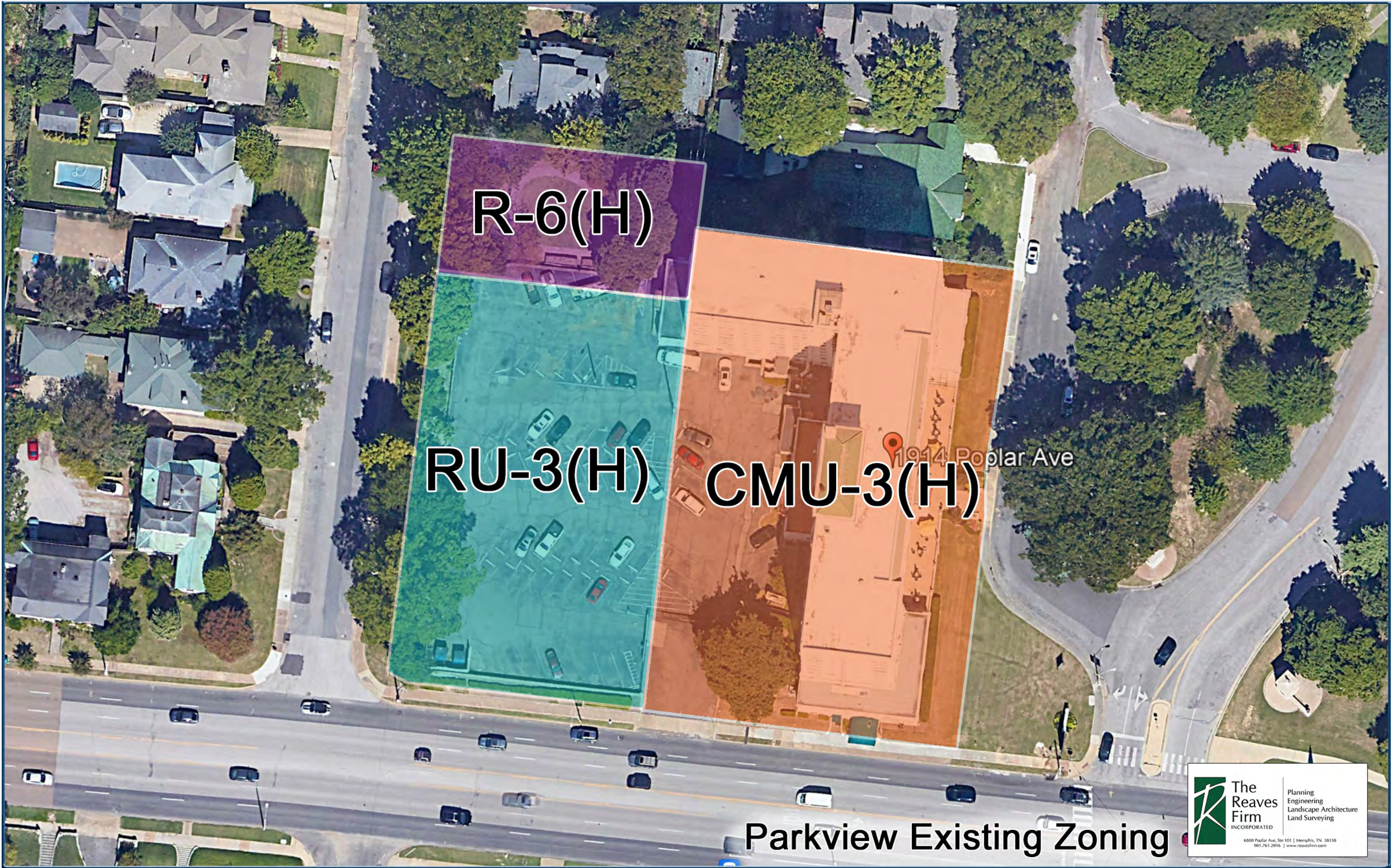
Subscribed and sworn to (or affirmed) before me on this 07
day of April, 2022, by Tim Williams

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature Heidi Cortez




R-6(H)

RU-3(H)

CMU-3(H)

1914 Poplar Ave

Parkview Existing Zoning

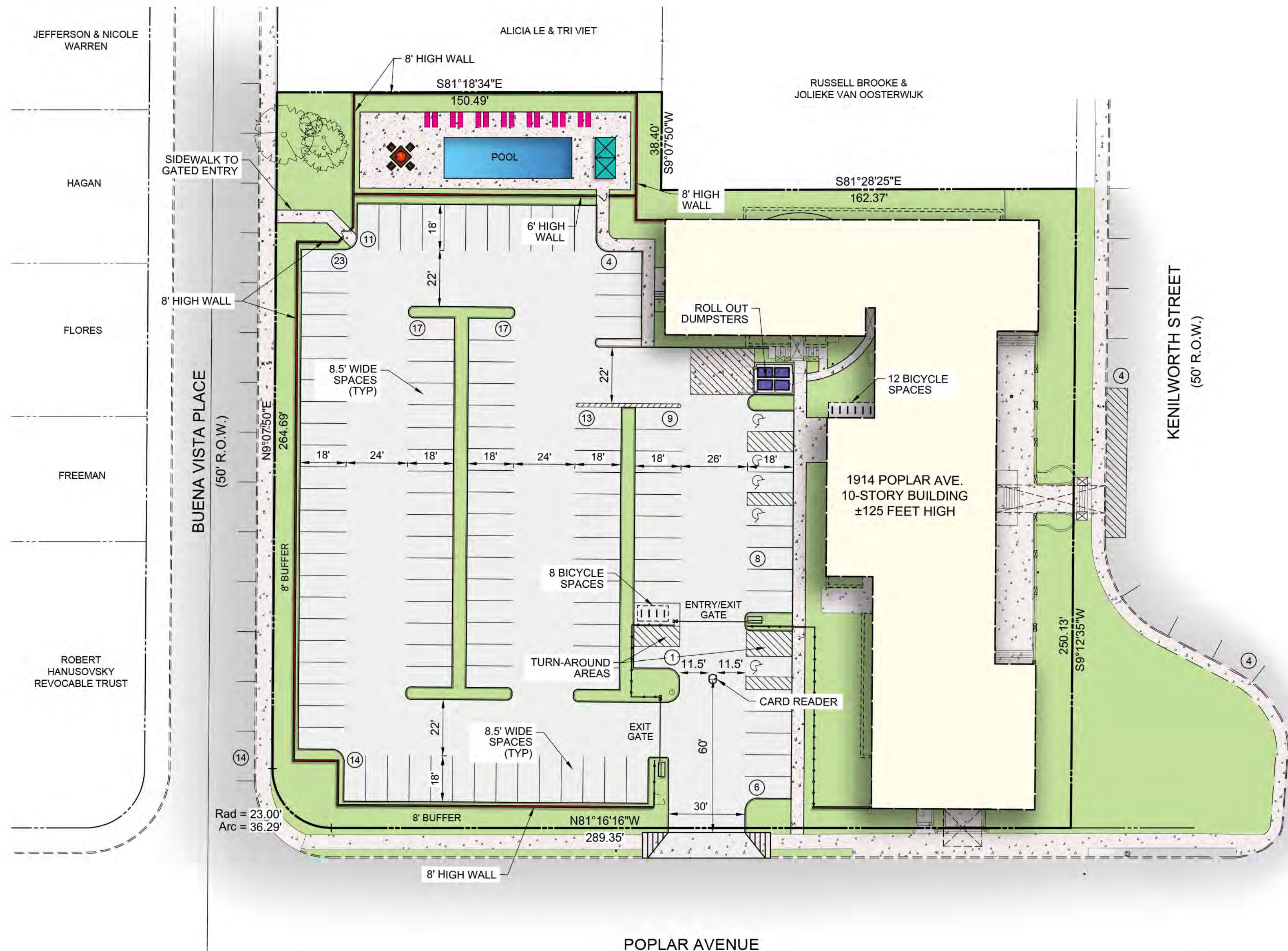


The Reaves Firm
INCORPORATED

Planning
Engineering
Landscape Architecture
Land Surveying

6800 Poplar Ave, Ste 101 | Memphis, TN 38138
901.761.2016 | www.reavesfirm.com

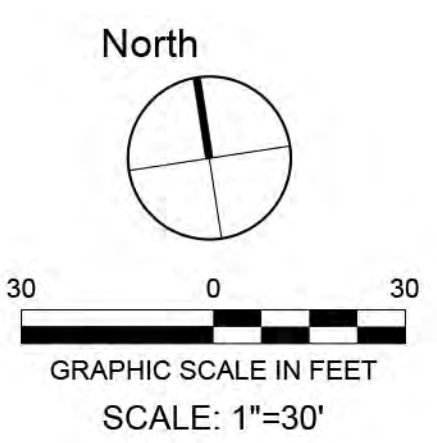
kay 20x24 z:\2021\21-0113 1914 Poplar Ave - Parkview\01 PD\Site Plan.dwg Apr 07, 2022 - 10:14am



VICINITY MAP
NTS
N

SITE DATA

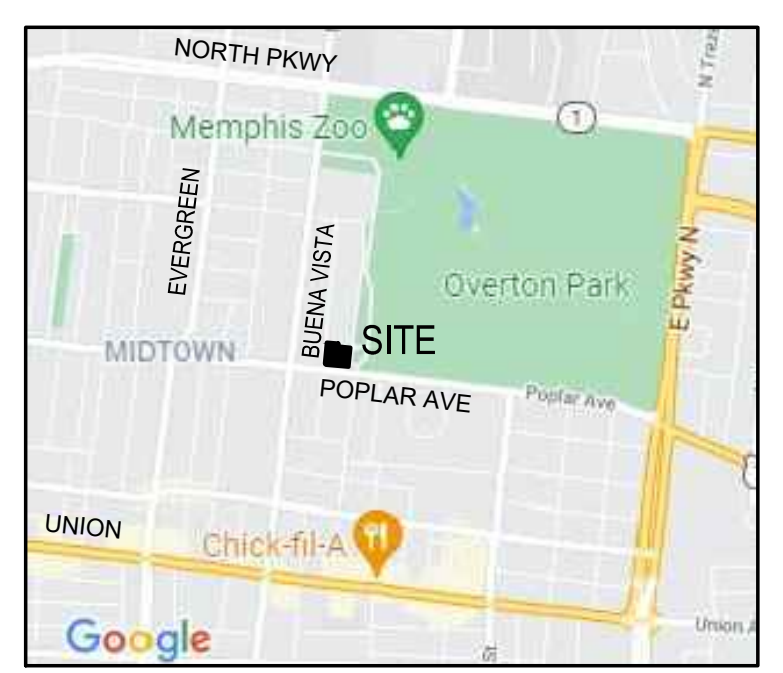
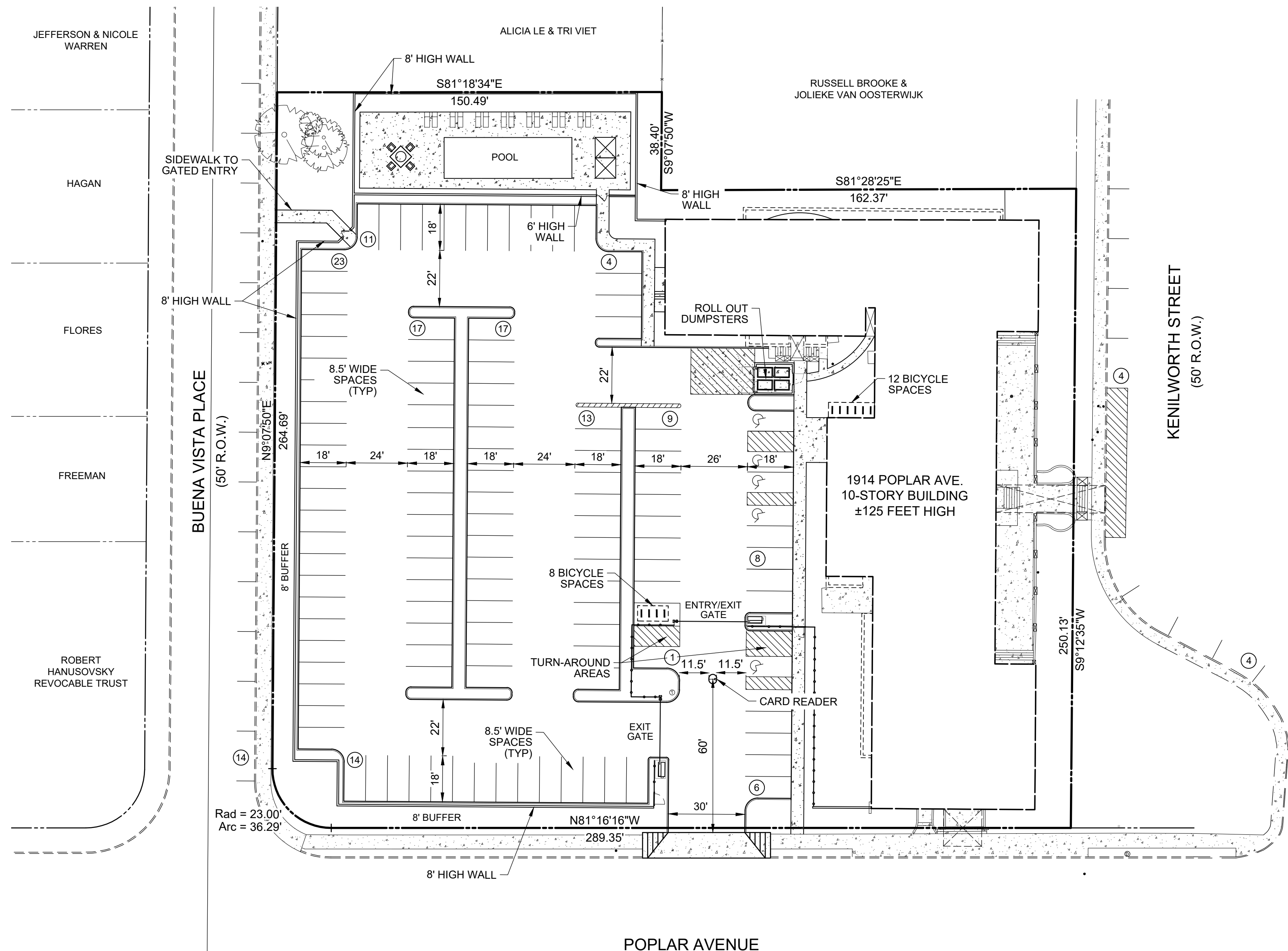
GROSS LOT AREA	83,732 S.F.
USE	APARTMENT
BUILDING AREA	± 18,127 S.F.
BUILDING HEIGHT	± 125 FEET
DWELLING UNITS	
STUDIO	27 UNITS
1 BEDROOM	81 UNITS
2 BEDROOM	18 UNITS
TOTAL	126 UNITS
PARKING REQUIRED	
STUDIO (1 PER UNIT)	27 SPACES
1 & 2 BR (1.5 PER UNIT)	148.5 SPACES
GUEST (0.15 PER UNIT)	18.9 SPACES
TOTAL	195 SPACES
PARKING REDUCTIONS	
PUBLIC TRANSIT (10%)	20 SPACES
1 PER 5 EXTRA BICYCLE SPACES	5 SPACES
TOTAL	25 SPACES
PARKING REQUIRED AFTER REDUCTIONS	170 SPACES
PARKING PROVIDED	
ON-SITE (SECURE)	116 SPACES
ON-SITE (UNSECURE)	7 SPACES
ON-STREET	22 SPACES
TOTAL (INC. 5 HC)	145 SPACES
PARKING SHORTAGE: 25 SPACES	
BICYCLE PARKING (9 PROVIDED INSIDE THE BUILDING)	
PER UDC	4 SPACES
FOR REDUCTION CREDIT	25 SPACES
TOTAL	29 SPACES



The Reaves Firm
INCORPORATED
Engineering
Planning
Landscape Architecture
Land Surveying
6800 Poplar Avenue, Suite 101 Memphis, TN 38138
901.741.2016 Fax: 901.743.3847
www.ReavesFirm.com

SITE PLAN		
THE PARKVIEW PLANNED DEVELOPMENT		
CASE NUMBER: PD 22-?		
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 1	1.92 ACRES	PARCEL 020078 00023C
OWNER/DEVELOPER: SB MEMPHIS PARKVIEW LLC and PARKVIEW EQUITY FUND LLC		ENGINEER: THE REAVES FIRM
APRIL, 2022	SCALE: 1" = 30'	SHEET 1 OF 1

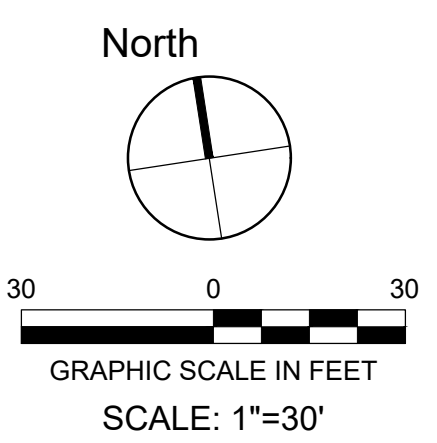
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VICINITY MAP
NTS
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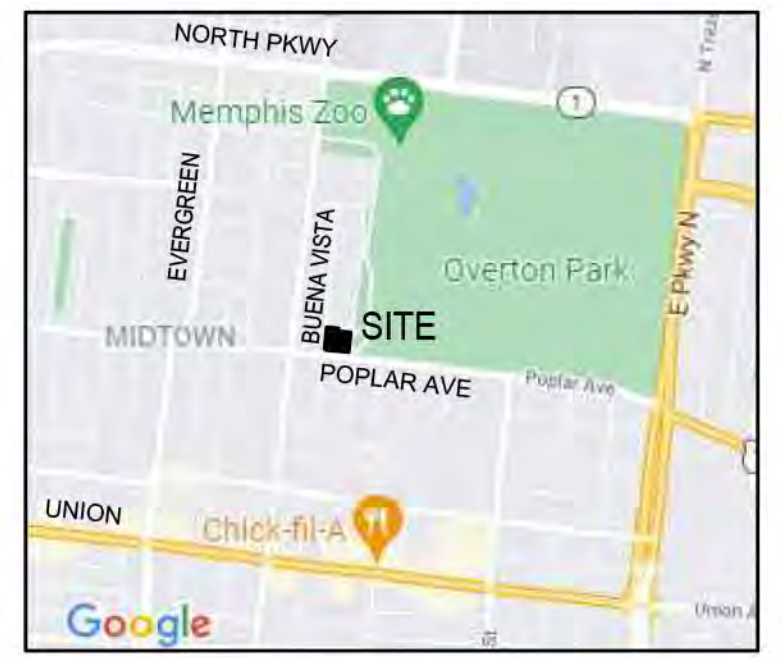
SITE DATA

GROSS LOT AREA	83,732 S.F.
USE	APARTMENT
BUILDING AREA	± 18,127 S.F.
BUILDING HEIGHT	± 125 FEET
DWELLING UNITS	
STUDIO	27 UNITS
1 BEDROOM	81 UNITS
2 BEDROOM	18 UNITS
TOTAL	126 UNITS
PARKING REQUIRED	
STUDIO (1 PER UNIT)	27 SPACES
1 & 2 BR (1.5 PER UNIT)	148.5 SPACES
GUEST (0.15 PER UNIT)	18.9 SPACES
TOTAL	195 SPACES
PARKING REDUCTIONS	
PUBLIC TRANSIT (10%)	20 SPACES
1 PER 5 EXTRA BICYCLE SPACES	5 SPACES
TOTAL	25 SPACES
PARKING REQUIRED AFTER REDUCTIONS	170 SPACES
PARKING PROVIDED	
ON-SITE (SECURE)	116 SPACES
ON-SITE (UNSECURE)	7 SPACES
ON-STREET	22 SPACES
TOTAL (INC. 5 HC)	145 SPACES
PARKING SHORTAGE:	25 SPACES
BICYCLE PARKING (9 PROVIDED INSIDE THE BUILDING)	
PER UDC	4 SPACES
FOR REDUCTION CREDIT	25 SPACES
TOTAL	29 SPACES

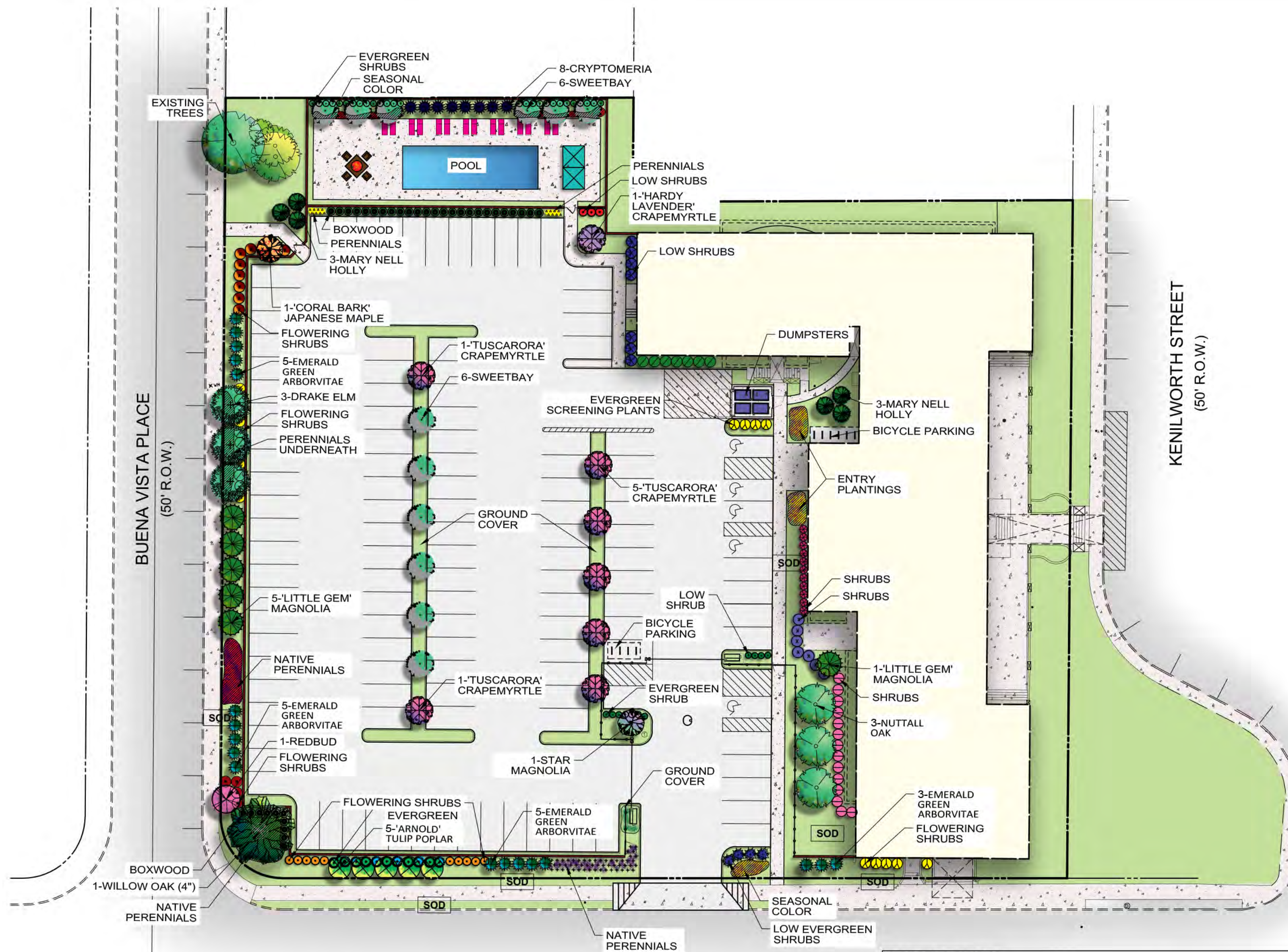


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JOB # 21-0113

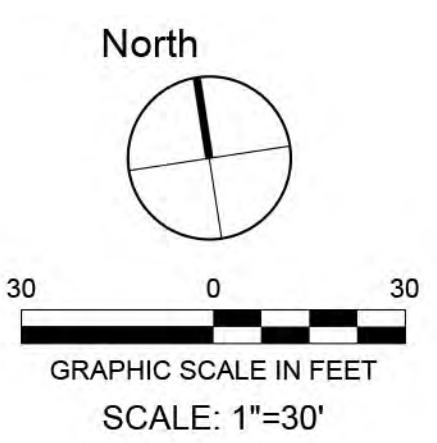
SITE PLAN		
THE PARKVIEW PLANNED DEVELOPMENT		
CASE NUMBER: PD 22-?		
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 1	1.92 ACRES	PARCEL 020078 00023C
OWNER/DEVELOPER: SB MEMPHIS PARKVIEW LLC and PARKVIEW EQUITY FUND LLC		ENGINEER: THE REAVES FIRM
APRIL, 2022	SCALE: 1" = 30'	SHEET 1 OF 1



VICINITY MAP
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PLANT MATERIALS LIST						
Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
ACER PALMATUM 'SANGO-KAKU'	'CORAL BARK' JAP. MAPLE		5-6'		2.5-3'	
CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD			2"		WELL-BRNCHD.; STRAIGHT
CRYPTOMERIA JAPONICA	JAPANESE CRYPTOMERIA		7-8'		3-4'	FULL TO GND.; UNIFORM SHAPE
ILEX OPACA 'MARY NELL'	'MARY NELL' HOLLY		8-10'		2.5-3'	FULL TO GND.; UNIFORM SHAPE
LAGERSTROEMIA INDICA 'HARDY LAVENDER'	HARDY LAVENDER' CRAPEMYRTLE		8-10'		4-5'	3-TR. MIN., WELL-BRNCHD.
LAGERSTROEMIA INDICA x FAURIEI 'TUSCARORA'	'TUSCARORA' CRAPEMYRTLE		8-10'		4-5'	3-TR. MIN., WELL-BRNCHD.
LIRIODENDRON TULIPIFERA 'ARNOLD'	'ARNOLD' TULIP POPLAR			2-3"		WELL-BRNCHD.; STRAIGHT
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM' MAGNOLIA		10-12'		4-6'	FULL TO GND.; WELL-BRNCHD
MAGNOLIA STELLATA 'DR MERRILL'	STAR MAGNOLIA		4-5'	1.5"	2.5-3'	WELL-BRNCHD.; FULL
MAGNOLIA VIRGINIANA	SWEETBAY		7-8'		3.5-4'	3-TR. MIN., WELL-BRNCHD.; FULL
QUERCUS NUTTALLI	NUTTALL OAK			3-3.5"		WELL-BRNCHD.; STRAIGHT
QUERCUS PHELLOS	WILLOW OAK		10-12'	3"		WELL-BRNCHD.; STRAIGHT
THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE		5-6'		2-3'	FULL TO GND.; UNIFORM SHAPE
ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM			3"		WELL-BRNCHD.; STRAIGHT
OTHER						
CYNODON DACTYLON 'TIFWAY 419'	'TIFWAY' BERMUDA SOD					
SEASONAL COLOR						1st INSTALL. BY LS CONTRACTOR; SUBSEQUENT REPLACEMENTS UNDER MAINTENANCE AGREEMENT



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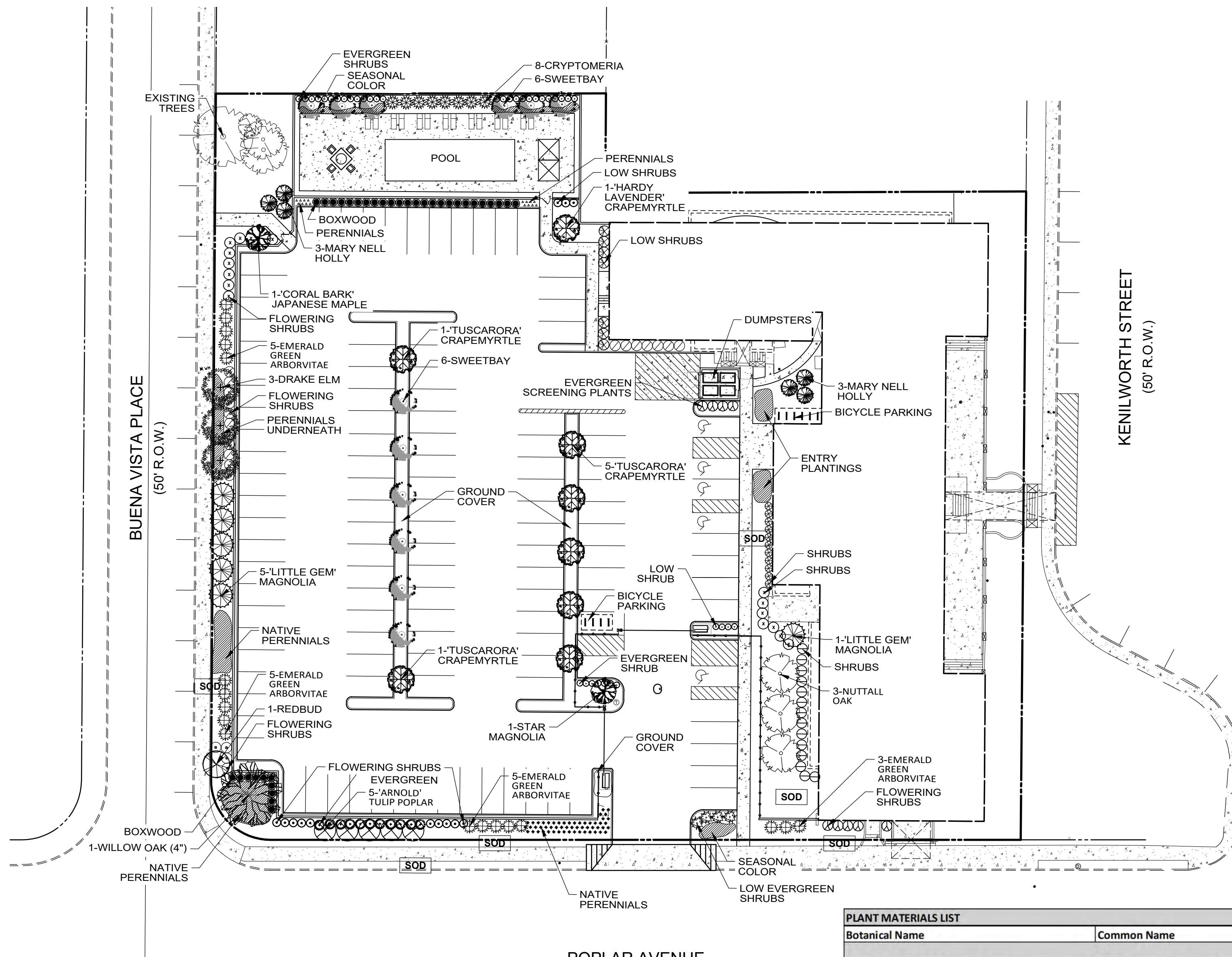
JOB # 21-0113

LANDSCAPE PLAN		
THE PARKVIEW PLANNED DEVELOPMENT		
CASE NUMBER: PD 22-?		
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 1	1.92 ACRES	PARCEL 020078 00023C
OWNER/DEVELOPER: SB MEMPHIS PARKVIEW LLC and PARKVIEW EQUITY FUND LLC		ENGINEER: THE REAVES FIRM
APRIL, 2022	SCALE: 1" = 30'	SHEET 1 OF 1

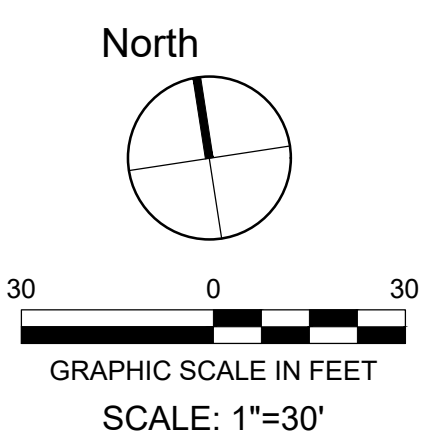
Christine 20x24 Z:\2021\21-0113 1914 Poplar Ave - Parkview 01 PD Landscape Plan.dwg Apr 07, 2022 - 8:24am



VICINITY MAP
NTS



PLANT MATERIALS LIST						
Botanical Name	Common Name	Quantity	Min. Height	Min. Caliper	Spread	Notes
TREES						
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LAGERSTROEMIA INDICA x FAURIEI 'TUSCARORA'	'TUSCARORA' CRAPEMYRTLE		8-10'		4-5'	3-TR. MIN., WELL-BRNCHD.
LIRIODENDRON TULIPIFERA 'ARNOLD'	'ARNOLD' TULIP POPLAR			2-3"		WELL-BRNCHD.; STRAIGHT
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM' MAGNOLIA		10-12'		4-6'	FULL TO GND.; WELL-BRNCHD
MAGNOLIA STELLATA 'DR MERRILL'	STAR MAGNOLIA		4-5'	1.5"	2.5-3'	WELL-BRNCHD.; FULL
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QUERCUS NUTTALLI	NUTTALL OAK				3-3.5"	WELL-BRNCHD.; STRAIGHT
QUERCUS PHELLOS	WILLOW OAK		10-12'	3"		WELL-BRNCHD.; STRAIGHT
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ULMUS PARVIFOLIA 'DRAKE'	DRAKE ELM			3"		WELL-BRNCHD.; STRAIGHT
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LANDSCAPE PLAN
THE PARKVIEW PLANNED DEVELOPMENT

CASE NUMBER: PD 22-?
MEMPHIS, TENNESSEE

NUMBER OF LOTS: 1	1.92 ACRES	PARCEL 020078 00023C
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OWNER/DEVELOPER: SB MEMPHIS PARKVIEW LLC and PARKVIEW EQUITY FUND LLC
ENGINEER: THE REAVES FIRM

APRIL, 2022
SCALE: 1" = 30'
SHEET 1 OF 1

Christine 20x24 Z:\2021\21-0113 1914 Poplar Ave - Parkview 01 PD Landscape Plan.dwg Apr 07, 2022 - 8:24am

NOTES:

- Survey prepared for Bass, Berry & Sims, PLC.
- Bearings are relative to NAD '83.
- This survey was prepared from information contained in Commitment No. NCS-1003919-NAS, Effective Date: June 8, 2020 at 8:00 AM by First American Title Insurance Company.
- All deed book references shown hereon are recorded in the Register's Office of Shelby County, Tennessee.
- This property is not located in a Special Flood Hazard Area per Flood Insurance Rate Map, Map No. 47157C Q290 F, Community Panel No. 470177 0290 F, Effective Date: September 28, 2007.
- Structures visible on the date of this survey are shown hereon.
- All visible utility structures located on this property of which we have knowledge are shown hereon.
- Underground pipes were assumed to be straight from structure to structure.
- There may be non-visible underground utilities crossing or serving this property of which we have no knowledge.
- There may be underground or non-visible utilities, drain and/or sewer lines across this property that are not shown. The proper utility authorities should be contacted for more specific locations and information on underground utilities.
- Subsurface and environmental conditions were not examined or considered as a part of this survey.
- Governmental jurisdictional areas, if any, which might impact on the use of the premises were not located. No liability is assumed by the undersigned for any loss resulting from the exercise of any governmental jurisdiction affecting the use of the premises.
- If this survey plat is also provided in electronic form, the electronic copy must be compared to the original hard copy issued at the survey date with its original seal to insure the accuracy of the information and to further insure that no changes, alterations or modifications have been made. No reliance should be made on a document transmitted by computer or other electronic means unless first compared to the original sealed document issued at the time of the survey.
- Survey is valid only if print has original seal of surveyor.
- There are a total of 67 painted parking spaces on this property. There are no visible handicap spaces.
- For the purpose of this survey, only visible, above ground utilities are shown. At the time of survey, there was no observed evidence of a recent underground utility delineation.
- At the time of this survey, there was no observed evidence of recent earth moving work, building construction or building additions.
- At the time of this survey, there was no observed evidence of recent street or sidewalk construction or repairs.
- To the best of our knowledge there are currently no proposed changes in street right-of-way lines.
- Milestone Land Surveying, Inc. maintains a professional liability policy in the amount of \$2,000,000.00 that will be in effect throughout the contract/project term. A certificate of insurance can be issued upon request.
- According to the U.S. Fish and Wildlife Service National Wetlands Inventory Website, No portion of the surveyed property lies within a wetland area. Certified wetland scientist should be contacted if further information or certification is required.

SCHEDULE B, PART II EXCEPTIONS:

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records. (not a survey matter)
- Any facts, rights, interest or claims that are not shown by the Public Records but that could be ascertained by an inspection of the land or that may be asserted by persons in possession of the land. (not a survey matter)
- Easements, liens or encumbrances or claims thereof, not shown by the Public Record. (none of which we are aware)
- Any encroachment, encumbrances, violations, variations, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land and not shown by the Public Records. (see encroachments listed hereon)
- Any claim to oil, gas, minerals, and all rights incident thereto, previously conveyed, transferred, leased or reserved. (not a survey matter)
- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. (not a survey matter)
- Any lien or right to a lien for services, labor, material or equipment, unless such lien is shown by the Public Records at Date of Policy and not otherwise excepted from coverage herein. (not a survey matter)
- No insurance is afforded as to the acreage or square footage contained in the Land. (not a survey matter)
- Taxes and assessments for the year 2020 for County of Shelby and 2021 for City of Memphis and subsequent years, not yet due and payable. (not a survey matter)
- All matters as shown on Plat(s) of record in in Plat Book 6, Page 77 and Plat Book 6, Page 96, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Easement Contract of record in Instrument W9 9822, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Easement Contract of record in Instrument W9 9823, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Easement Contract of record in Instrument W9 9824, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Easement Contract of record in Book 1620, Page 210, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Easement Contract of record in Chattel Book 148, Page 477, in the Register's Office of Shelby County, Tennessee. (shown hereon)
- Rights of parties in possession not shown by the Public Records. (not a survey matter)

APPARENT ENCROACHMENTS:

- Apparent encroachment of existing 10 story brick building onto 25' front setback lines of record in Plat Book 6, Page 77 along Poplar Avenue and Kenilworth Street, as shown hereon.
- Apparent encroachment of existing 10 story brick building onto utility easements of record in Chattel Book 148, Page 477 and in Book 1620, Page 210, as shown hereon.

ZONING INFORMATION:

This property is zoned CUJ-3(H), RU-3(H) and R-6(H) per a zoning report prepared by The Planning & Zoning Resource Company, dated July 9, 2020 with the following bulk requirements per said report.
 Front Setback - 2 feet (minimum) 86 feet (maximum)
 Side Setback - 10 feet
 Rear Setback - 10 feet
 Maximum Height - 10 stories

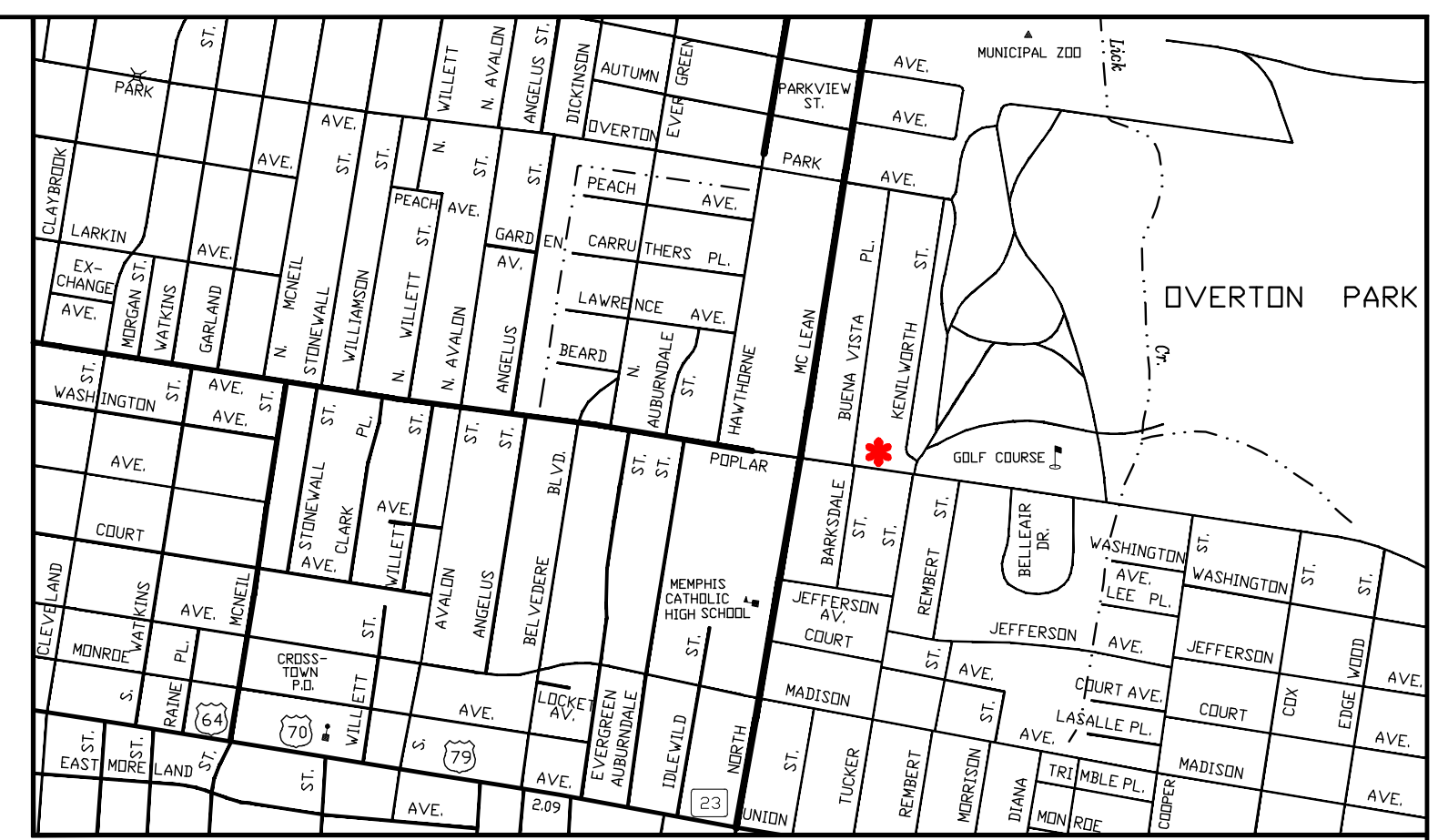
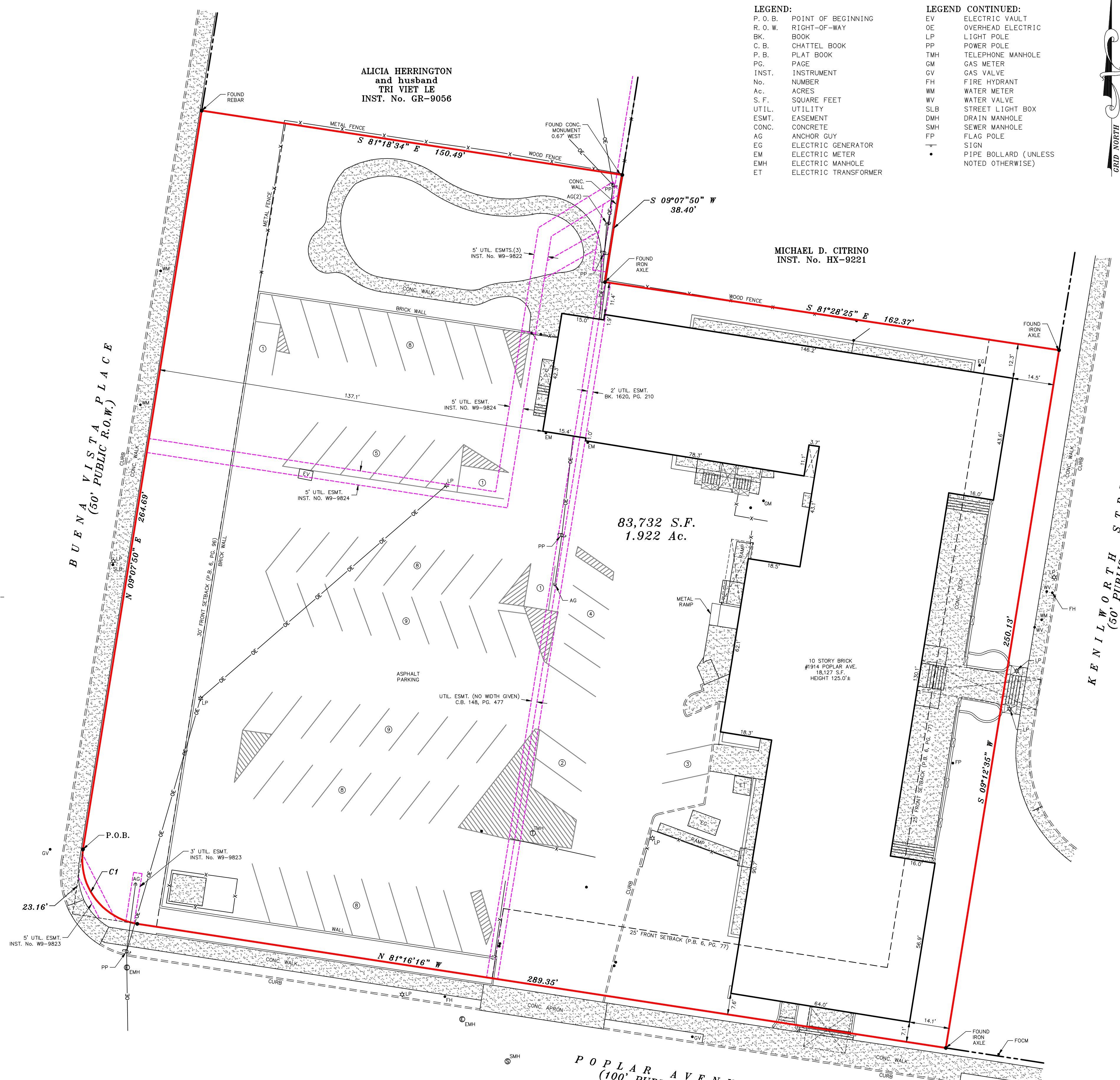
Required Parking:
 1 space per 4 beds
 149 beds / 4 = 38 spaces

Existing Parking:
 67 total spaces

NUMBER	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD DIRECTION
C1	23.00'	36.29'	90°24'06"	32.64'	N 36°04'13" W

- LEGEND:**
- P.O.B. POINT OF BEGINNING
 - R.O.W. RIGHT-OF-WAY
 - BK. BOOK
 - C.B. CHATTEL BOOK
 - P.B. PLAT BOOK
 - PG. PAGE
 - INST. INSTRUMENT
 - No. NUMBER
 - Ac. ACRES
 - S.F. SQUARE FEET
 - UTIL. UTILITY
 - ESMT. EASEMENT
 - CONC. CONCRETE
 - AG ANCHOR GUY
 - EG ELECTRIC GENERATOR
 - EM ELECTRIC METER
 - EMH ELECTRIC MANHOLE
 - ET ELECTRIC TRANSFORMER

- LEGEND CONTINUED:**
- EV ELECTRIC VAULT
 - OE OVERHEAD ELECTRIC
 - LP LIGHT POLE
 - PP POWER POLE
 - TMH TELEPHONE MANHOLE
 - GM GAS METER
 - GV GAS VALVE
 - FH FIRE HYDRANT
 - WM WATER METER
 - WV WATER VALVE
 - SLB STREET LIGHT BOX
 - DMH DRAIN MANHOLE
 - SMH SEWER MANHOLE
 - FP FLAG POLE
 - SI SIGN
 - PIPE BOLLARD (UNLESS NOTED OTHERWISE)



VICINITY MAP
 NOT TO SCALE
 SHELBY COUNTY, TENNESSEE

EXHIBIT A DESCRIPTION:
 The land referred to herein below is situated in the County of Shelby, State of Tennessee, and described as follows:
 LOTS 1, 2, 3 AND 4, BLOCK 2 OF THE BUENA VISTA TERRACE SUBDIVISION, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK 6, PAGE 96 AND LOTS 1, 2, 4 AND THE SOUTH 50 FEET OF LOT 3 OF THE KENILWORTH TERRACE SUBDIVISION AS SHOWN ON PLAT OF RECORD IN PLAT BOOK 6, PAGE 77 OF THE REGISTER'S OFFICE IN SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH RIGHT OF WAY (ROW) LINE OF POPLAR AVENUE (100 FOOT ROW), SAID POINT BEING THE TANGENT INTERSECTION OF THE NORTH LINE OF POPLAR AVENUE WITH THE WEST ROW LINE OF KENILWORTH STREET (50 FOOT ROW); THENCE WITH SAID NORTH LINE OF POPLAR AVENUE S 86 DEG. 58 MIN. 43 SEC. W. 289.06 FEET TO A POINT OF CURVATURE; THENCE IN A NORTHWESTERLY DIRECTION AND ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 23 FEET (CENTRAL ANGLE = 90 DEG. 35 MIN. 52 SEC., TANGENT = 23.24 FEET) AN ARC DISTANCE OF 36.37 FEET TO A POINT OF TANGENCY IN THE EAST ROW LINE OF BUENA VISTA PLACE (50 FOOT ROW); THENCE WITH SAID EAST ROW LINE N 2 DEG. 25 MIN. 26 SEC. W. 265.76 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 5 OF THE BUENA VISTA TERRACE SUBDIVISION; THENCE ALONG THE SOUTH LINE OF SAID LOT N 87 DEG. 11 MIN. 12 SEC. E. 150.55 FEET TO A POINT, SAID POINT BEING ON A LINE DIVIDING THE BUENA VISTA TERRACE SUBDIVISION AND THE KENILWORTH TERRACE SUBDIVISION; THENCE WITH SAID LINE S 2 DEG. 25 MIN. 26 SEC. E. 38.53 FEET TO A FOUND IRON PIN, SAID POINT BEING ON A LINE DIVIDING THE NORTH AND SOUTH 50 FEET OF LOT 3 OF THE KENILWORTH TERRACE SUBDIVISION; THENCE ALONG SAID LINE N 86 DEG. 56 MIN. 24 SEC. E. 182.42 FEET TO A FOUND IRON PIN, SAID POINT BEING IN THE WEST ROW LINE OF KENILWORTH STREET; THENCE WITH SAID WEST LINE S 2 DEG. 16 MIN. 15 SEC. E. 250.04 FEET TO THE POINT OF BEGINNING.

BEING THE SAME PROPERTY CONVEYED TO SSL PARKVIEW, LLC, A FLORIDA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED OF RECORD IN INSTRUMENT NO. 17014642, IN THE REGISTER'S OFFICE OF SHELBY COUNTY, TENNESSEE.

ALSO BEING DESCRIBED AS FOLLOWS:

SURVEYOR'S DESCRIPTION:
 Description of the SSL Parkview, LLC property recorded at Instrument No. 17014642 in Memphis, Shelby County, Tennessee:

Beginning at a point in the east line of Buena Vista Place (50' R.O.W.), said point being the north end of a curve having a radius of 23.00 feet located 23.16 feet north of the tangent intersection of the east line of said Buena Vista Place and the north line of Poplar Avenue (100' R.O.W.); thence north 09 degrees 07 minutes 50 seconds east with the east line of said Buena Vista Place, 264.69 feet to a found rebar in the south line of the Alicia Herrington and husband, Tri Viet Le property recorded at Instrument No. GR-9056; thence south 81 degrees 18 minutes 34 seconds east with the south line of said property recorded at Instrument No. GR-9056, passing a found concrete monument at 149.82 feet and on for a total distance of 150.49 feet to a point in the west line of the Michael D. Citrino property recorded at Instrument No. HX-9221; thence south 09 degrees 07 minutes 50 seconds west with the west line of said property recorded at Instrument No. HX-9221, 38.40 feet to a found iron axle; thence south 81 degrees 28 minutes 25 seconds east with the south line of said property recorded at Instrument No. HX-9221, 162.37 feet to a found iron axle in the west line of Kenilworth Street (50' R.O.W.); thence south 09 degrees 12 minutes 35 seconds west with the west line of said Kenilworth Street, 250.13 feet to a found iron axle in the north line of the aforesaid Poplar Avenue; thence north 81 degrees 16 minutes 18 seconds west with the north line of said Poplar Avenue, 289.35 feet to a point of curvature; thence in a northwesterly direction along a curve to the right having a radius of 23.00 feet, delta angle of 90 degrees 24 minutes 06 seconds, chord = north 36 degrees 04 minutes 13 seconds west - 32.64 feet, an arc length of 36.29 feet to the Point of Beginning and containing 83,732 square feet or 1.922 acres of land.

This being the same property described in Exhibit A of First American Title Insurance Company Commitment No. NCS-1003919-NAS, dated June 8, 2020.

CERTIFICATION:
 To Forge Partners, LLC; SB Memphis Parkview, LLC, a Delaware limited liability company; Parkview Equity Fund, LLC, a California limited liability company; Farmers and Merchants Bank of Long Beach; Bass, Berry & Sims, PLC; and First American Title Insurance Company:

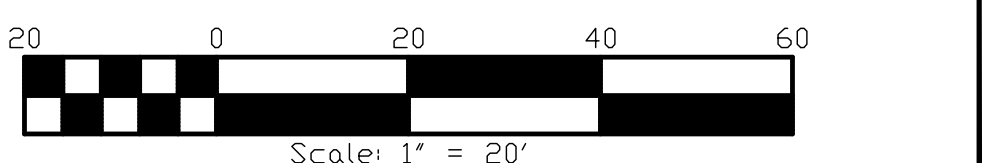
This is to certify that this map or plat and the survey on which it is based were made in accordance with 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 6(a), 7(c), 7(b), 7(c), 8, 9, 11, 13, 14, 16, 17, 18, 19 and 20 of Table A thereof. The field work was completed on March 12, 2020.

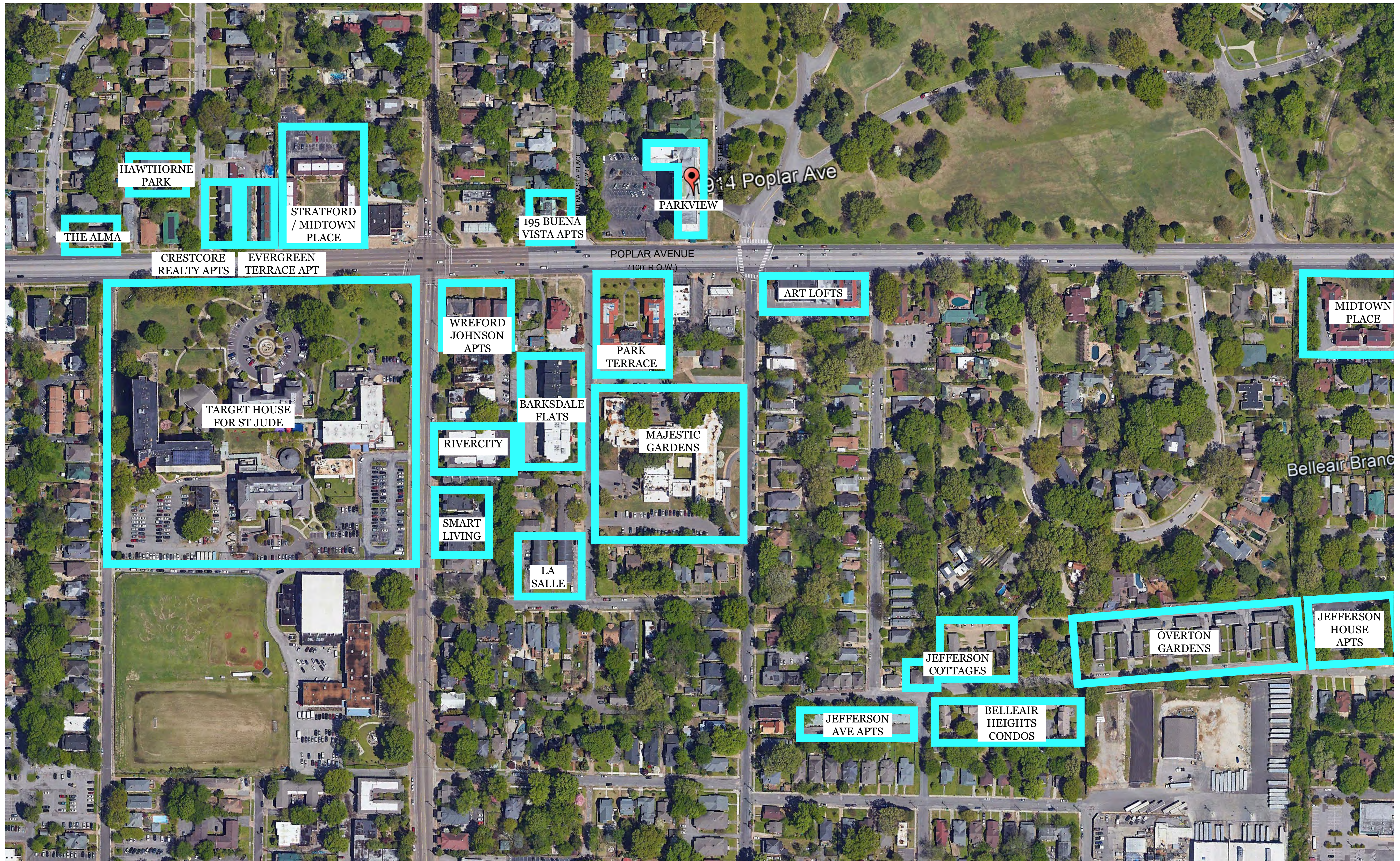
MILESTONE LAND SURVEYING, INC.
 By *[Signature]* Date 3/12/2020
 Regis T. Storch, Jr., RLS
 Vice President
 Tennessee Certificate No. 2138

ALTA/NSPS LAND TITLE SURVEY OF THE SSL PARKVIEW, LLC PROPERTY RECORDED AT INST. No. 17014642 MEMPHIS, SHELBY COUNTY, TENNESSEE
 SCALE: 1" = 20' DATE: MARCH 12, 2020



Milestone Land Surveying, Inc.
 2880 Cobb Road
 Lakeland, TN 38002
 Phone: (901) 867-8671
 Fax: (901) 867-9889
 milestone@bellsouth.net





APARTMENTS OR GROUP LIVING NEAR PARKVIEW



Parkview: Front



Parkview: View from Poplar Ave.



Parkview: Rear

Parkview Planned Development

Outline Plan Conditions

I. Uses Permitted:

- A. Existing tower to be used as multi-family with certain commercial uses on the ground floor. Said uses limited to restaurant and retail sales and services as allowed in Midtown Overlay District CMU-3. The following uses are not allowed on the ground floor:
 - 1. Funeral Services
 - 2. Indoor Recreation, except a health club for the residents
 - 3. Doggy Daycare
 - 4. Convenience store with or without gas pumps
 - 5. Boarding house, single room occupancy, or rooming house
 - 6. Cleaning establishment, pick up station
 - 7. Tattoo, palmist, psychic, or medium
 - 8. Outdoor recreation
 - 9. Vehicle parts and accessories
 - 10. Any vehicle sales, service, and repair
 - 11. Light manufacturing or assembly of equipment, instruments, or goods
 - 12. Lumberyard and wood products
 - 13. Research, testing, and development laboratory
 - 14. Welding, machine, tool repair shop
 - 15. Woodworking, including cabinet makers and furniture manufacturing
 - 16. Hourly Rate Hotel or Motels

II. Bulk Regulations:

- A. Building heights are as follows:
 - 1. Maximum height for Parkview tower building shall remain as currently exists: +/- 125' high.
- B. Building setbacks are as follows:
 - 1. Minimum setbacks for the tower shall remain as currently exist: +/- 14 feet from Poplar Avenue.
- C. Parking lot setbacks are as follows:
 - 1. Eight (8) feet on Buena Vista.
 - 2. Eight (8) feet on Poplar Ave.

III. Access, Circulation and Parking:

- A. All internal roads shall be private and have a minimum width of twenty-two (22).
- B. One (1) curb cut shall be allowed along Poplar Ave in the general location of the existing curb cut as indicated on the site plan.
- C. No curb cuts shall be allowed along Buena Vista Place.
- D. The City Engineer shall approve the design, number and location of curb cuts. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk as identified during the plan review process.
- E. Any gated entrance shall meet the requirements of Unified Development Code (UDC) (4.4.8).
- F. The parking ratio shall be 1.15 spaces per unit.

IV. Architecture, Landscaping, Lighting and Screening:

- A. Streetscape landscape shall be provided along Poplar Ave and Buena Vista Place as illustrated on the outline plan.
- B. An eight (8) foot buffer shall be maintained along Buena Vista Place. Existing, healthy, mature trees shall be maintained where feasible and supplemented with additional evergreens to increase density. Invasive species shall be avoided; native species shall be used when possible.
- C. Internal parking lot landscaping shall be as shown on the attached landscape plan.
- D. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.
- E. An eight (8) foot high opaque brick wall shall be provided around the parking lot along Buena Vista Place and Poplar Ave and along the north property line to shield views of the parking lot.
- F. Site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. Parking lot light standards shall be a maximum of twenty (20) feet in height.

V. Drainage:

- A. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
- B. Design of the storm water conveyance and management facilities for this project shall be in accordance with the Memphis-Shelby County Storm Water Management Manual. The manual requires on-site detention of storm water run-off generated from the project that exceeds the capacity of the downstream system. Drainage calculations performed in accordance with this manual shall be submitted verifying that adequate non-buildable areas have been provided for storm water detention facilities.

VI. Signs:

- A. Attached signs are allowed in accordance with UDC for CMU-3.

- B. Monument-style signs along Poplar Avenue shall be in accordance with the UDC for CMU-3. No signs will be allowed on Buena Vista Place.
- C. The existing monument-style sign at the intersection of Poplar Avenue and Kenilworth Street shall be allowed to remain as-is, except the graphics can be updated for the new use. Updates will be subject to review and approval by DPD.

VII. The Land Use Control Board may modify the bulk, access, parking, landscaping, and sign requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator of the Division of Planning and Development, to have such action reviewed by the Memphis City Council.

VIII. Site Plan Review

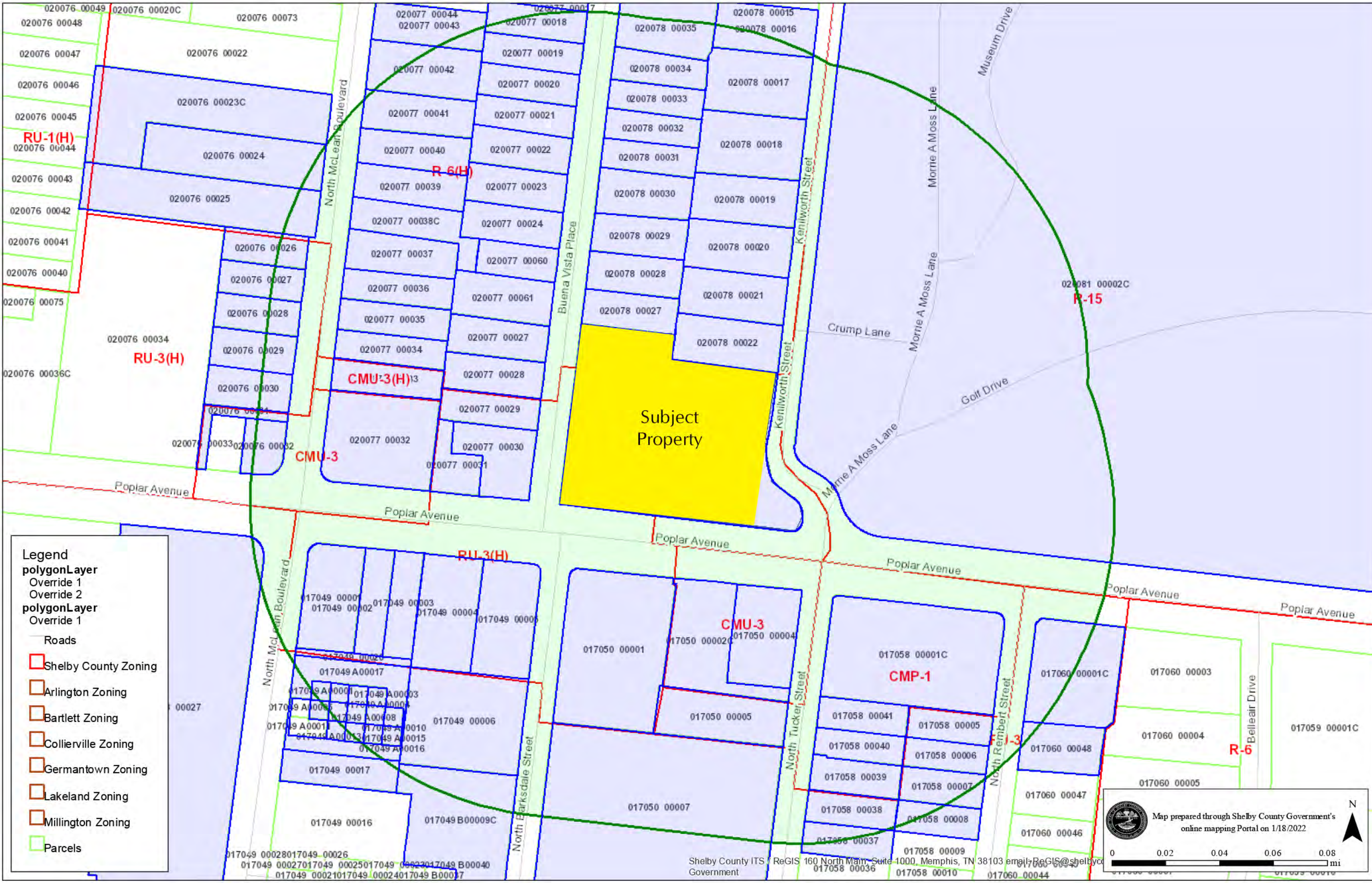
- A. A site plan shall be submitted for the review and comment by appropriate governing agencies and the Division of Planning and Development prior to approval of any final plan. Site plan review by the Land Use Control Board shall not be required if the final plan conform to the site plan presented to the Land Use Control Board as part of the Planned Development Outline Plan approval.
- B. The site plan shall illustrate the location and dimensions of building footprints, parking lots, private drives, building elevations, landscaping and screening plans.
- C. The site plan shall be reviewed and based upon the following criteria:
 - 1. Conformance with the Outline Plan conditions and the standards and criteria for commercial planned developments contained in the UDC
 - 2. Adequacy of public facilities (streets, sewers, drainage, etc.)
 - 3. Elements of site design such as building orientation and setback, access and parking, internal vehicular and pedestrian circulation, landscaping and lighting
 - 4. Building elevations and materials.

IX. A final plan shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.

X. Any final plan shall include the following:

- A. The outline plan conditions.
- B. The exact location and dimensions, including lots, buildable areas, pedestrian and utility easements, service drives, parking areas, trash receptacles, loading facilities, and required landscaping and screening areas.

- C. The location and ownership, whether public or private, of any easement.
- D. Specific plans for internal and perimeter landscaping and screening including landscaping of all open space features.
- E. A standard improvement contract as defined by Section 5.5.5 of the UDC for any needed public improvements.
- F. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
- G. The 100-year flood elevation.
- H. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.



Legend

- polygonLayer**

 - Override 1
 - Override 2
- polygonLayer**

 - Override 1
- Roads**

 - Shelby County Zoning
 - Arlington Zoning
 - Bartlett Zoning
 - Collierville Zoning
 - Germantown Zoning
 - Lakeland Zoning
 - Millington Zoning
 - Parcels

Map prepared through Shelby County Government's online mapping Portal on 1/18/2022

0 0.02 0.04 0.06 0.08 mi

Shelby County ITS ReGIS 160 North Main, Suite 1000, Memphis, TN 38103 email: ReGIS@shelbycountytg.gov

020077 00043 - HEDLEY SUSAN J
020077 00018 - ROLLEN SCOTT & STEPHANIE
020078 00016 - JOHNSTON WALLACE E JR
020077 00019 - MORITZ AMY C AND BRAD W MORITZ
020078 00033 - RIDER JIMMY G
020077 00041 - MCCOURT KATHLEEN A
020077 00040 - MCDONALD MARENA E
020077 00022 - HAYES NICHOLAS J & MORGAN S
020077 00023 - BATEMAN SHAUNA & JEREMY
020078 00019 - HANEY ROBERT R & NICHOLE C
020077 00038C - POTTER CAREY E AND TERESA S RAMSEY (RS)
020078 00029 - HESSEN WILLIAM H & ELIZABETH A
020078 00020 - PULLEY HUBERT H & SARA B
020077 00061 - WARREN JEFFERSON & NICOLE
020077 00027 - HAGAN JOSEPH P
020078 00022 - BROOKE RUSSELL J & JOLIEKE V OOSTERWIJK
020077 00033 - DEVORE JON E & NANCY A
020077 00029 - FREEMAN JUANITA L & CHARLES L
017050 00001 - LEX STONEWALL TERRACE LP
017050 00004 - LOEB BROS REALTY LP
017058 00039 - ADEFYISAN SAMUEL A LIVING TRUST
017058 00038 - ADEFYISAN SAMUEL A LIVING TRUST
017049 00005 - WILLIAMS PAIGE P
017049 00017 - DECKER ANNIE A
017049 A00016 - CGIENT LLC

017049 A00015 - CGIEN T LLC
017049 A00014 - CGIEN T LLC
017049 A00013 - GILROY MICHAEL R
017049 A00010 - CGIEN T LLC
017049 A00009 - CGIEN T LLC
017049 00001 - JOHNSON WREFORD C
020076 00025 - FOUST DALLAS B
020076 00024 - CROSS LEONE S
020076 00023C - COWLES ERIN G
020081 00002C - MEMPHIS CITY OF
020076 00032 - DAVIS NORMA J REVOCABLE LIVING TRUST
020077 00017 - SPROTT WILLIAM L III & NINA F
020078 00035 - FRENCH TYLUR & ASTRID
020077 00042 - WALDROP H MICHAEL & LAURA M K
020078 00034 - BREWER JASON T & CARRIE A ROHRSCHEIB
020078 00017 - KIMBALL RICHARD A AND SALLY KIMBALL
020077 00020 - PENDERGRAST JOSEPH C III AND C
020077 00021 - MCBRIDE JEAN A
020078 00032 - GOTTLIEB ERIC I AND REBECCA L TERRELL
020078 00018 - ASKEW ANNETTE H
020078 00031 - DAVIS PABLO J & ELIZABETH M PETTINAROLI
020077 00039 - SHORT WILLIAM M AND JOHN H RONE (RS
020078 00030 - OLSON GRAY W & LEIGH V MCCORMICK
020077 00024 - GILLIAM FRANK L & JOY M
020077 00037 - MADIGAN LAURA L TRUST

020077 00060 - WARREN JEFFERY & KATHERINE C
020078 00028 - HIGDON ALICE C
020078 00021 - COTTON DAVID AND MADELINE COTTON TRUST
020077 00035 - HILL GLENN A & ERNESTINE C
020078 00027 - LE ALICIA H & TRI VIET
020077 00034 - GAMBLE REVOCABLE LIVING TRUST
020077 00028 - FLORES ANDRES & CADY L
020078 00023C - SB MEMPHIS PARKVIEW LLC (49.67%) AND
020077 00032 - POPLAR AVENUE 1856 CENTER LLC
017050 00002C - RHEE KANG AND BUCHA RHEE IRREVOCABLE
017050 00005 - CITYVEST OVERTON LLC
017058 00005 - LAZAROV STUART J AND JILL L NOTOWICH AND
017050 00007 - MAJESTIC REALTY LLC
017058 00006 - HAM DAVID
017058 00008 - RICHARDSON CAROL J
017058 00037 - DE CARDENAS JESSICA N & JUAN M CARDENAS-
017049 A00008 - CGIENT LLC
017049 A00007 - CGIENT LLC
017049 A00006 - CGIENT LLC
017049 A00003 - GRANT BRYAN M III
017049 A00002 - MCKAY CONSTRUCTION (DBA)
017049 A00001 - MCKAY CONSTRUCTION INC
017049 A00017 - UNION REALTY COMPANY GP
017049 00020 - CITY OF MEMPHIS
017049 00004 - CAMPBELL MARILYN

017049 00003 - JOHNSON WREFORD C
017049 00002 - JOHNSON WREFORD C
020076 00031 - PAW PAWS PETS DAYCARE BOARDING AND SALON
020076 00030 - SHORT WILLIAM M AND JOHN H RONE (RS)
020076 00029 - EVANS JAMES M JR & STEPHANIE E
020076 00028 - UNION RENTALS INC
020076 00027 - DEMETRIO GEORGE E II LIVING TRUST
020076 00026 - WONG YIT HONG AND MELANIE C WONG
017058 00001C - MEMPHIS CENTER CITY REVENUE FINANCE
020077 00031 - HANUSOVSKY ROBERT A REVOCABLE TRUST
017058 00040 - 152 NORTH TUCKER LLC
017058 00007 - FERNANDEZ NATALIA
020077 00036 - MONTGOMERY HOWARD II
020077 00030 - HANUSOVSKY ROBERT A REVOCABLE TRUST
017060 00001C - PEACOCK POPLAR LLC
017058 00041 - J P FILLMORE LLC
017060 00048 - PEACOCK POPLAR LLC
017049 00006 - PARKVIEW PARTNERS LLC
017049 A00004 - HACKMEYER BUNNY S
017048 00027 - MIDTOWN PROPCO LLC
017049 B00009C - PARKVIEW PARTNERS LLC

DECKER ANNIE A
PO BOX 111449
MEMPHIS, TN 38111

UNION REALTY COMPANY GP
PO BOX 3661
MEMPHIS, TN 38173

ADEFEYISAN SAMUEL A LIVING TRUST
PO BOX 40173
MEMPHIS, TN 38174

GILROY MICHAEL R
111 S HIGHLAND ST
MEMPHIS, TN 38111

J P FILLMORE LLC
111 S HIGHLAND ST #331
MEMPHIS, TN 38111

MEMPHIS CENTER CITY REVENUE
FINANCE
114 N MAIN ST
MEMPHIS, TN 38103

MEMPHIS CITY OF
125 N MAIN ST
MEMPHIS, TN 38103

CITY OF MEMPHIS
125 N MAIN ST
MEMPHIS, TN 38103

DE CARDENAS JESSICA N & JUAN M
CARDENAS-
138 N TUCKER ST
MEMPHIS, TN 38104

LEX STONEWALL TERRACE LP
1437 CENTRAL AVE
MEMPHIS, TN 38104

HACKMEYER BUNNY S
144 N MCLEAN BLVD #4
MEMPHIS, TN 38104

CAMPBELL MARILYN
1875 POPLAR AVE
MEMPHIS, TN 38104

WILLIAMS PAIGE P
1879 POPLAR AVE
MEMPHIS, TN 38104

FREEMAN JUANITA L & CHARLES L
201 BUENA VISTA PL
MEMPHIS, TN 38112

DEVORE JON E & NANCY A
206 N MCLEAN BLVD
MEMPHIS, TN 38112

FLORES ANDRES & CADY L
207 BUENA VISTA PL
MEMPHIS, TN 38112

HAGAN JOSEPH P
211 BUENA VISTA PL
MEMPHIS, TN 38112

BROOKE RUSSELL J & JOLIEKE V
OOSTERWIJK
211 KENILWORTH PL
MEMPHIS, TN 38112

GAMBLE REVOCABLE LIVING TRUST
212 N MCLEAN BLVD
MEMPHIS, TN 38112

WARREN JEFFERSON & NICOLE
215 BUENA VISTA PL
MEMPHIS, TN 38112

WARREN JEFFERY & KATHERINE C
215 BUENA VISTA PL
MEMPHIS, TN 38112

LE ALICIA H & TRI VIET
216 BUENA VISTA PL
MEMPHIS, TN 38112

CITYVEST OVERTON LLC
2164 SETON PL
GERMANTOWN, TN 38139

HILL GLENN A & ERNESTINE C
218 N MCLEAN BLVD
MEMPHIS, TN 38112

HIGDON ALICE C
220 BUENA VISTA PL
MEMPHIS, TN 38112

MONTGOMERY HOWARD II
220 N MCLEAN BLVD #1
MEMPHIS, TN 38112

MADIGAN LAURA L TRUST
222 N MCLEAN BLVD
MEMPHIS, TN 38112

COTTON DAVID & MADELINE TRUST
223 KENILWORTH PL
MEMPHIS, TN 38112

HANUSOVSKY ROBERT REVOC TRUST
2250 HIGHLAND AVE S #87
BIRMINGHAM, AL 35205

HESSEN WILLIAM H & ELIZABETH A
228 BUENA VISTA PL
MEMPHIS, TN 38112

**PULLEY HUBERT H & SARA B
229 KENILWORTH PL
MEMPHIS, TN 38112**

**FOUST DALLAS B
229 N MCLEAN BLVD
MEMPHIS, TN 38112**

**GILLIAM FRANK L & JOY M
231 BUENA VISTA PL
MEMPHIS, TN 38112**

**POTTER CAREY & TERESA RAMSEY
234 N MCLEAN BLVD
MEMPHIS, TN 38112**

**CROSS LEONE S
235 N MCLEAN BLVD
MEMPHIS, TN 38112**

**SHORT WILLIAM M & JOHN H RONE
236 N MCLEAN BLVD
MEMPHIS, TN 38112**

**BATEMAN SHAUNA & JEREMY
237 BUENA VISTA PL
MEMPHIS, TN 38112**

**OLSON GRAY W & LEIGH V
MCCORMICK
238 BUENA VISTA PL
MEMPHIS, TN 38112**

**HANEY ROBERT R & NICHOLE C
239 KENILWORTH PL
MEMPHIS, TN 38112**

**MCDONALD MARENA E
240 N MCLEAN BLVD
MEMPHIS, TN 38112**

**HAYES NICHOLAS J & MORGAN S
243 BUENA VISTA
MEMPHIS, TN 38112**

**COWLES ERIN G
243 N MCLEAN BLVD
MEMPHIS, TN 38112**

**ASKEW ANNETTE H
245 KENILWORTH PL
MEMPHIS, TN 38112**

**DAVIS PABLO J & ELIZABETH M
PETTINAROLI
246 BUENA VISTA PL
MEMPHIS, TN 38112**

**MCBRIDE JEAN A
247 BUENA VISTA PL
MEMPHIS, TN 38112**

**MCCOURT KATHLEEN A
248 N MCLEAN BLVD
MEMPHIS, TN 38112**

**GOTTLIEB ERIC I AND REBECCA L
TERRELL
250 BUENA VISTA PL
MEMPHIS, TN 38112**

**WALDROP H MICHAEL & LAURA M K
252 N MCLEAN BLVD
MEMPHIS, TN 38112**

**PENDERGRAST JOSEPH C III AND C
253 BUENA VISTA PL
MEMPHIS, TN 38112**

**RIDER JIMMY G
254 BUENA VISTA PL
MEMPHIS, TN 38112**

**MORITZ AMY C & BRAD W MORITZ
257 BUENA VISTA PL
MEMPHIS, TN 38112**

**HEDLEY SUSAN J
258 N MCLEAN BLVD
MEMPHIS, TN 38112**

**KIMBALL RICHARD A AND SALLY
KIMBALL
259 KENILWORTH
MEMPHIS, TN 38112**

**BREWER JASON & CARRIE
ROHRSCHEIB
260 BUENA VISTA PL
MEMPHIS, TN 38112**

**ROLLEN SCOTT & STEPHANIE
265 BUENA VISTA PL
MEMPHIS, TN 38112**

**JOHNSTON WALLACE E JR
269 KENILWORTH PL
MEMPHIS, TN 38112**

**UNION RENTALS INC
269 KENILWORTH PL
MEMPHIS, TN 38112**

**FRENCH TYLUR & ASTRID
270 BUENA VISTA PL
MEMPHIS, TN 38112**

**SPROTT WILLIAM L III & NINA F
271 BUENA VISTA PL
MEMPHIS, TN 38112**

**EVANS JAMES JR & STEPHANIE
282 N MCLEAN BLVD
MEMPHIS, TN 38112**

**PAW PAWS PETS DAYCARE
3124 BROAD AVE
MEMPHIS, TN 38112**

**JOHNSON WREFORD C
375 N MCNEIL ST
MEMPHIS, TN 38112**

**PEACOCK POPLAR LLC
39270 PASEO PADRE PKWY #515
FREMONT, CA 94538**

**HAM DAVID
3965 CANTERBURY
MEMPHIS, TN 38122**

**GRANT BRYAN M III
401 TOWNSEND PL NW
ATLANTA, GA 30327**

**MIDTOWN PROPCO LLC
440 SYLVAN AVE #240
ENGLEWOOD CLIFFS, NJ 7632**

**RHEE KANG & BUCHA RHEE
4655 MEADOW CLIFF DR
MEMPHIS, TN 38125**

**152 NORTH TUCKER LLC
4728 SPOTTSWOOD AVE #165
MEMPHIS, TN 38117**

**FERNANDEZ NATALIA
475 S PERKINS #710
MEMPHIS, TN 38117**

**DEMETRIO GEORGE LIVING TRUST
521 WILSON LAKE DR
MUSCLE SHOALS, AL 35661**

**LOEB BROS REALTY LP
5264 POPLAR AVE
MEMPHIS, TN 38119**

**MAJESTIC REALTY LLC
600 BROADWAY
LYNBROOK NY 11563**

**SB MEMPHIS PARKVIEW LLC
6118 PASEO DELICIAS
RANCHO SANTA FE, CA 92067**

**LAZAROV STUART & JILL NOTOWICH
620 SEVIER ST
MEMPHIS, TN 38122**

**RICHARDSON CAROL J
7 MORNING SIDE PL
MEMPHIS, TN 38104**

**MCKAY CONSTRUCTION INC
7526 PARKER CIR
GERMANTOWN, TN 38138**

**CGIENT LLC
7540 NORTH ST
GERMANTOWN, TN 38138**

**PARKVIEW PARTNERS LLC
756 RIDGE LAKE BLVD #212
MEMPHIS, TN 38120**

**DAVIS NORMA REVOC LIVING TRUST
8965 DEXTER RD
CORDOVA, TN 38016**

**WONG YIT HONG & MELANIE
9351 GROVE HOLLOW LN
GERMANTOWN, TN 38139**

**SB MEMPHIS PARKVIEW LLC
PO BOX 1651
RANCHO SANTA FE, CA 92067**

**The Reaves Firm
6800 Poplar Ave #101
Memphis, TN 38138**

**Evergreen Historic District
Christopher Sullivan
1755 FORREST
Memphis, TN 38112**

**Belleair Woods Neighborhood
Ann Ray
15 BELLEAIR DR
Memphis, TN 38104**



Shelby County Tennessee

Shelandra Y Ford

Shelby County Register

As evidenced by the instrument number shown below, this document has been recorded as a permanent record in the archives of the Office of the Shelby County Register.



20079542

07/30/2020 - 02:10:18 PM

6 PGS	
GENIE 2061708 - 20079542	
VALUE	4786875.00
MORTGAGE TAX	0.00
TRANSFER TAX	17711.44
RECORDING FEE	30.00
DP FEE	2.00
REGISTER'S FEE	1.00
TOTAL AMOUNT	17744.44

SHELANDRA Y FORD
REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

THIS INSTRUMENT PREPARED BY:

Richard W. Hawthorne, Esquire
 Driver, McAfee, Hawthorne & Diebenow, PLLC
 One Independent Drive, Suite 1200
 Jacksonville, Florida 32202

When recorded return to:
 Bass, Berry & Sims PLC (TGU)
 100 Peabody Place, Suite 1300
 Memphis, Tennessee 38103

SPECIAL WARRANTY DEED

Name and Address New Owner:	Send Tax Bills To:	Map/Parcel Numbers:
SB MEMPHIS PARKVIEW, LLC and PARKVIEW EQUITY FUND, LLC 6118 Paseo Delicias Rancho Santa Fe, CA 92067	SB MEMPHIS PARKVIEW, LLC and PARKVIEW EQUITY FUND, LLC 6118 Paseo Delicias Rancho Santa Fe, CA 92067	020-078-00023C

THIS SPECIAL WARRANTY DEED is made this 28 day of July, 2020, between **SSL PARKVIEW LLC**, a Florida limited liability company (the "**Grantor**"), whose address is 9995 Gate Parkway North, Suite 320, Jacksonville, Florida 32246 and **SB MEMPHIS PARKVIEW, LLC**, a Delaware limited liability company, as to a 49.67% undivided interest and **PARKVIEW EQUITY FUND, LLC**, a California limited liability company, as to a 50.33% undivided interest, as tenants-in-common (collectively, the "**Grantee**"), whose address is 6118 Paseo Delicias, Rancho Santa Fe, California 92067.

WITNESSETH:

That the Grantor, in consideration of the sum of Ten Dollars and other valuable consideration paid by the Grantee, receipt and sufficiency of which is acknowledged, has granted, bargained and sold to the Grantee, its successors and assigns forever, the following described real property located in Shelby County, Tennessee together with all rights and appurtenances pertaining to such real property and all improvements, structures and fixtures now constructed and completed or under construction on the real property (the "Property"):

See **Exhibit A** attached hereto and incorporated herein.

To have and to hold, together with the appurtenances, hereditaments, estate, title and interest thereto belonging, the same in fee simple forever.

BEING THE SAME property conveyed to Grantor by deed from S-H THIRTY-FIVE PROPCO - PARKVIEW, LLC, a Delaware limited liability company by conversion from MGP III, LLC, a Washington limited liability company successor by merger to PV MANOR, INC., a Tennessee corporation successor by merger to PV MANOR L.L.C., an Oklahoma limited liability company, of record at Instrument Number 17014642, Register's Office for Shelby County, Tennessee.

This is improved property known as 1914 Poplar Avenue, Memphis, Tennessee.

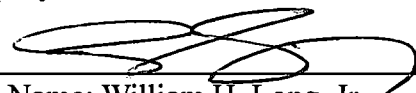
The benefits and obligations hereunder shall inure to and be binding upon the successors and assigns of the respective parties hereto, and the Grantor warrants that, except as provided on **Exhibit B** attached hereto as to which matters this conveyance is expressly made subject, at the time of delivery of this deed, the Property was free from all encumbrances made by the Grantor and that Grantor will warrant and defend the same against lawful claims and demands of all persons claiming, by, through or under the Grantor but against none other.

[Remainder of page intentionally left blank. Signatures on following page.]

IN WITNESS WHEREOF, Grantor has executed this instrument as of the day and year first above written.

SELLER:

SSL PARKVIEW LLC, a Florida limited liability company

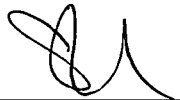
By: 
Print Name: William H. Long, Jr.
Its: President

STATE OF Florida)

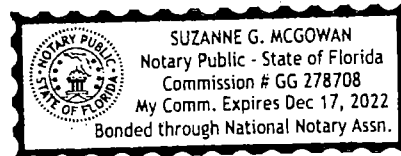
COUNTY OF Duval)

Personally appeared before me, by means of () physical presence or () online notarization, the undersigned, a Notary Public having authority within the State and County aforesaid, William H. Long, Jr., with whom () I am personally acquainted or () has presented the following identification: _____, and who acknowledged that he executed the within instrument for the purposes therein contained, and who further acknowledged that he is the President of SSL PARKVIEW LLC, a Florida limited liability company, and is authorized by the company to execute this instrument on behalf of the company.

WITNESS my hand, at office, this 27th day of July, 2020.


Notary Public

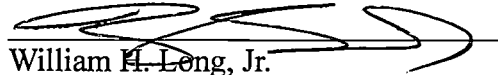
My Commission Expires: _____




STATE OF Florida)

COUNTY OF Duval)

The actual consideration for this transfer or value of property transferred (whichever is greater) is \$4,786,875.00.


William H. Long, Jr.

Sworn to and subscribed before me, by means of (X) physical presence or () online notarization, this 27th day of July, 2020, by William H. Long, Jr, who (✓) is personally known to me, or () presented the following identification: _____.



Notary Public

My Commission Expires: _____

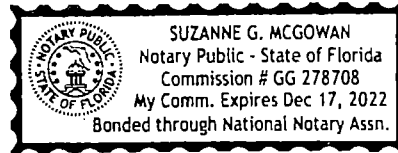


EXHIBIT "A"

The Property

LOTS 1, 2, 3 AND 4, BLOCK 2 OF THE BUENA VISTA TERRACE SUBDIVISION, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK 6, PAGE 96 AND LOTS 1, 2, 4 AND THE SOUTH 50 FEET OF LOT 3, OF THE KENILWORTH TERRACE SUBDIVISION AS SHOWN ON PLAT OF RECORD IN PLAT BOOK 6, PAGE 77 OF THE REGISTER'S OFFICE IN SHELBY COUNTY, TENNESSEE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH RIGHT OF WAY (ROW) LINE OF POPLAR AVENUE (100 FOOT ROW), SAID POINT BEING THE TANGENT INTERSECTION OF THE NORTH LINE OF POPLAR AVENUE WITH THE WEST ROW LINE OF KENILWORTH STREET (50 FOOT ROW); THENCE WITH SAID NORTH LINE OF POPLAR AVENUE S 86 DEG. 58 MIN. 43 SEC. W, 289.06 FEET TO A POINT OF CURVATURE; THENCE IN A NORTHWESTERLY DIRECTION AND ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 23 FEET (CENTRAL ANGLE = 90 DEG. 35 MIN. 52 SEC., TANGENT = 23.24 FEET) AN ARC DISTANCE OF 36.37 FEET TO A POINT OF TANGENCY IN THE EAST ROW LINE OF BUENA VISTA PLACE (50 FOOT ROW); THENCE WITH SAID EAST ROW LINE N 2 DEG. 25 MIN. 26 SEC. W 265.76 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF LOT 5 OF THE BUENA VISTA TERRACE SUBDIVISION; THENCE ALONG THE SOUTH LINE OF SAID LOT N 87 DEG. 11 MIN. 12 SEC. E, 150.55 FEET TO A POINT, SAID POINT BEING ON A LINE DIVIDING THE BUENA VISTA TERRACE SUBDIVISION AND THE KENILWORTH TERRACE SUBDIVISION; THENCE WITH SAID LINE S 2 DEG. 25 MIN. 26 SEC. E, 38.53 FEET TO A FOUND IRON PIN, SAID POINT BEING ON A LINE DIVIDING THE NORTH AND SOUTH 50 FEET OF LOT 3 OF THE KENILWORTH TERRACE SUBDIVISION; THENCE ALONG SAID LINE N 86 DEG. 56 MIN. 24 SEC. E, 162.42 FEET TO A FOUND IRON PIN, SAID POINT BEING IN THE WEST ROW LINE OF KENILWORTH STREET; THENCE WITH SAID WEST LINE S 2 DEG. 16 MIN. 15 SEC. E, 250.04 FEET TO THE POINT OF BEGINNING.

BEING THE SAME PROPERTY CONVEYED TO SSL PARKVIEW, LLC, A FLORIDA LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED OF RECORD IN INSTRUMENT NO. 17014642, IN THE REGISTER'S OFFICE OF SHELBY COUNTY, TENNESSEE.

EXHIBIT "B"

Permitted Exceptions

Laws, ordinances and governmental regulations (including but not limited to building, zoning, land use and any subdivision ordinances and regulations) affecting the Premises;

Setback lines as shown on Plat(s) of record in in Plat Book 6, Page 77 and Plat Book 6, Page 96, in the Register's Office of Shelby County, Tennessee;

Easement Contract of record in Instrument W9 9822, in the Register's Office of Shelby County, Tennessee;

Easement Contract of record in Instrument W9 9823, in the Register's Office of Shelby County, Tennessee;

Easement Contract of record in Instrument W9 9824, in the Register's Office of Shelby County, Tennessee;

Easement Contract of record in Book 1620, Page 210, in the Register's Office of Shelby County, Tennessee;

Easement Contract of record in Chattel Book 148, Page 477, in the Register's Office of Shelby County, Tennessee;

Rights of tenants in possession, as tenants only, under unrecorded leases;

Real estate taxes and assessments for the year 2020 and subsequent years which are not yet due and payable (subject to proration as set forth herein).

Matters which would be disclosed by an accurate survey or inspection of the Premises.

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 12 July 2022

DATE

PUBLIC SESSION: 12 July 2022

DATE

ITEM (CHECK ONE)

 ORDINANCE X RESOLUTION REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code approving an amendment to the Kirby Gate Business Campus Planned Development at the west side of Kirby Rd., approximately 351' north of Kirby Gate Blvd., known as case number PD 22-11

CASE NUMBER: PD 22-11

DEVELOPMENT: Kirby Gate Business Campus Planned Development

LOCATION: The west side of Kirby Rd., approximately 351' north of Kirby Gate Blvd.

COUNCIL DISTRICTS: District 2 and Super District 9

OWNER: Wills & Wills, LP

APPLICANT: Kirby Donuts Holdings, LLC

REPRESENTATIVE: David Baker of Fisher Arnold, Inc.

REQUEST: Amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop

AREA: 0.9 acres

RECOMMENDATION: The Division of Planning and Development recommended: *Approval*
The Land Use Control Board recommended: *Approval*

RECOMMENDED COUNCIL ACTION: **Public Hearing Not Required**

PRIOR ACTION ON ITEM:

<u>(1)</u>	APPROVAL - (1) APPROVED (2) DENIED
<u>9 June 2022</u>	DATE
<u>(1) Land Use Control Board</u>	ORGANIZATION - (1) BOARD / COMMISSION (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

<u>(2)</u>	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
<u>\$</u>	AMOUNT OF EXPENDITURE
<u>\$</u>	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

<u>\$</u>	OPERATING BUDGET
<u>\$</u>	CIP PROJECT # _____
<u>\$</u>	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
_____	_____	PRINCIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	CHIEF ADMINISTRATIVE OFFICER
_____	_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

PD 22-11

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING AN AMENDMENT TO THE KIRBY GATE BUSINESS CAMPUS PLANNED DEVELOPMENT AT THE WEST SIDE OF KIRBY RD., APPROXIMATELY 351' NORTH OF KIRBY GATE BLVD., KNOWN AS CASE NUMBER PD 22-11

- This item is a resolution to allow a freestanding, drive-through donut shop; and
- This resolution, if approved, will authorize the re-recording of the outline plan.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday 9 June 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER:	PD 22-11
DEVELOPMENT:	Kirby Gate Business Campus Planned Development
LOCATION:	The west side of Kirby Rd., approximately 351' north of Kirby Gate Blvd.
COUNCIL DISTRICT:	District 2 and Super District 9
OWNER:	Wills & Wills, LP
APPLICANT:	Kirby Donuts Holdings, LLC
REPRESENTATIVE:	David Baker of Fisher Arnold, Inc.
REQUEST:	Amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop
AREA:	0.9 acres
EXISTING ZONING:	Residential Single-Family – 10 within PD 17-19

The following spoke in support of the application: None

The following spoke in opposition the application: None

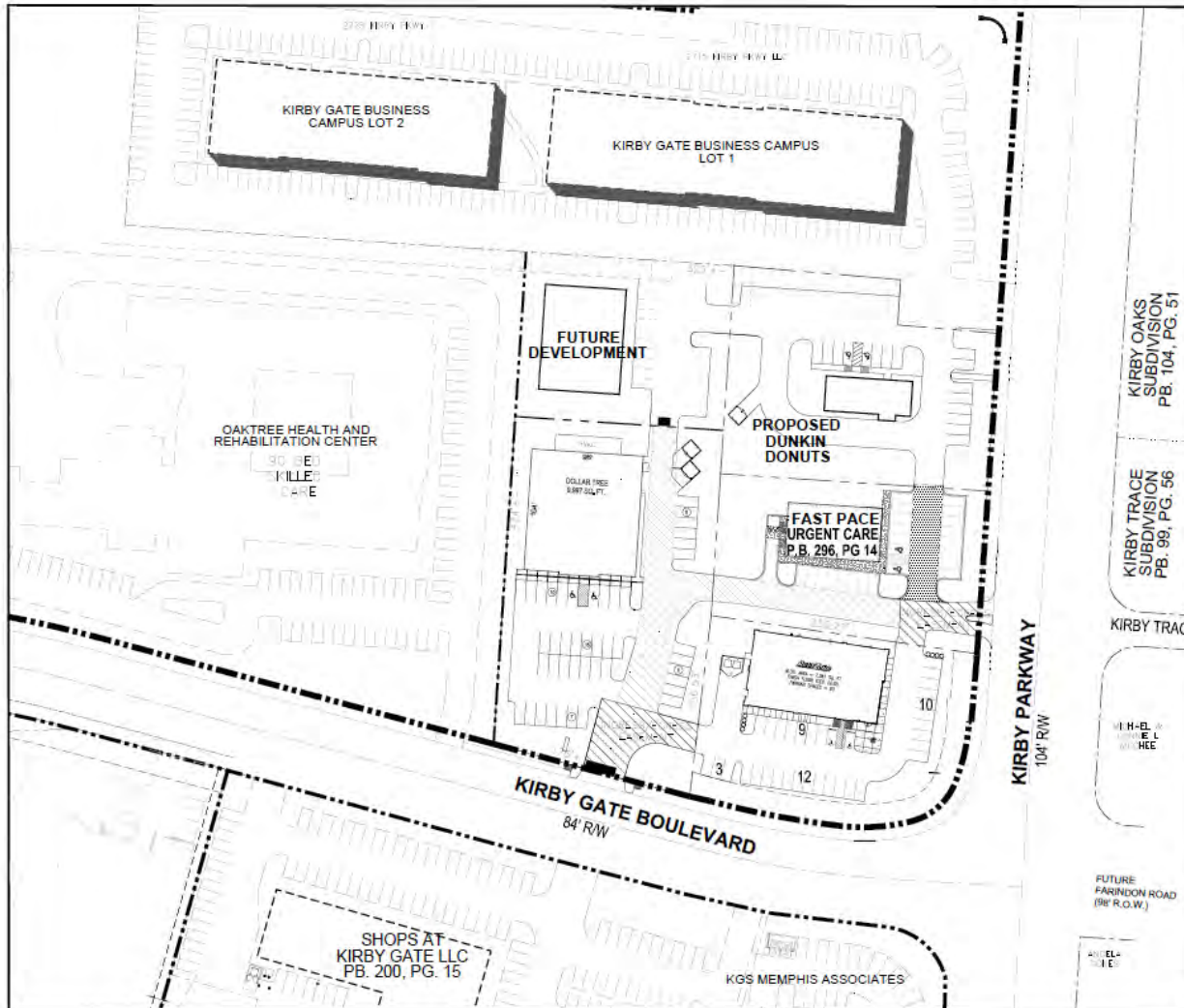
The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval of the attached revisions to the outline plan.

The motion passed by a unanimous vote of 8-0 on the consent agenda.

RECOMMENDED REVISIONS TO OUTLINE PLAN

1. Alter the boundaries of Area C such that said area subsumes the subject land.
2. Minor changes to the outline plan conditions as directed by staff in furtherance of the above modification.

CONCEPTUAL SITE PLAN (SUBJECT TO FINAL PLAN APPROVAL)



RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING AN AMENDMENT TO THE KIRBY GATE BUSINESS CAMPUS PLANNED DEVELOPMENT AT THE WEST SIDE OF KIRBY RD., APPROXIMATELY 351' NORTH OF KIRBY GATE BLVD., KNOWN AS CASE NUMBER PD 22-11

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a planned development for certain stated purposes in the various zoning districts; and

WHEREAS, Kirby Donuts Holdings, LLC, filed an application with the Memphis and Shelby County Division of Planning and Development to allow a freestanding, drive-through donut shop; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives and standards for planned developments as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and consistency of the design and amenities with the public interest; and has submitted its findings and recommendation concerning the above considerations to the Memphis and Shelby County Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on 9 June 2022, and said Board has submitted its findings and recommendation concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

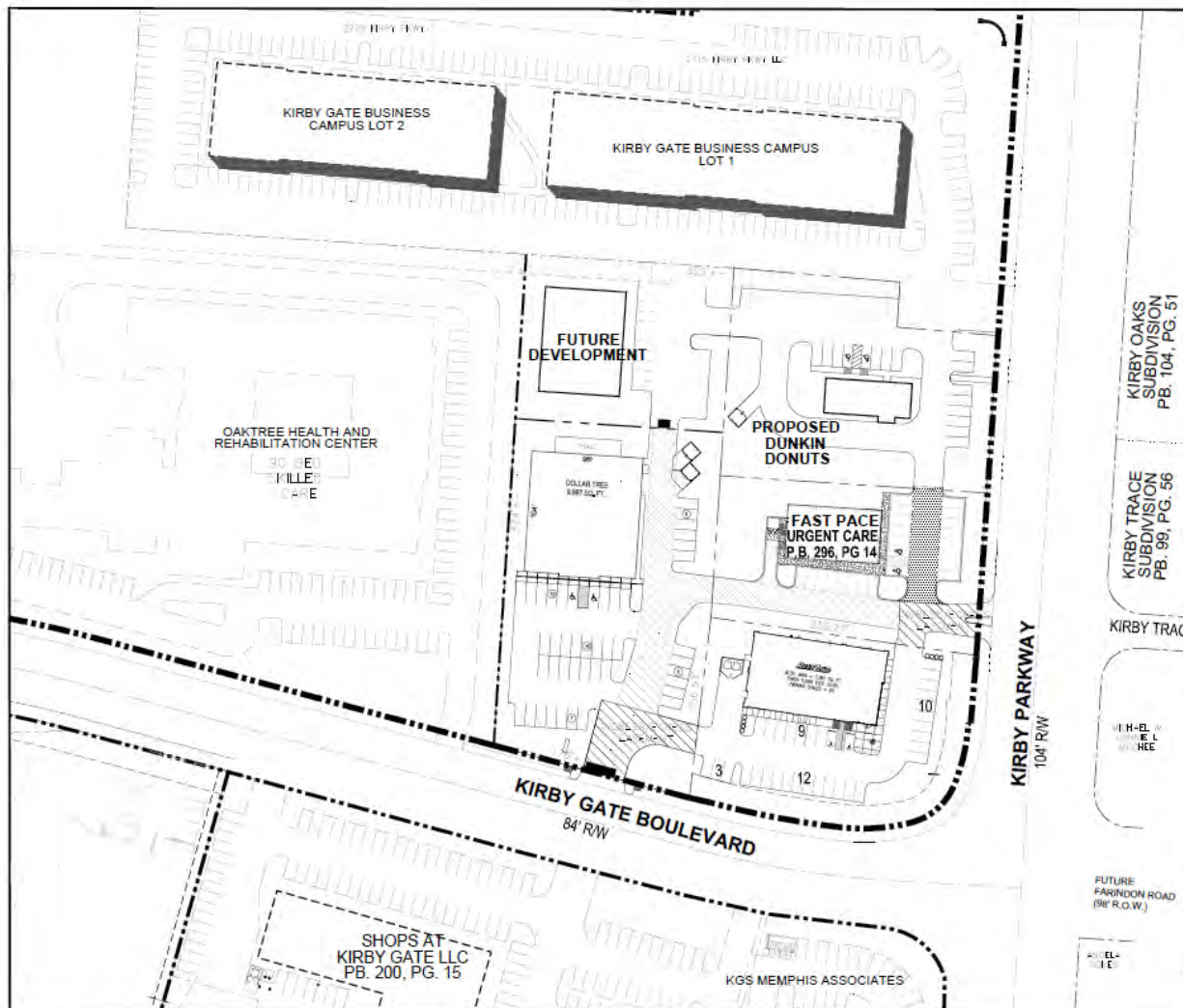
NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a planned development amendment as described on the following page is hereby granted.

BE IT FURTHER RESOLVED, that the requirements of said aforementioned clause of the Unified Development Code shall be deemed to have been complied with; that the outline plan shall bind the applicant, owner, mortgagee, if any, and the legislative body with respect to the contents of said plan; and the applicant and/or owner may file a final plan in accordance with said outline plan and the provisions of Section 9.6.11 of the Unified Development Code.

AUTHORIZED REVISIONS TO OUTLINE PLAN

1. Alter the boundaries of Area C such that said area subsumes the subject land.
2. Minor changes to the outline plan conditions as directed by staff in furtherance of the above modification.

CONCEPTUAL SITE PLAN (SUBJECT TO FINAL PLAN APPROVAL)



ATTEST:

CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement

AGENDA ITEM: 20

CASE NUMBER: PD 22-11 **L.U.C.B. MEETING:** 9 June 2022

DEVELOPMENT: Kirby Gate Business Campus Planned Development

LOCATION: The west side of Kirby Rd., approximately 351' north of Kirby Gate Blvd.

COUNCIL DISTRICT: District 2 and Super District 9

OWNER: Wills & Wills, LP

APPLICANT: Kirby Donuts Holdings, LLC

REPRESENTATIVE: David Baker of Fisher Arnold, Inc.

REQUEST: Amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop

AREA: 0.9 acres

EXISTING ZONING: Residential Single-Family – 10 within PD 17-19

CONCLUSIONS (p. 17)

1. Wills & Wills, LP, has requested an amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop. The land is currently zoned for office uses.
2. Technically, this would be accomplished by altering the boundaries of Area C – which allows restaurants – to subsume the subject parcel.
3. Staff finds that the development proposal is consistent with its context and would not cause undue detriment to its vicinity.

CONSISTENCY WITH MEMPHIS 3.0 (pp. 23-24)

According to the Dept. of Comprehensive Planning, this request is **consistent** with the Memphis 3.0 Comprehensive Plan.

RECOMMENDATION (p. 17)

Approval

GENERAL INFORMATION

Street Frontage: Kirby Rd. (Major Collector) 136 linear feet
Zoning Atlas Page: 2250
Parcel ID: Part of 081053 00088

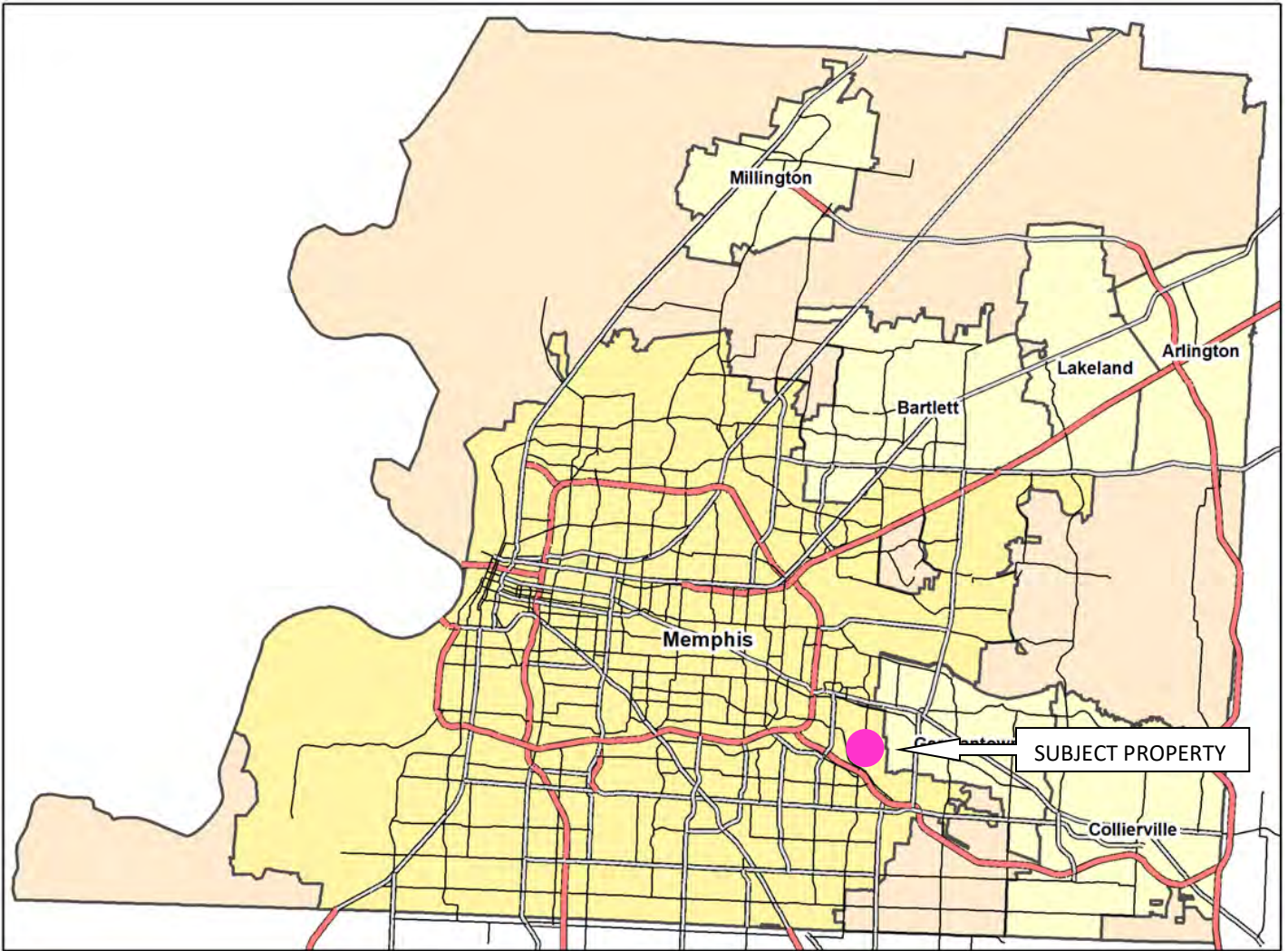
NEIGHBORHOOD MEETING

The required neighborhood meeting was held at 5:30 p.m. on 18 May 2022 at the office of Wills & Wills, LP, at 6797 Messick Rd.

PUBLIC NOTICE

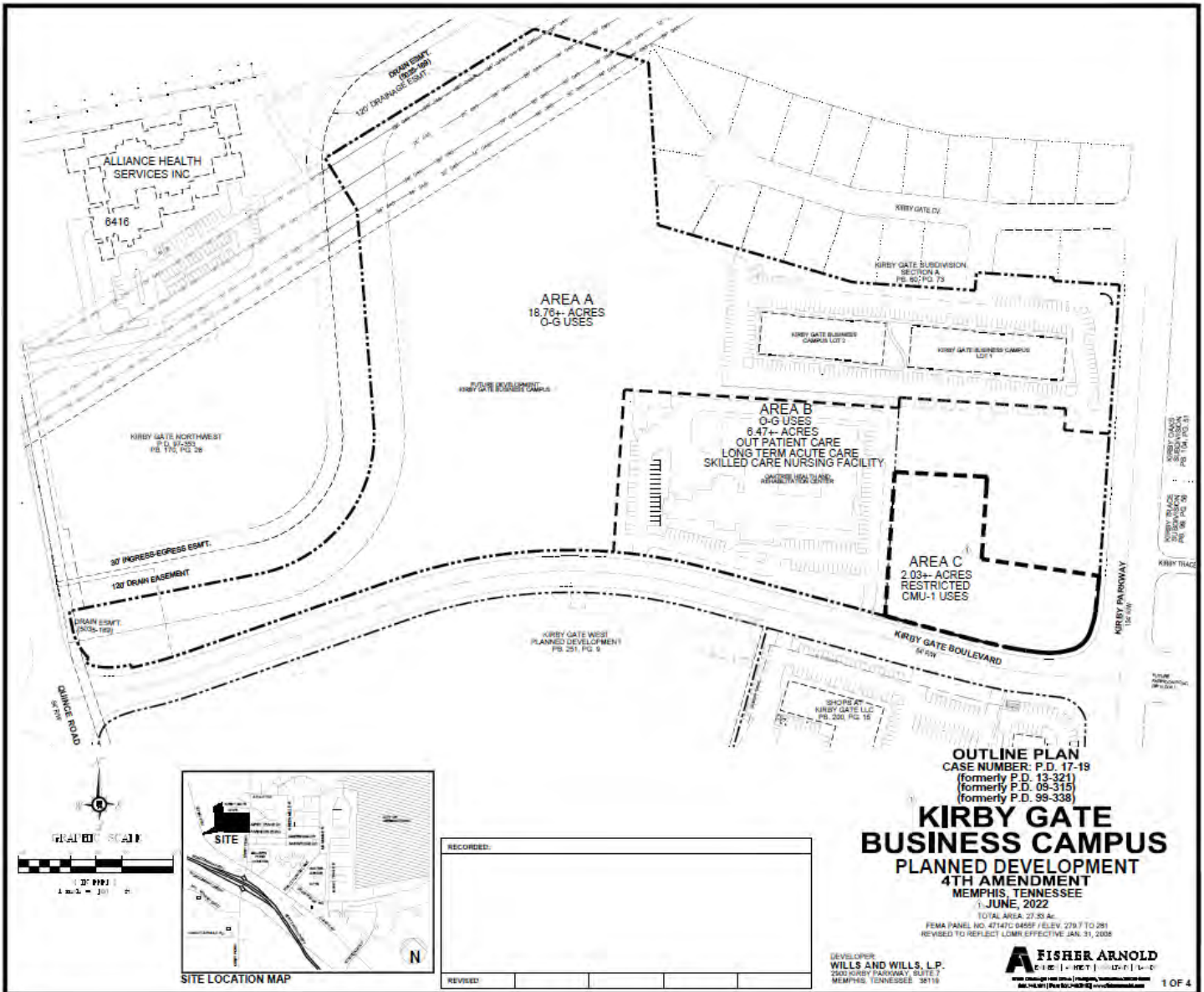
In accordance with Sub-Section 9.3.4A of the Unified Development Code, notice of public hearing is required to be mailed and posted. 126 letters were mailed on 26 May 2022, and two signs posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



Subject property located within the Kirby Trace neighborhood

PD 17-19 – KIRBY GATE BUSINESS CAMPUS PLANNED DEVELOPMENT, OUTLINE PLAN (2022)



SATELLITE PHOTO WITH ZONING



Existing Zoning: Residential Single-Family – 10 within Kirby Gate Business Campus PD

Surrounding Zoning

North: Residential Single-Family – 10 within Kirby Gate Business Campus PD











East: Residential Single-Family – 10

South: Residential Single-Family – 10 within Kirby Gate Business Campus PD

West: Residential Single-Family – 10 within Kirby Gate Business Campus PD

LAND USE MAP



-  COMMON AREA LAND
-  SINGLE-FAMILY
-  MULTI-FAMILY
-  INSTITUTIONAL
-  COMMERCIAL
-  OFFICE
-  INDUSTRIAL
-  PARKING
-  RECREATION/OPEN SPACE
-  VACANT

SITE PHOTOS



View of site from Kirby



View south down Kirby

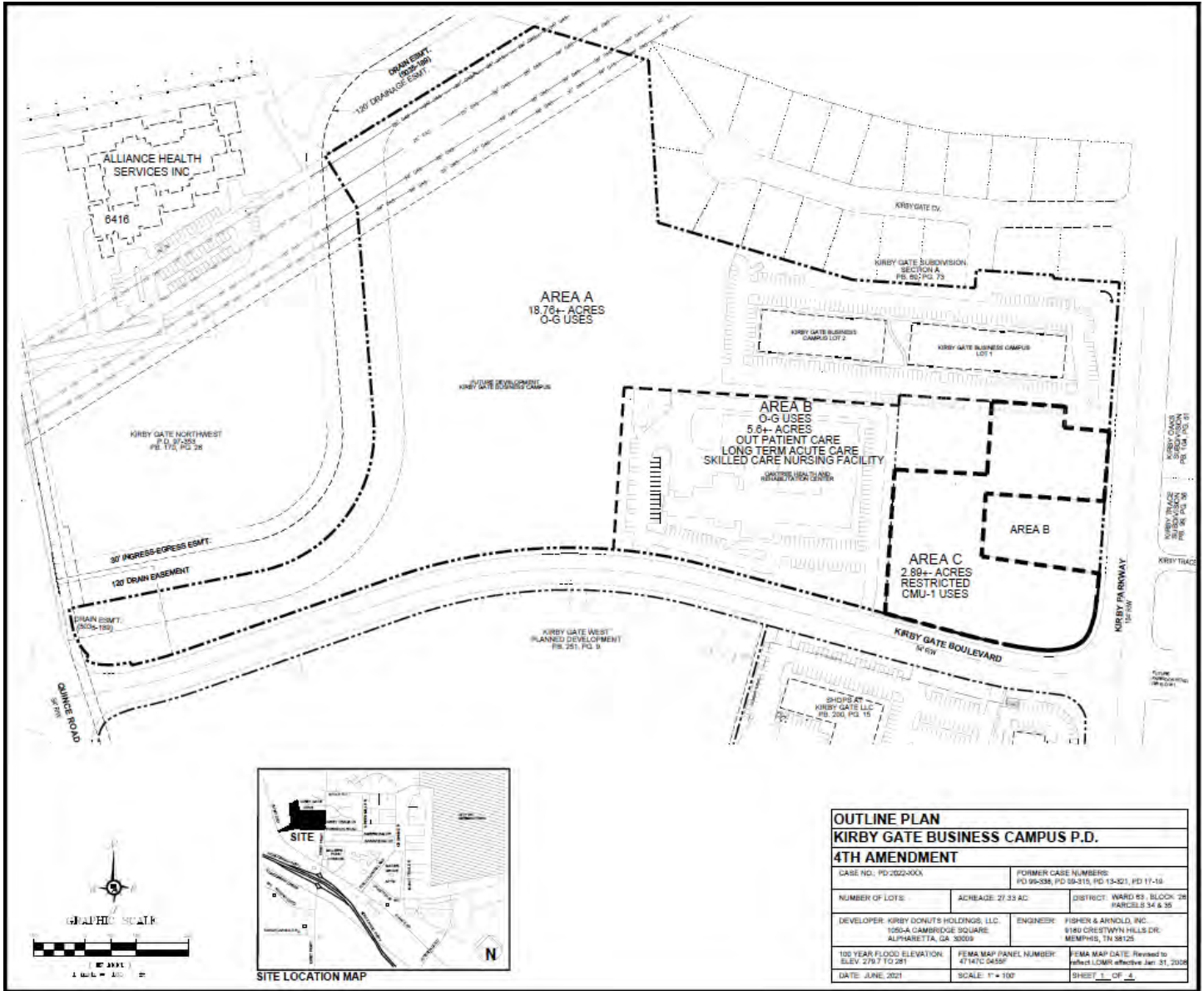


View of adjacent office building



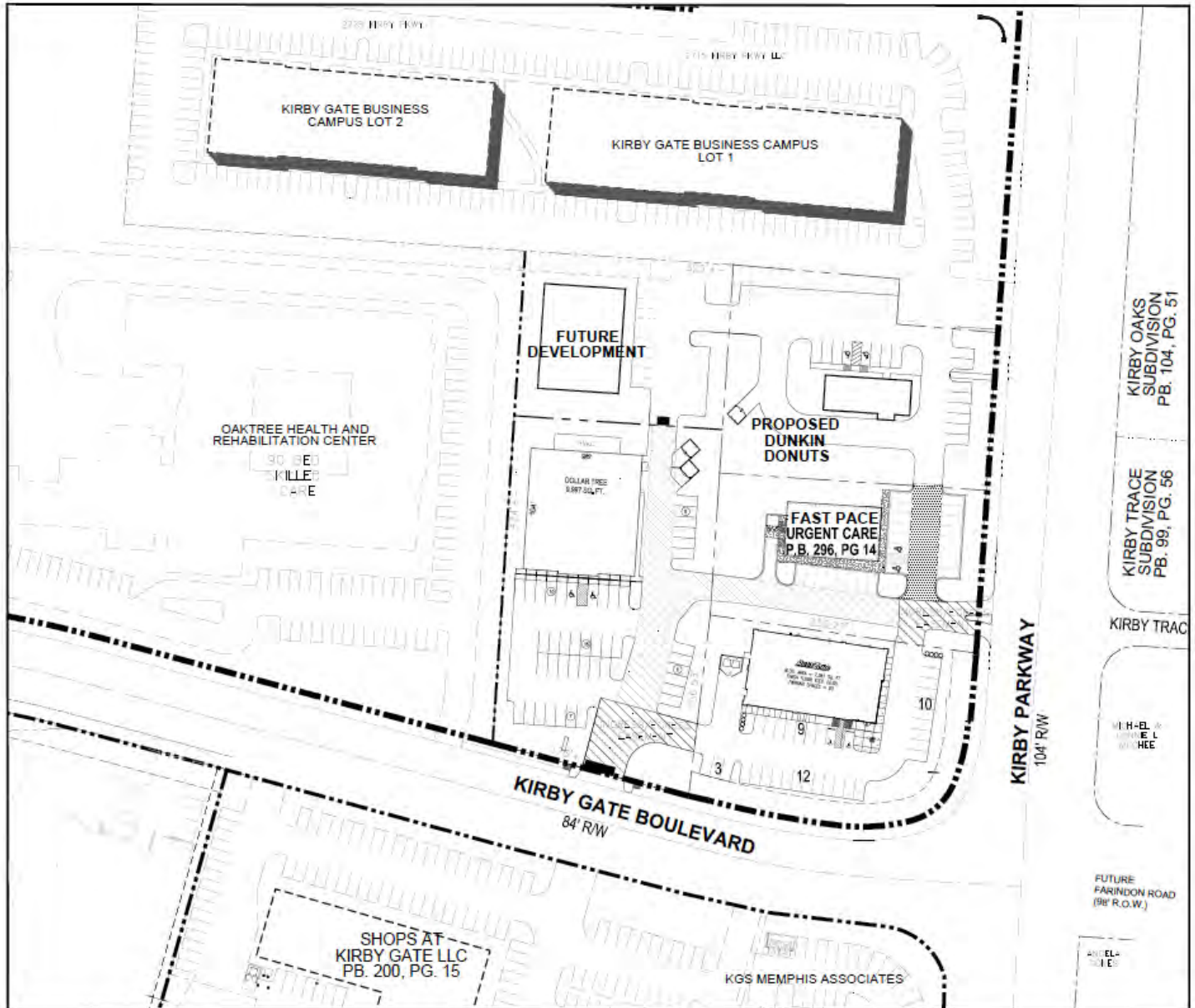
View of adjacent clinic under construction, as well as dollar store and vehicle parts store

PROPOSED OUTLINE PLAN

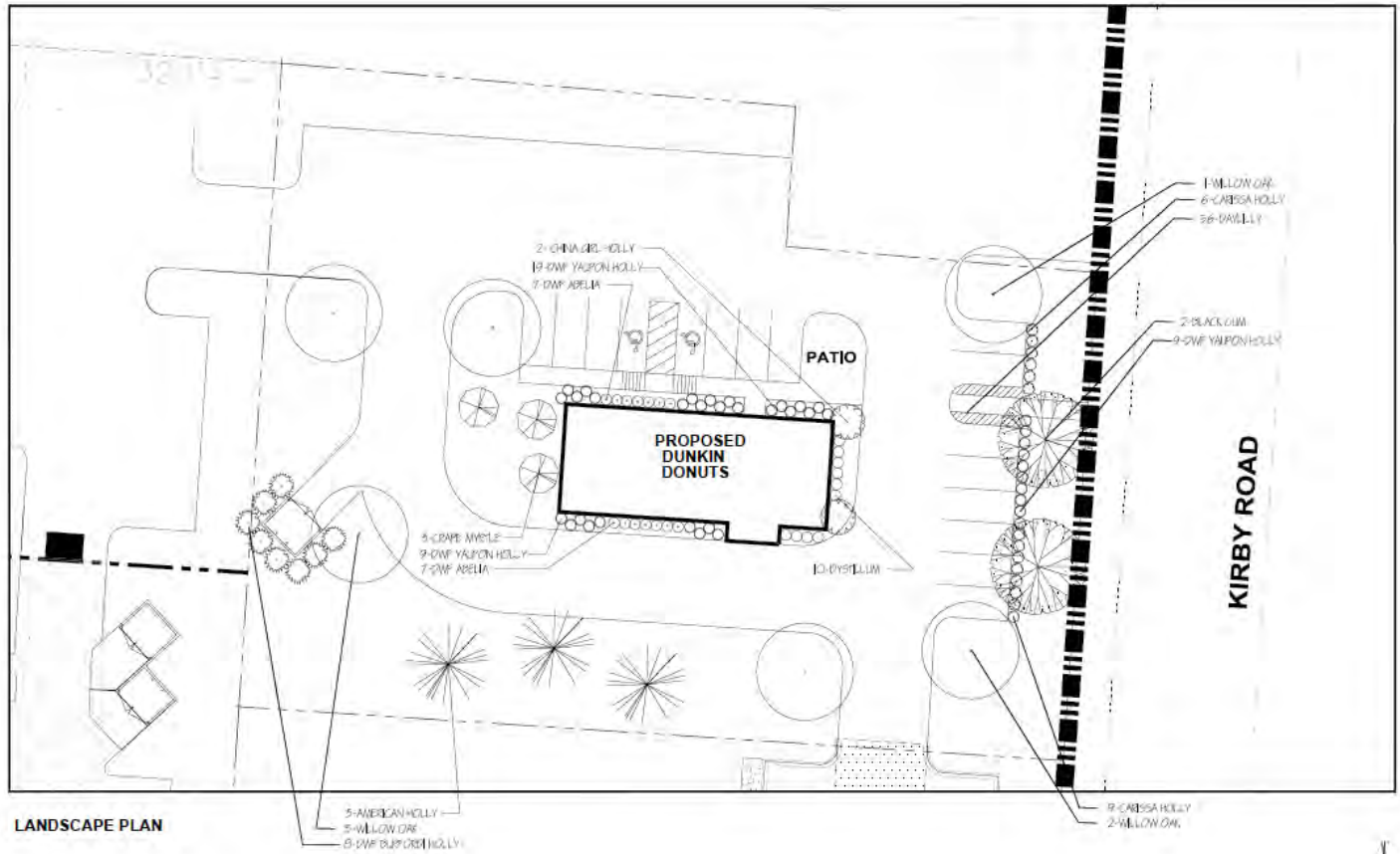


OUTLINE PLAN		
KIRBY GATE BUSINESS CAMPUS P.D.		
4TH AMENDMENT		
CASE NO.: PD 2022-000	FORMER CASE NUMBERS: PD 99-036, PD 09-315, PD 13-021, PD 17-116	
NUMBER OF LOTS:	ACREAGE: 27.33 AC	DISTRICT: WARD 05, BLOCK 24 PARTICLES 54 & 35
DEVELOPER: KIRBY DONUTS HOLDINGS, LLC 1054-C CAMBRIDGE SQUARE ALPHARETTA, GA 30009	ENGINEER: FISHER & ARNOLD, INC. 6180 CRESTWYN HILLS DR. MEMPHIS, TN 38125	
100 YEAR FLOOD ELEVATION: ELEV. 279.7 TO 281	FEMA MAP PANEL NUMBER: 47141C 0459P	FEMA MAP DATE: Revised to reflect LOMR effective Jan. 31, 2016
DATE: JUNE 2021	SCALE: 1" = 100'	SHEET 1 OF 1

CONCEPTUAL SITE PLAN



LANDSCAPE PLAN



LANDSCAPE PLAN

STAFF ANALYSIS

Request

The request is for an amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop. The land is currently zoned for office uses.

The application form and letter of intent have been added to this report.

Applicability

Staff **agrees** the applicability standards and criteria as set out in Section 4.10.2 of the Unified Development Code are or will be met.

4.10.2 Applicability

The governing bodies may, upon proper application, grant a special use permit for a planned development (see Chapter 9.6) for a tract of any size within the City or for tracts of at least three acres in unincorporated Shelby County to facilitate the use of flexible techniques of land development and site design, by providing relief from district requirements designed for conventional developments, and may establish standards and procedures for planned developments in order to obtain one or more of the following objectives:

- A. Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property.*
- B. Diversification in the uses permitted and variation in the relationship of uses, structures, open space and height of structures in developments intended as cohesive, unified projects.*
- C. Functional and beneficial uses of open space areas.*
- D. Preservation of natural features of a development site.*
- E. Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program.*
- F. Rational and economic development in relation to public services.*
- G. Efficient and effective traffic circulation, both within and adjacent to the development site, that supports or enhances the approved transportation network.*
- H. Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environment and living units.*
- I. Revitalization of established commercial centers of integrated design to order to encourage the rehabilitation of such centers in order to meet current market preferences.*
- J. Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work.*
- K. Consistency with the Memphis 3.0 General Plan.*

General Provisions

Staff **agrees** the general provisions standards and criteria as set out in Section 4.10.3 of the Unified Development Code are or will be met.

4.10.3 General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations

of the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in this Chapter.

- A. The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.*
- B. An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.*
- C. The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for structures, parking and loading areas or access way shall be landscaped or otherwise improved except where natural features are such as to justify preservation.*
- D. Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.*
- E. Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.*
- F. Lots of record are created with the recording of a planned development final plan.*

Commercial Criteria

Staff **agrees** the additional planned commercial or industrial development criteria as set out in Section 4.10.5 of the Unified Development Code are or will be met.

4.10.5 Planned Commercial or Industrial Developments

Approval of a planned commercial or industrial development may be issued by the governing bodies for buildings or premises to be used for the retail sale of merchandise and services, parking areas, office buildings, hotels and motels and similar facilities ordinarily accepted as commercial center uses and those industrial uses which can be reasonably be expected to function in a compatible manner with the other permitted uses in the area. In addition to the applicable standards and criteria set forth in Section 4.10.3, planned commercial or industrial developments shall comply with the following standards:

- A. Screening*

When commercial or industrial structures or uses in a planned commercial or industrial development about a residential district or permitted residential buildings in the same development, screening may be required by the governing bodies.
- B. Display of Merchandise*

All business, manufacturing and processing shall be conducted, and all merchandise and materials shall be displayed and stored, within a completely enclosed building or within an open area which is completely screened from the view of adjacent properties and public rights-of-way, provided, however, that when an automobile service station or gasoline sales are permitted in a planned commercial development, gasoline may be sold from pumps outside of a structure.
- C. Accessibility*

The site shall be accessible from the proposed street network in the vicinity which will be adequate to carry the anticipated traffic of the proposed development. The streets and driveways on the site of the proposed development shall be adequate to serve the enterprises located in the proposed development.
- D. Landscaping*

Landscaping shall be required to provide screening of objectionable views of uses and the reduction of noise. High-rise buildings shall be located within the development in such a way as to minimize any adverse impact on adjoining low-rise buildings.

Approval Criteria

Staff **agrees** the approval criteria as set out in Section 9.6.9 of the Unified Development Code are or will be met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- A. The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- B. The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- C. The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- D. The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- E. The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- F. The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- G. The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- H. Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Description

The site is vacant land with frontage on Kirby Rd.

Site Plan Review

If approved, a full site plan review will be conducted during final plan review.

Zoning History

This land was annexed by the City in 1975. Although PD applications had been previously sought, the Kirby Gate Business Campus PD was first approved by City Council in 1986 as PD 85-345 to allow office uses. It was amended in 1999 (PD 99-338), and then again in 2009 (PD 09-315) to allow certain medical uses. The third amendment (PD 13-321), approved by Council in 2013, was the first to introduce commercial uses into the campus: a vehicle parts store. This amendment also introduced areas differentiated by permitted uses. A fourth amendment (PD 17-19), approved by Council in 2017, allowed a dollar store. Neither of the latter two amendments was reflected in a re-recorded outline plan (although final plans were recorded for the requested developments). The outline plan is currently in the process of being re-recorded to reflect these two amendments to remediate this oversight. A 2021 application (PD 21-27) to allow a Waffle House was withdrawn prior to the Land Use Control Board meeting following neighborhood opposition.

Conclusions

Wills & Wills, LP, has requested an amendment to the Kirby Gate Business Campus Planned Development to allow a freestanding, drive-through donut shop. The land is currently zoned for office uses.

Technically, this would be accomplished by altering the boundaries of Area C – which allows restaurants – to subsume the subject parcel.

Staff finds that the development proposal is consistent with its context and would not cause undue detriment to its vicinity.

RECOMMENDATION

Staff recommends ***approval*** of the following changes to the outline plan:

1. Alter the boundaries of Area C such that said area subsumes the subject land.
2. Minor changes to the outline plan conditions as directed by staff in furtherance of the above modification.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City Engineer:

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. City sanitary sewers are available to serve this development.
3. All sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

6. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.
7. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
8. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

9. The City Engineer shall approve the design, number and location of curb cuts.

10. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.

Drainage:

11. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
12. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
13. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
14. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
15. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

Site Plan Notes:

16. Provide internal circulation between adjacent phases, lots, and sections. Common ingress/egress easements shall be shown on the final plats.

Office of Sustainability and Resilience:



Leigh Huffman
Municipal Planner
Office of Sustainability and Resilience
125 N. Main St., Memphis, TN 38103
Leigh.Huffman@memphistn.gov

MEMORANDUM

To: Brett Davis, Principal Planner
From: Leigh Huffman, Municipal Planner
Date: May 25, 2022
Subject: OSR Comments on PD 22-11: CAPLEVILLE

General Comments & Analysis:

Located in Zone 1 and Zone 4 of the Resilience Zone Framework:

Zone 1 areas have the lowest level of development risk and conflict. These areas avoid high risk disaster zones, such as floodplains, and they also do not conflict with sensitive ecological areas. These areas are the most straightforward for development, and development would have the lowest impact on regional resilience. Consider incorporating the protection of ecological assets while balancing the promotion of low-impact site design and compact development typologies in appropriate areas.

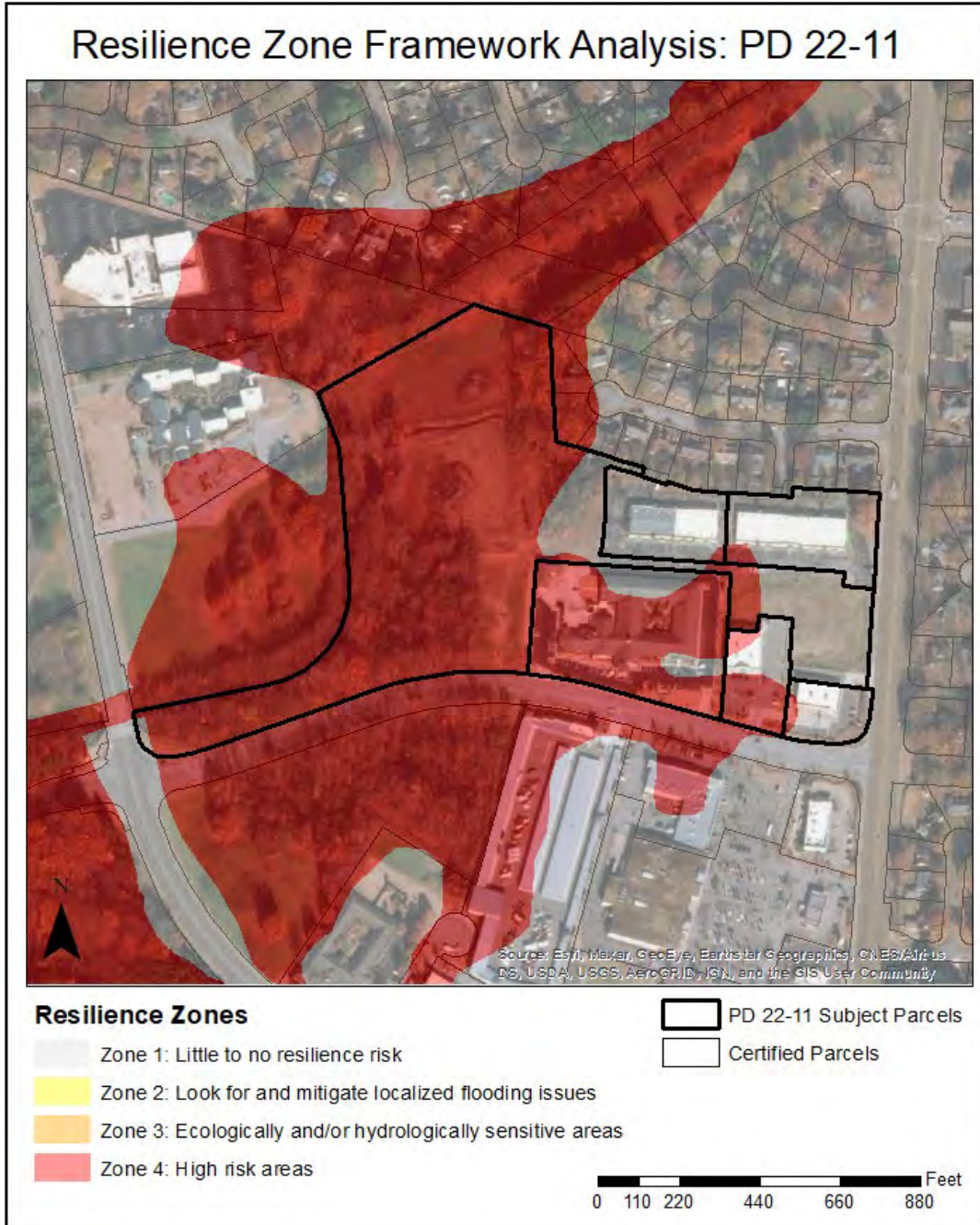
Zone 4 areas are high risk locations, namely riparian corridors, floodplains, and especially high vulnerability to earthquakes. Development in these locations is often directly at risk for flooding. Although these risks could be mitigated through the construction of major flood control infrastructure and higher seismic construction standards, it is generally advisable to avoid these areas for future development whenever possible. Efforts should be made to protect and further prevent development within Zone 4 for the purposes of mitigating the risk exposure to health and safety.

The majority of the Planned Development is in Zone 4 due to both floodway and the 500-year floodplain (0.2% annual chance of flooding) located on the parcel. The area of the proposed restaurant is located in Zone 1.

The Applicant is not proposing to build structures in or alter the floodway. However, the proposed outline plan does not delineate the floodway. Based on GIS analysis, the drainage easement does closely follow the floodway, but it cannot be determined if the easement encompasses the entirety of the floodway.

The Applicant is not requesting changes to any existing conditions regarding landscaping or drainage. The existing outline plan condition requiring a 100-foot buffer yard along the west boundary of the Kirby Gate Subdivision will both preserve trees while also acting as a vegetative buffer for the unnamed stream in the floodway.

The proposed outline plan does show increased impervious surfaces on the lot, but also includes landscaping that will increase the amount of leafy vegetation on the lot.



Consistent with the Mid-South Regional Resilience Master Plan best practices: Yes

This planned development amendment request is generally consistent with the Mid-South Regional Resilience Master Plan. The proposed site plan locates all development outside of the floodway, which is consistent with Section 4.3 Flood Smart Development. The proposed permeable surfaces and landscaping on the site plan will help mitigate stormwater runoff, improve air quality, and improve ecological health. The proposed deciduous trees will also help reduce the surface temperature on the lot (Section 5.7 Trees).

Overall, the large portion of the planned development located in both the floodway and 500-year floodplain means that the parcels remain a sensitive area for development, and precautions should be taken to address potential future development expansion on the western portion of the planned development.

Consistent with the Memphis Area Climate Action Plan best practices: Yes

Increasing the green infrastructure through planting the proposed trees and bushes will expand the urban tree canopy (Priority Action E.7). In addition to the benefits mentioned above, expanding the tree canopy increases carbon emission capture and reduces energy costs depending on the surrounding site conditions and proximity to buildings.

Recommendations: Staff recommends the following conditions:

- Applicant shall submit a revised outline plan showing both the drainage easement and the floodway.

In addition, Staff urges the developer to use Low Impact Development (LID) techniques for managing stormwater runoff. Specific suggestions include designing the parking lot to allow stormwater to flow into the parking lot landscaped areas and using a combination of asphalt and a permeable paving system for the parking lot. For example, the drive aisles could be asphalt and the parking spaces could be permeable pavers.

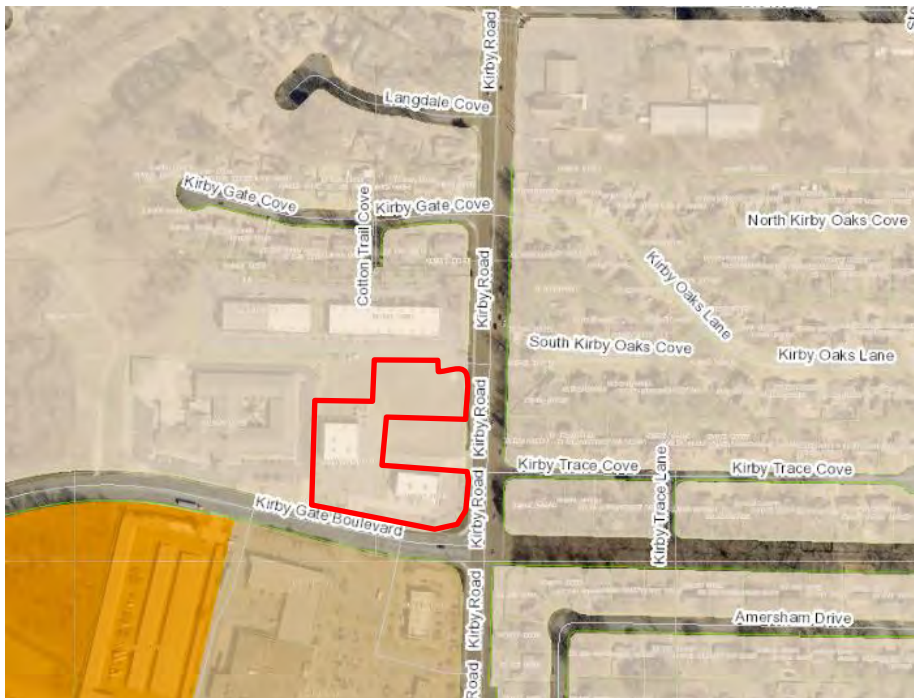
Dept. of Comprehensive Planning:

Land Use Designation (see page 86 for details): Primarily Single-Unit Neighborhood (NS)

Based on the existing adjacent land uses and zoning the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

1. FUTURE LAND USE PLANNING MAP



Red polygon indicates the application sites on the Future Land Use Map.

2. Land use description & applicability:

Primarily Single-Unit Neighborhoods are located greater than a half mile outside of any anchor destination. These neighborhoods contain mostly detached, house scale residences, serving mostly single-family style living. This is considered the typical suburban community that is not as walkable or accessible from an anchor. See graphic portrayal to the right.



“NS” Goals/Objectives:

Preservation/maintenance of existing single-family housing stock and neighborhoods.

“NS” Form & Location Characteristics:

Primarily detached House-scale buildings. Primarily residential. 1-3 stories. Beyond 1/2 mile from a Community Anchor.

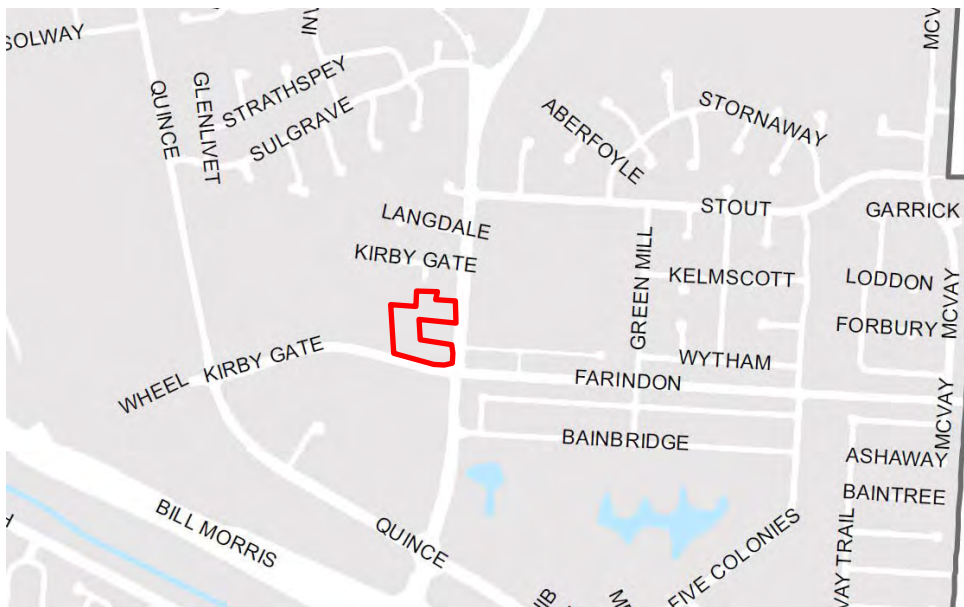
The applicant is seeking approval for a Planned Development amendment with the intention of allowing an additional retail building in Area C at 2472 Kirby Road.

Although the request of developing a quick service restaurant does not meet the criteria of NS, it will serve as a service use/amenity for the surrounding single-family neighborhoods. Additionally, the proposal will act as a buffer area between the primarily single-unit neighborhood to the north and east, and low intensity commercial and services to the south.

3. Existing, Adjacent Land Use and Zoning

The subject site is surrounded by the following land uses: Office, Multi-Family, Single-Family, and Commercial. The subject site is surrounded by the following zoning districts: CMU-1, R-10, and PDs. This requested land use is compatible with the adjacent land uses because existing land uses surrounding the parcels is similar in nature to the requested use.

4. Degree of Change map



Red polygon denotes the proposed site in Degree of Change area. There is no degree of change.

5. Degree of Change Descriptions

N/A

Based on the information provided, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Faria Urmey, Comprehensive Planning.

APPLICATION FORM



City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

LAND USE CONTROL BOARD PLANNED DEVELOPMENT APPLICATION
TO FILE ONLINE USE THE [DEVELOP 901 CITIZEN PORTAL](#)

Date: May 5, 2022

Previous Case/Docket #: PD. 17-19

PLEASE TYPE OR PRINT

Property Owner of Record: Wills and Wills, LP Phone #: 901-756-2748

Mailing Address: 6797 Messick Rd City/State: Memphis, TN Zip: 38119

Property Owner Email Address: walter@willslp.com

Applicant: Kirby Donuts Holdings, LLC - James Laskaris Phone #: 678-624-1035

Mailing Address: 1050-A Cambridge Square City/State: Alpharetta, GA Zip: 30009

Applicant Email Address: laskaris9@aol.com

Representative: Fisher Arnold, Inc. - David Baker Phone #: 901-748-1811

Mailing Address: 9180 Crestwyn Hills Dr City/State: Memphis, TN Zip: 38125

Representative Email Address: dbaker@fisheramold.com

Architect/Engineer/Surveyor: Fisher Arnold, Inc. Phone #: 901-748-1811

Mailing Address: 9180 Crestwyn Hills Dr. City/State: Memphis, TN Zip: 38125

Architect/Engineer/Surveyor Email Address: dbaker@fisheramold.com

PREMISES LOCATION (Describe by street address & directional location description, e.g. 200 Johnson Street, North side of Johnson Street, 100 feet east of Brown Street):

West side of Kirby Road 351'+- from the center line of Kirby Gate Blvd

Parcel ID: 081053 00088

Project Name: Dunkin Donuts - Area 3 - Kirby Gate Business Campus Planned Development

Project Description: Requesting the expansion of Area 3 by 1.5 acres and the addition of a 2,400 s.f. restaurant use be added to the permitted uses within Area 3

Did you have a pre-application meeting with the Division of Planning and Development (DPD)?

Planner: Chip Saliba Date of Meeting: April 18, 2022

Type of Planned Development (PD) (check one)? New PD Amendment to Existing PD

Is the development located within the Medical Overlay District or Uptown Special Purpose District (Note these areas do not permit new planned developments)? No (yes or no)

If this development is located in unincorporated Shelby County, is the tract at least three acres (Note a tract of less than three acres is not eligible for a planned development in unincorporated Shelby County)? No (yes, no, or n/a)

	Area 3	Area B	Area C
Acres:	Existing 2.03/ Proposed 2.89	_____	_____
Existing Use of Property:	Retail/Medical Office	_____	_____
Requested Use of Property:	Restaurant	_____	_____

Is this application in response to a citation, stop work order, or zoning letter? No (yes or no)

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information: _____

APPROVAL CRITERIA (UDC Section 9.6.9)

No planned development shall be approved unless the following findings are made concerning the application:

A) The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare: The proposed restaurant use is consistent with the existing retail and medical office uses and will not have a negative effect on adjacent properties or the neighborhood.

B) The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations: The proposed use is compatible with the immediate vicinity in that we are providing inner connectivity to the adjacent retail and office uses, we are using comprobable building construction materials and utilizing the same streetscape and buffer yards.

C) The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services: The existing roadway system is adequate to serve this use. Existing public utilities are at the site.

D) The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance: _____

The property is been farmland in the past and has remained vacant and undeveloped since farming activities ended. There aren't any significant natural, scenic or historically important features on the site.

E) The project complies with all additional standards imposed on it by any particular provisions authorizing such use: _____

The proposed development will comply with the requirements of the Kirby Gate Planned Development and abide by the Property Owners Association as related to security and landscape maintenance.

F) The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties: _____

The proposed use is consistent and compatible with existing development patterns and uses in the neighborhood and therefore will not violate the character of the area.

GENERAL PROVISIONS (UDC Section 4.10.3)

No planned development shall be approved unless the following findings are made concerning the application:

A) The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County: The proposed restaurant use is consistent with the existing retail and medical office office uses and will not have a negative effect on adjacent properties or the neighborhood.

B) An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development:

The proposed development is served by existing water and sanitary sewer services and will comply with the Stormwater Drainage Manual of the City of Memphis.

- C) The location and arrangement of the structures, parking and loading areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for such facilities shall be landscaped or otherwise improved except where natural features are such as to justify preservation: _____
The proposed use is compatible with the immediate vicinity in that we are providing inner connectivity to the adjacent retail and office uses, we are using comprobable building construction materials and utilizing the same streetscape and buffer yards.
- D) Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest: _____
The development patterns over the last 10 years has indicated the demand for retail and restaurant uses over medical and professional office space in the area. The expansion of retail uses in this area are consistent with public need.
- E) Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements: A property owners association is in place for maintenance, security and property improvements.
- F) Lots of record are created with the recording of a planned development final plan: Yes, this will be the 4th lot created in Area 3 of the PD.

LAND USE CONTROL BOARD PLANNED DEVELOPMENT APPLICATION GUIDE

To file online use the Develop 901 Citizen Portal: www.aca-prod.accela.com/SHELBYCO/Default

GENERAL INFORMATION

UNIFIED DEVELOPMENT CODE (UDC) REFERENCES FOR PLANNED DEVELOPMENTS:

- a) Planned Development – UDC Chapter 9.6 and Section 9.6.11
- b) Planned Development Amendment – UDC Paragraph 9.6.11E(1)

PRE-APPLICATION MEETING – This is a meeting in which the Division of Planning and Development Land Use and Development Services discusses the procedures, standards, and regulations required of a request in accordance with the Unified Development Code with the applicant(s) and/or their representative(s), see Section 9.3.1 of [Unified Development Code](#) for additional information. To schedule a pre-application meeting please call Land Use and Development Services at (901) 636-6619.

APPLICATION REVIEW PROCESS – [Click here](#) to view a flowchart that explains the review process by application type, as well as the expected review time for each.

NEIGHBORHOOD MEETING – At least ten (10) days, but not more than one hundred twenty (120) days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site, see Section 9.3.2 of the [Unified Development Code](#) for additional information, procedures, standards, and requirements.

APPLICATION DEADLINES – A link to the Applications Deadlines Calendar can be found on the Land Use and Development Services' [webpage](#).

LETTER OF INTENT



May 5, 2022

Mr. Chip Saliba, Deputy Administrator, Development Services
Memphis and Shelby County Office of Planning and Development
Land Use Controls
125 N Main Street, Suite 468
Memphis, TN 38104

**RE: KIRBY GATE BUSINESS CAMPUS P.D. 17-15
MAJOR MODIFICATION – DUNKIN DONUTS
MEMPHIS, TENNESSEE**

Dear Chip:

On behalf of Kirby Donuts Holdings, LLC., we are pleased to submit this Application to revise the Kirby Gate Business Campus Planned Development. The current planned development allows for commercial and service uses that "shall not exceed a maximum of 17,400 s.f of retail" within Area 3. Area #3 currently contains 2.03 acres. We are requesting an increase in the size of Area 3 to 2.89 acres and an increase in the maximum square footage to allow a maximum of 19,800 s.f.

The overall Planned Development contains 27.33 acres and is located on the west side of Kirby Road and north of Kirby Gate Boulevard. Our proposed amendment only affects Area 3 of the overall Planned Development. All other aspects of the current Outline Plan, such as landscaping, bulk requirements, etc. are not proposed to change and will remain in effect. Attached to our application packet are building elevations, proposed signage and a conceptual site plan.

As always, we look forward to working with the Office of Planning and Development and appreciate your consideration of our request. If there is anything you may need to assist in your review of our proposal, please do not hesitate to contact me.

Sincerely,

FISHER & ARNOLD, INC.

David Baker
Manager - Planning and Landscape Architecture

DBB/dbb

Z:\KRB\DONUTS\0001PL\planning\dunkin\donuts\application cover letter.doc

9807 Crosswood Hills Drive
Memphis, TN 38125
901.748.1811
Fax: 901.748.3105
Toll Free: 1.888.585.2724
www.fisherarnold.com

SEWER LETTER



JIM STRICKLAND
MAYOR

TENNESSEE

ENGINEERING DIVISION

May 25, 2022

SAL # 20220525-A
Basin: NN-8

David Baker
Department Head- Planning and Landscape Architecture
Fisher Arnold
9180 Crestwyn Hills Drive
Memphis, TN 38125

RE: Sewer Availability for Dunkin Donuts—Kirby Gate Business Campus

Dear Mr. Baker:

The proposed development known as Dunkin Donuts, located at Kirby Gate Business Campus (west side of Kirby, north of Quince) is in sewer basin NN-8. Our records indicate that there is an 8" private sewer on the site. The owner of Dunkin Donuts must have an agreement with the owner of the private sewer so as to connect to the private sewer line. Otherwise, sewer extension is required. Based on record information for our system and the proposed peak discharge of 100 G.P.D, we have determined that sufficient capacity is available to serve this development. This determination of sewer availability is applicable up to the peak (maximum) discharge indicated (including infiltration and inflow) from your site and will remain valid for a period of one year from the date of this letter.

If you propose to increase your discharge above the amount specified, this determination shall no longer be considered valid, another request for sewer availability must be submitted, and the system must be analyzed again. This letter serves as a determination of sewer availability only and does not grant approval of any sewer connections or any proposed sewer construction. Any site within unincorporated Shelby County must be reviewed by the Division of Public Works to determine whether a connection to the City of Memphis sewer system will be allowed. Construction of new connections to the City's sewer system by private contractors must be approved by the City Engineer. If you have any questions, I may be contacted at (901) 636-6725.

Sincerely,



Faraedoon M. Qaladize, P.E.
Sewer Design Engineer

cc:

TRIP GENERATION REPORT



May 20, 2022
Sent via Electronic delivery

Mr. Jack Stevenson, PE
125 N. Main St, Room 644
Memphis, TN 38103

**RE: TRIP GENERATION REPORT FOR
CASE PD2022-011 DUNKIN DONUTS
MEMPHIS, TN**

Mr. Stevenson:

Fisher Arnold was selected to provide a Trip Generation Report for a proposed development on behalf of the developer. The purpose of this report is to document the proposed scope, proposed land use, and anticipated traffic demand associated with the proposed development. Additionally, an analysis of the six (6) criteria for determining the need for a Traffic Impact Study (TIS) is included.

Executive Summary

The subject development satisfies 0 of the 6 criteria for a Traffic Impact Study. As no criterion are met, we do not recommend further study.

Project Scope

The project consists of developing property on the northwest corner of Kirby Road and Kirby Gate Boulevard into a Dunkin Donuts. Access to the site will be from Kirby Road and Kirby Gate Boulevard.

Propose Land Use

Currently the site is undeveloped and zoned as Medical Professional Office in the Kirby Gate Business Campus planned development. The proposed land use is Commercial (CMU-1).

9180 Crestwyn Hills Drive
Memphis, TN 38125

901.748.1811
Toll Free 1.888.583.9724

www.fisherarnold.com

Mr. Jack Stevenson
May 20, 2022
Page 2

Anticipated Traffic Demand

The anticipated trips generated from the proposed development were determined from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 10th Edition. Specifically, ITE Land Use 937 Coffee/Donut Shop with Drive-Through Window was utilized. The table below summarizes the expected number of trips using the Average equation. Trip reductions for pass-by trips are included in the table below due to the land use type as provided by the ITE Trip Generation Manual Pass-By Tables. However, trip reductions for non-vehicular mode share and internal capture trips are not applicable for the planned land use and were not deducted.

Trip Generations									
ITE Land Use		937 Coffee/Donut Shop with Drive-Through Window					GFA (SF)		2,307
Period	Weekday			AM Peak			PM Peak		
Directional Distribution	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit
	100%	50%	50%	100%	51%	49%	100%	50%	50%
Raw Trips	1,893	947	946	208	105	101	101	51	50
% Pass-By Trips	80%	80%	80%	80%	80%	80%	80%	80%	80%
Primary Trips	757	379	378	82	42	40	40	20	20
% Kirby Rd	80%	80%	80%	80%	80%	80%	80%	80%	80%
% Kirby Gate Blvd	20%	20%	20%	20%	20%	20%	20%	20%	20%
Kirby Rd Trips	606	303	302	66	34	32	32	16	16
Kirby Gate Trips	151	76	76	16	8	8	8	4	4

Roadway Classification and AADT

Roadway Classification and AADT for roads adjacent to the site are determining factors in a potential Traffic Impact Study. The adjacent road classification and AADT are listed below.

- Kirby Road is classified as a Major Collector by TDOT's Functional Classification Map. The most recent traffic history from TDOT shows 19,073 AADT for the year 2021.
- Kirby Gate Boulevard is classified as a Major Collector by TDOT's Functional Classification Map. The most recent traffic history from TDOT shows 1,695 AADT for the year 2021.

Criteria for Determining (TIS) Requirement:

The six (6) criteria found in Section 210 of the City of Memphis Traffic Impact Policy for Land Development was reviewed to determine which criteria, if any, were met that would warrant a Traffic Impact Study (TIS).

1. Any development that generates 500 or more peak hour trips.
 - a. *The development generates 82 peak hour trips (PM) which is less than the 500-trip threshold; therefore, this TIS criteria is not met.*

Mr. Jack Stevenson
May 20, 2022
Page 3

2. Any development with frontage along a Principal Arterial as classified by the Tennessee Department of Transportation and/or the Memphis Metropolitan Planning Organization (MPO) with an AADT of 25,000 or more that generates 250 or more peak hour trips.
 - a. *The development does not front a Principal Arterial as defined by either TDOT or the Memphis MPO. Nor does the development generate 250 or more peak hour trips. Therefore, this TIS criteria is not met.*
3. Any development with frontage along a Minor Arterial as classified by the Tennessee Department of Transportation and/or the Memphis Metropolitan Planning Organization (MPO) with an AADT of 15,000 or more that generates 150 or more peak hour trips.
 - a. *The development does not front a Minor Arterial as defined by TDOT or the Memphis MPO. Nor does the development generate 150 or more peak hour trips. Therefore, this TIS criteria is not met.*
4. Any development with frontage along a Collector as classified by the Tennessee Department of Transportation and/or the Memphis Metropolitan Planning Organization (MPO) with an AADT of 8,000 or more that generates 100 or more peak hour trips. This criterion also applies to any development with frontage along a Collector that generates 100 or more peak hour trips if that Collector has an immediate intersection point with a Principal Arterial or Minor Arterial that meets the criteria listed in sections 2 and 3, regardless of the traffic volume of the Collector.
 - a. *While the development does front a Collector Road, it does not generate 100 or more peak hours trips; therefore, this TIS criteria is not met.*
5. Any development with frontage along a roadway not currently classified by the Tennessee Department of Transportation and/or the Memphis Metropolitan Planning Organization (MPO) that generates 100 or more peak hour trips. This criterion includes developments with frontage along local neighborhood roadways.
 - a. *The development does not generate 100 or more peak hours trips; therefore, this TIS criteria is not met.*
6. Any development that would generate peak hour trips equivalent to 1% of the adjacent roadway AADT, or average weekday trips equivalent to 10% of the adjacent roadway AADT.
 - a. *The peak hour trips for the development assigned to Kirby Road (66-trips) are equivalent to 0.4% of the adjacent Kirby Road AADT. The peak hour trips assigned to Kirby Gate (16-trips) are equivalent to 0.9% of adjacent Kirby Gate Boulevard AADT. Both are less than the 1% threshold; therefore, this TIS criteria is not met.*
 - b. *The average weekday trips for the development assigned to Kirby Road (606-trips) are equivalent to 3% of the adjacent Kirby Road AADT. The peak hour trips assigned to Kirby Gate Boulevard (16-trips) are equivalent to 8.9% of the adjacent Kirby Gate Boulevard AADT. Both are less than the 10% threshold; therefore, this TIS criteria is not met.*

Mr. Jack Stevenson
May 20, 2022
Page 4

Summary of Results and Conclusion

In conclusion, 0 of the 6 criteria for a Traffic Impact Study are satisfied for the subject development. As no criterion are met, we do not recommend further study.

Sincerely,

FISHER & ARNOLD, INC.



Matthew Kennedy, P.E., PTOE

SIGN AFFIDAVIT

PUBLIC NOTICE SIGN POSTING AFFIDAVIT

AFFIDAVIT
Shelby County
State of Tennessee

I, David Baker, being duly sworn, deposes and says that at 5:00 pm on the 18th day of May, 2022, he posted Public Notice Signs pertaining to Case Number PD 2022-011 at the following address: west side of Kirby Road north of Kriby Gate Blvd, providing notice of a Public Hearing before the Land Use Control Board, Memphis City Council, Shelby County Board of Commissioners for consideration of a proposed Land Use Action (Planned Development, Special Use Permit, Use Variance, Zoning District Map Amendment), photograph of said sign being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

David Baker 5/19/22
Owner, Applicant or Representative, Date

Subscribed and sworn to before me this 19th day of May, 2022.



Hope Rogers
Notary Public

My commission expires: 3/2/2024



Kirby Road Sign



Kirby Gate Blvd Sign

OWNER'S AFFIDAVIT



Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, Wills & Wills, LP
by Walter Wills Partner Walter Wills, state that I have read the definition of
(Print Name) (Sign Name)

"Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract; a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises

I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at West Side of Kirby Road 351'+- from the center line of Kirby Gate Blvd
and further identified by Assessor's Parcel Number 08105300088
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 28th day of APRIL in the year of 2022

Frank J. Dent
Signature of Notary Public



JAN 28, 2024
My Commission Expires

LETTERS RECEIVED

One letter of opposition was received by the time of publication of this report. It has been pasted below.

Mr. Ragsdale,

Please be advised that, as required, Mr. Walter Wills and his representative, Mr. David Baker of Fisher Arnold, did meet with a few representatives of our neighborhoods to discuss the proposed 4th amendment to the Kirby Gate P.D. for the location of a Dunkin Donuts' facility just south of the existing Kirby Gate Office Park, fronting the west side of Kirby Parkway.

Our primary concern pertaining to this current development proposal for a Dunkin Donuts' operation in this location, is with regard to the associated restaurant aspect of the proposal. In the event that staff desires to recommend approval of the Dunkin Donuts' operation, we are imploring staff to limit the restaurant aspect of this development to an accessory and incidental use to the operation of a Dunkin Donuts' facility principally as a retail sales operation. We have grave concerns about the possible operation of any free-standing restaurant in such close proximity to the residential uses to the north. Restaurants often serve alcohol and may operate 24 hours a day, a highly plausible possibility which we find objectionable and in direct contravention to long-established efforts here to scale down the intensity of commercial activities as a transition to the adjacent office uses to the north, and the residential uses just beyond. Consequently, in an effort to support the developer and yet, contain full scale commercial encroachment, we are imploring staff to limit the uses permitted to O-G uses with the following exception as generally expressed below:

“Uses Permitted:

Uses Permitted by right within the O-G zone with the exception of one retail sales operation inclusive of a small dining area, said dining room area shall function solely as an accessory use incidental to the operation of the single principal retail sales use. The dining area functioning as an accessory use shall be located inside of the principal use. This provision shall not be construed to permit the operation of any free-standing or independent restaurant.”

The notation above expresses our intent but we will rely on staff's expertise as to the specific wording to accomplish this end. Please advise.

Thanks immensely for your assistance in this regard!!
Kirby Trace/Greentrees / Keswick-Sulgrave/ KSANA
Denise Sharpe-Bland (Staff for the above NAs)

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

**Planning & Zoning COMMITTEE: 7/12/22
DATE**

**PUBLIC SESSION: 7/12/2022
DATE**

ITEM (CHECK ONE)
 ORDINANCE RESOLUTION REQUEST FOR PUBLIC HEARING

ITEM DESCRIPTION: Resolution pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code approving a planned development at the subject property located at the south side of Barge Drive at the intersection of Barge Drive and Current Lane, known as case number PD 22-15

CASE NUMBER: PD 22-15

DEVELOPMENT: Houston Levee Trails Planned Development, 3rd Amendment, Area 3-B

LOCATION: The south side of Barge Drive at the intersection of Barge Drive and Current Lane

COUNCIL DISTRICTS: District 1 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Gautam Malhotra

REPRESENTATIVE: David Bray, The Bray Firm

REQUEST: A Planned Development amendment to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development

AREA: +/-1.757

RECOMMENDATION: The Division of Planning and Development recommended *Approval with conditions*
 The Land Use Control Board recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: **Public Hearing Not Required**
 First reading/hearing – July 12, 2022

PRIOR ACTION ON ITEM:

(1) _____	APPROVAL - (1) APPROVED (2) DENIED
05/12/2022 _____	DATE
(1) Land Use Control Board _____	ORGANIZATION - (1) BOARD / COMMISSION (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

(2) _____	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
\$ _____	AMOUNT OF EXPENDITURE
\$ _____	REVENUE TO BE RECEIVED
SOURCE AND AMOUNT OF FUNDS	
\$ _____	OPERATING BUDGET
\$ _____	CIP PROJECT # _____
\$ _____	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
_____	_____	MUNICIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	CHIEF ADMINISTRATIVE OFFICER
_____	_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

PD 22-15

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT THE SOUTH SIDE OF BARGE DRIVE AT THE INTERSECTION OF BARGE DRIVE AND CURRENT LANE, KNOWN AS CASE NUMBER PD 22-15

- This item is a resolution with conditions to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development; and
- This resolution, if approved with conditions, will supersede the existing zoning for this property; and
- The item may require future public improvement contracts.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, May 12, 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: MJR 2022-026 (PD 99-376 CORRES.)

DEVELOPMENT: Houston Levee Trails Planned Development, 3rd Amendment, Area 3-B

LOCATION: South side of Barge Drive at the intersection of Barge Drive and Current Lane

COUNCIL DISTRICT: District 1 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Gautam Malhotra

REPRESENTATIVE: David Bray, The Bray Firm

REQUEST: A Planned Development amendment to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development

AREA: +/-1.757acres

EXISTING ZONING: PD 99-376 Area 3-B approved conditions

The following spoke in support of the application: None

The following spoke in opposition the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion passed by a unanimous vote of 10-0 on the consent agenda.

Respectfully,



Seth Thomas
Municipal Planner
Land Use and Development Services
Division of Planning and Development

Cc: Committee Members
File

PD 22-15
CONDITIONS
Site Conditions

1. Outdoor Storage is prohibited

Outline Plan Conditions – Revisions

Proposed language is indicated in **bold, underline**; deletions are indicated in ~~**bold strikethrough**~~.

I. Uses Permitted:

- A. Area A – Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- B. Area B-1 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District.
- C. Area B-2 - Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- D. Area B-3 - ~~Any used permitted by right of Administrative Site Plan Review in the General Office (OG) District. Uses requiring a Special Use Permit are expressly Prohibited.~~ **Service businesses, including a contractor's office, with indoor storage of materials, inventory, equipment, supplies and a shop area, provided that a minimum of 20 percent (20%) of the building floor area shall be devoted to office space.**
- A. Area B-4 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District including an Assisted Living Facility. Uses requiring a Special Use Permit are expressly prohibited, with the exception of an assisted living facility
- B. Churches an accessory uses thereto on any property of 3 acres or larger in size having collector or arterial road frontage
- C. Accessory uses within each area shall be permitted in accordance with the respective District as indicate in II- Bulk Regulations below

II BULK REGULATIONS

- A Area A – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 FAR
 - 2) A 40 foot building setback from the west line of Area A shall be required
 - B Area B–1 – The bulk regulations of the Multiple Dwelling Residential (R–ML) Districts shall apply except.
 - 1) A 40 foot front yard setback shall apply along Houston Levee Road
 - 2) A 50 foot building setback for two–story buildings and a 100 foot building setback for three–story buildings from the west and south property lines shall apply
 - 3) Minimum lot size of 5,000 square feet is permitted for Single Family
 - 4) Minimum lot width of 45 feet is permitted
 - C Area B–2 – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 FAR
 - 2) A 40 foot building setback from the west line
 - D Area B–3 – The bulk regulations of the General Office (O–G) District shall apply
 - E Area B–4 – The bulk regulations of the Multiple Dwelling Residential (R–ML) District shall apply with the following exceptions
 - 1) A 40 foot front yard setback shall apply along Houston Levee Road and Grove Road
 - 2) A 50 foot building setback for two–story building and a 100 foot building setback for three story buildings from the west and south property lines shall apply
- The bulk regulations of the General Office (O–G) District shall apply where the area is developed for offices with the following exceptions
- 1) A 40 foot front yard setback shall apply along Houston Levee and Grove Road

III ACCESS, PARKING AND CIRCULATION

- A All private drive to be constructed to meet the Subdivision Regulation, applicable City Standards, and provide a minimum width of twenty–two feet (22') exclusive of curb and gutter
- B Improve Houston Levee Road to 42 feet of pavement, from centerline in accordance with Subdivision Regulations and Shelby County Paving Policy along the Area A and B–2 frontage Improve the frontages of areas B–1 and B–4 with one 12 foot wide lane of pavement and appropriate transitions, no curb and gutter required
- C Dedicate 60 feet from centerline Hwy 64 and improve by adding a third east bound lane with urban improvements in accordance with Subdivision Regulations or as required by Tennessee Department of Transportation
- D Dedicate a 3 centered radius at the intersection of US 64 and Houston Levee per Subdivision Regulations
- E Dedicate and improve Grove Road as a 60' minor collector street at the southern terminus of Area B–4
- F The design and location of curb cuts to be approved by the City/County Engineer
- G Permit one curb cut to Area A along the Houston Levee/Canada Road frontage beginning no closer than 350 feet from the centerline of US Hwy 64 Permit an additional two (2) curb cuts to Area A along Houston Levee Road spaced at a minimum of 200 feet between curb cuts
- H Permit two curb cuts along the US Hwy 64 frontage with a minimum spacing of 300' between curb cuts No curb cut along the US Hwy 64 frontage shall begin any closer than 300 feet from the centerline of Houston Levee/Canada Road
- I A joint use internal access easement shall be available for use by any tenant and their customers between all phases within Area A and any approved commercial use within Area B
- J Parking shall be provided in accordance with Section 28 of the Zoning Ordinance
- K A Traffic Study shall be prepared with the first final plat of either Area A or B Elements to be included in said study include trip generation, design hour volumes, trip distribution and assignment, existing and project traffic volumes, level of service, capacity analysis, need for traffic signals, accident data, conclusions and recommendations
- L Two curb cuts shall be permitted to Area B–2 along the Houston Levee Road frontage Access to Area B–3 shall be by perpetual access easement
- M Two curb cuts shall be permitted to Area B–4 along the Houston Levee Road frontage Mutual access shall be provided by perpetual access easement between the drive openings
- N Provide mutual ingress–egress easements between Parcel A and Parcel B–2

IV LANDSCAPING AND SCREENING

- A Provide a landscape screen (Plate A–4 or equivalent) acceptable to the Office of Planning and Development for those lots which have frontage on US Hwy 64 and Houston Levee Road in Areas A and B
- B Parking lot landscaping in Areas A and B shall be provided at a minimum ratio of 200 square feet of landscaped area and one shade tree (Tree A from the approved plant list of the Landscape Ordinance) per every 10 parking spaces or fraction thereof Landscaped areas shall not be less than 400 square feet in area in any single location and shall be located so that no parking space is farther than 75 feet from a tree
- C Provide a 15' wide landscape screen (Plate B–3/B–4 or equivalent) acceptable to the Office of Planning and Development along the southern and western boundaries of Area A
- D Refuse containers in Area A and B shall be completely screened from view from public roads being located at the rear of buildings or within a service court area which serves several tenants
- E Air conditioning, heating, ventilation or other mechanical equipment including that located on roofs, which are visible from an adjacent street or residential lot, shall be screened with the use of architectural features or landscaping
- F Utility features such as electrical wiring, conduit and meters shall also be screened using architectural features or landscaping
- G All utility services to buildings and signs shall be by underground conduit
- H Maximum height of light standards shall be 30 feet Lighting shall be directed so as not to glare onto residential property
- I A detailed landscape and site lighting plan shall be provided with the first final plan detailing the type and size of all plants and light standards to be used in Areas A and B approved by the Office of Planning and Development prior to the issuance of any building permit shall be issued without the express written certification by the Office of Planning and Development that the project is in conformance with the approved landscaping and site lighting plan
- J All required landscaping shall be provided exclusive of all existing and proposed easements
- K Provide a landscape screen (Plate N–1, 40' wide or equivalent) acceptable to the Office of Planning and Development along the western boundaries of Areas B and B–4, and the southern boundary of Area B–4

V DRAINAGE

- A An overall drainage plan for the entire site shall be submitted to the City/County Engineers prior to approval of the first final plat
- B All drainage plans shall be submitted to the City and County Engineers Office for review
- C Drainage improvements, including possible on-site detention, to be provided under contract in accordance with Subdivision Regulations and the City of Memphis Drainage Design Manual
- D This project must be evaluated by the Tennessee Department of Health and Environment regarding their jurisdiction over the water courses on this site in accordance with the Water Quality Control Act of 1977 as amended (TCA 89-3-101 et seq)
- E A prorated fee for major drainage improvements through this site may be required for phased development
- F The developer should be aware of his obligation under 40 CFR 122.25 (b) and TCA 69-03-101 et Seq To submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with construction and clearing/grading activity covered under the State and National Pollution Discharge Eliminating System (NPDES) general permit The NOI shall be submitted 15 days before construction/clearing/grading is proposed to disturb any area which exceeds 5 acres or is part of a larger, phased plan of development
- G All grading and drainage plans shall show a minimum of 100 feet of topo offset on all sides in order to determine the effect of off-site features on the subdivision under review or its effect on adjacent properties

VI PUBLIC SEWER, WATER AND EASEMENTS

- A Provision of sanitary sewer service approval to all lots within the development is the responsibility of the City of Memphis
- B The sewer system serving the project, as well as future serviceable area, shall be constructed so that it will tie into any City of Memphis Grays Creek extensions on a gravity flow basis
- C The sewer system serving this area shall be constructed so that it will have adequate capacity to serve upstream developments which eventually may flow through this area
- D The sewer development fee shall be paid to the City of Memphis in conjunction with the filing of any final plan
- E An overall sewer plan of the entire site shall be submitted to the City/County Engineer prior to approval of the first final plat
- F Install fire hydrants 500 feet apart at 2000 gpm at 20 psi Memphis Steamer 4.815 x 7
- G Provide a 5 foot utility easement along all front and rear and certain side property lines
- H An overall sewer plan for the entire site shall be submitted to the City Engineer prior to approval of the first final plat

VII SIGNS

- A Signs designating specific residential phases of the project may be permitted subject to the approval of the Office of Planning and Development
- B Commercial signs shall be in accordance with the Planned Commercial District with the following exceptions
 - 1) One (1) integrated center sign each per roadway frontage shall be permitted in Areas A and B
 - 2) One (1) detached sign, each a maximum of 150 square feet shall be permitted in Areas A and B
 - 3) No banners, streamers, balloons, portable or temporary signs shall be permitted
 - 4) No sign shall be located within 100 feet of any single family residential property line
- C The minimum sign setback from any property line shall be 15 feet

VIII SITE PLAN REVIEW

- A A final lot layout (site) plan shall be submitted for the review, comment, and recommendation of the Office of Planning and Development (OPD) and appropriate City and County agencies subject to the approval of the Land Use Control Board prior to approval of any final plan in Area A or Area B
- B The site plan shall be submitted at least thirty five (35) days prior to a Land Use Control Board meeting and shall
 - 1) Illustrate the size and configuration of all lots, the street layout, classification, and geometry of all streets, a drainage plan, building elevations and landscaping plan
 - 2) Include any other information considered necessary by the staff
 - 3) Include a traffic study pertaining to the development of Areas A and B
- C The site plan shall be reviewed based upon the following criteria
 - 1) Conformance with the outline plan conditions and to the standards and criteria to residential planned developments contained in Zoning and Subdivision Regulations
 - 2) Adequacy of public facilities (streets, sewers, drainage, etc)
 - 3) Elements of site design such as building orientation and setback, access and parking and internal site circulation, landscaping and lighting
 - 4) Consistency between buildings in regard to utilization of gable roofs, general building elevations and materials used
 - 5) The Land Use Control Board may impose additional site design features at the time of site plan review

IX OTHER

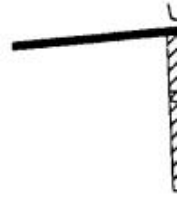
- A The Land Use Control Board may modify the building setback, building height, access, parking, landscaping and sign requirements if equivalent alternatives are presented
- B No final plan for Area B shall be filed until such time as SUP 89-225 CO expires or is amended to remove all land within Area B from the Special Use Permit Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- C Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- D No building permits shall be issued for any use in Areas B-2 or B-3 until a building permit(s) has been issued for Area B-1 for multifamily units

X TIME LIMIT

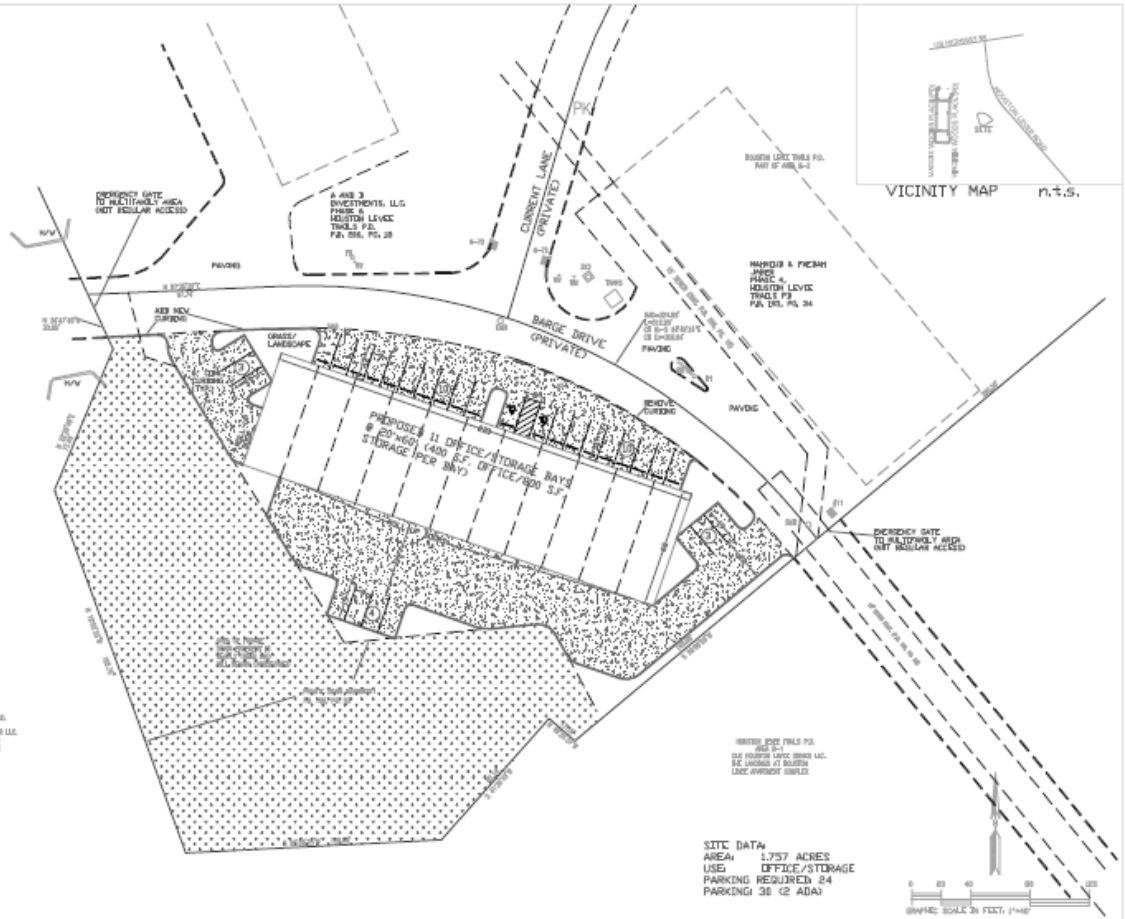
A final plan shall be filed for all phases of the project within five years of approval of the outline plan. The Land Use Control Board may grant extensions at the request of the applicant subject to additional conditions.

XII Any final plan shall include the following

- A The outline plan conditions
- B A standard subdivision contract as defined by the Subdivision Regulations for Any needed public improvements
- C The exact location and dimensions including height of all buildings or buildable areas, parking areas and number of parking spaces, drives, and required landscaping
- D The 100 year flood elevation
- E The location and ownership, whether public or private of any easement
- F The following note shall be placed on the final plan of any development
Requiring on-site storm water detention facilities. The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City or County Engineers, as applicable. The storm water detention systems located in these Areas, except for those parts located in a public drainage easement, shall be Owned and maintained by the property owner and/or property owners' Association. Such maintenance shall be performed so as to ensure that the System operates in accordance with the approved plan on file in the City/County Engineer's Office. Such maintenance shall include, but not be limited to Removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning And repair of drainage structures
- G A rendering, including plan view and elevation, of any proposed development identification signs showing the height, dimensions, and design thereof
- H Any site plan conditions imposed by the Land Use Control Board
- I Clear site areas shall be provided at the intersection of all streets in accordance with the Subdivision Regulations. The required note regarding clear site areas shall be placed on the final plat
- J Reflect the appropriate width pedestrian/sidewalk utility easement along both sides of all alternative design street dedications in accordance with the Subdivision Regulations



CONCEPT PLAN



MAJOR MODIFICATION		
HOUSTON LEVEL TRAILS P.D., 3RD AMENDMENT		
AREA B-3		
DATE: 03/09/2022	BY: J. W. BROWN, JR., P.E.	PROJECT: PD 99-376 CC
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 1	AREA: 1.757 ACRES	
DEVELOPER: SAUTAN MALHOTRA	ENGINEER: THE BRAY FIRM 2755 STAGE PLAZA NORTH BARTLETT, TN 38034 (615) 383-8660	
100 YEAR FLOOD ELEVATION: 309	FEMA MAP PANEL NUMBER: 47257C0220 G	FEMA MAP DATE: FEBRUARY 6, 2003
DATE: APRIL 2022	SCALE: 1"=30'	SHEET 1 OF 1

RESOLUTION PURSUANT TO CHAPTER 9.6 OF THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE APPROVING A PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED ON THE SOUTH SIDE OF BARGE DRIVE AT THE INTERSECTION OF BARGE DRIVE AND CURRENT LANE, KNOWN AS CASE NUMBER PD 22-15

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a planned development for certain stated purposes in the various zoning districts; and

WHEREAS, the Gautam Malhotra filed an application with the Memphis and Shelby County Division of Planning and Development to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives and standards for planned developments as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Memphis and Shelby County Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on May 12, 2017, and said Board has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a planned development is hereby granted in accordance with the attached outline plan conditions.

BE IT FURTHER RESOLVED, that the requirements of said aforementioned clause of the Unified Development Code shall be deemed to have been complied with; that the outline plan shall bind the applicant, owner, mortgagee, if any, and the legislative body with respect to the contents of said plan; and the applicant and/or owner may file a final plan in accordance with said outline plan and the provisions of Section 9.6.11 of the Unified Development Code.

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

OUTLINE PLAN CONDITIONS

Site Conditions

1. Outdoor Storage is prohibited

Outline Plan Conditions – Revisions

Proposed language is indicated in **bold, underline**; deletions are indicated in ~~**bold-strikethrough**~~.

I. Uses Permitted:

- A. Area A – Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- B. Area B-1 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District.
- C. Area B-2 - Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- D. Area B-3 - ~~Any used permitted by right of Administrative Site Plan Review in the General Office (OG) District. Uses requiring a Special Use Permit are expressly Prohibited.~~ **Service businesses, including a contractor's office, with indoor storage of materials, inventory, equipment, supplies and a shop area, provided that a minimum of 20 percent (20%) of the building floor area shall be devoted to office space.**
- A. Area B-4 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District including an Assisted Living Facility. Uses requiring a Special Use Permit are expressly prohibited, with the exception of an assisted living facility
- B. Churches an accessory uses thereto on any property of 3 acres or larger in size having collector or arterial road frontage
- C. Accessory uses within each area shall be permitted in accordance with the respective District as indicate in II- Bulk Regulations below

II BULK REGULATIONS

- A Area A – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 FAR
 - 2) A 40 foot building setback from the west line of Area A shall be required
 - B Area B–1 – The bulk regulations of the Multiple Dwelling Residential (R–ML) Districts shall apply except.
 - 1) A 40 foot front yard setback shall apply along Houston Levee Road
 - 2) A 50 foot building setback for two–story buildings and a 100 foot building setback for three–story buildings from the west and south property lines shall apply
 - 3) Minimum lot size of 5,000 square feet is permitted for Single Family
 - 4) Minimum lot width of 45 feet is permitted
 - C Area B–2 – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 FAR
 - 2) A 40 foot building setback from the west line
 - D Area B–3 – The bulk regulations of the General Office (O–G) District shall apply
 - E Area B–4 – The bulk regulations of the Multiple Dwelling Residential (R–ML) District shall apply with the following exceptions
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III ACCESS, PARKING AND CIRCULATION

- A All private drive to be constructed to meet the Subdivision Regulation, applicable City Standards, and provide a minimum width of twenty–two feet (22') exclusive of curb and gutter
- B Improve Houston Levee Road to 42 feet of pavement, from centerline in accordance with Subdivision Regulations and Shelby County Paving Policy along the Area A and B–2 frontage Improve the frontages of areas B–1 and B–4 with one 12 foot wide lane of pavement and appropriate transitions, no curb and gutter required
- C Dedicate 60 feet from centerline Hwy 64 and improve by adding a third east bound lane with urban improvements in accordance with Subdivision Regulations or as required by Tennessee Department of Transportation
- D Dedicate a 3 centered radius at the intersection of US 64 and Houston Levee per Subdivision Regulations
- E Dedicate and improve Grove Road as a 60' minor collector street at the southern terminus of Area B–4
- F The design and location of curb cuts to be approved by the City/County Engineer
- G Permit one curb cut to Area A along the Houston Levee/Canada Road frontage beginning no closer than 350 feet from the centerline of US Hwy 64 Permit an additional two (2) curb cuts to Area A along Houston Levee Road spaced at a minimum of 200 feet between curb cuts
- H Permit two curb cuts along the US Hwy 64 frontage with a minimum spacing of 300' between curb cuts No curb cut along the US Hwy 64 frontage shall begin any closer than 300 feet from the centerline of Houston Levee/Canada Road
- I A joint use internal access easement shall be available for use by any tenant and their customers between all phases within Area A and any approved commercial use within Area B
- J Parking shall be provided in accordance with Section 28 of the Zoning Ordinance
- K A Traffic Study shall be prepared with the first final plat of either Area A or B Elements to be included in said study include trip generation, design hour volumes, trip distribution and assignment, existing and project traffic volumes, level of service, capacity analysis, need for traffic signals, accident data, conclusions and recommendations
- L Two curb cuts shall be permitted to Area B–2 along the Houston Levee Road frontage Access to Area B–3 shall be by perpetual access easement
- M Two curb cuts shall be permitted to Area B–4 along the Houston Levee Road frontage Mutual access shall be provided by perpetual access easement between the drive openings
- N Provide mutual ingress–egress easements between Parcel A and Parcel B–2

IV LANDSCAPING AND SCREENING

- A Provide a landscape screen (Plate A–4 or equivalent) acceptable to the Office of Planning and Development for those lots which have frontage on US Hwy 64 and Houston Levee Road in Areas A and B
- B Parking lot landscaping in Areas A and B shall be provided at a minimum ratio of 200 square feet of landscaped area and one shade tree (Tree A from the approved plant list of the Landscape Ordinance) per every 10 parking spaces or fraction thereof Landscaped areas shall not be less than 400 square feet in area in any single location and shall be located so that no parking space is farther than 75 feet from a tree
- C Provide a 15' wide landscape screen (Plate B–3/B–4 or equivalent) acceptable to the Office of Planning and Development along the southern and western boundaries of Area A
- D Refuse containers in Area A and B shall be completely screened from view from public roads being located at the rear of buildings or within a service court area which serves several tenants
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- J All required landscaping shall be provided exclusive of all existing and proposed easements
- K Provide a landscape screen (Plate N–1, 40' wide or equivalent) acceptable to the Office of Planning and Development along the western boundaries of Areas B and B–4, and the southern boundary of Area B–4

V DRAINAGE

- A An overall drainage plan for the entire site shall be submitted to the City/County Engineers prior to approval of the first final plat
- B All drainage plans shall be submitted to the City and County Engineers Office for review
- C Drainage improvements, including possible on-site detention, to be provided under contract in accordance with Subdivision Regulations and the City of Memphis Drainage Design Manual
- D This project must be evaluated by the Tennessee Department of Health and Environment regarding their jurisdiction over the water courses on this site in accordance with the Water Quality Control Act of 1977 as amended (TCA 89-3-101 et seq)
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- G All grading and drainage plans shall show a minimum of 100 feet of topo offset on all sides in order to determine the effect of off-site features on the subdivision under review or its effect on adjacent properties

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- B The sewer system serving the project, as well as future serviceable area, shall be constructed so that it will tie into any City of Memphis Grays Creek extensions on a gravity flow basis
- C The sewer system serving this area shall be constructed so that it will have adequate capacity to serve upstream developments which eventually may flow through this area
- D The sewer development fee shall be paid to the City of Memphis in conjunction with the filing of any final plan
- E An overall sewer plan of the entire site shall be submitted to the City/County Engineer prior to approval of the first final plat
- F Install fire hydrants 500 feet apart at 2000 gpm at 20 psi Memphis Steamer 4.815 x 7
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- A Signs designating specific residential phases of the project may be permitted subject to the approval of the Office of Planning and Development
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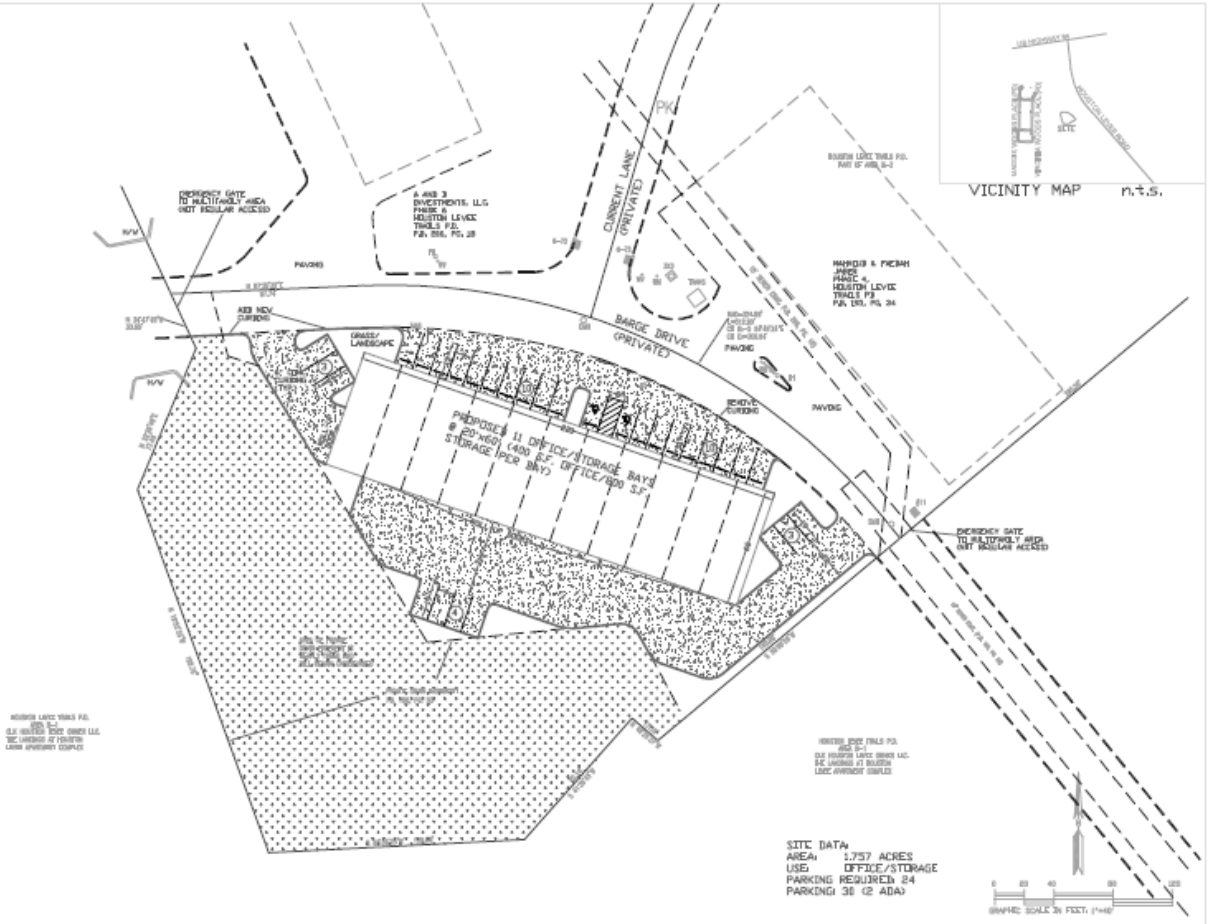
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- A A final lot layout (site) plan shall be submitted for the review, comment, and recommendation of the Office of Planning and Development (OPD) and appropriate City and County agencies subject to the approval of the Land Use Control Board prior to approval of any final plan in Area A or Area B
- B The site plan shall be submitted at least thirty five (35) days prior to a Land Use Control Board meeting and shall
 - 1) Illustrate the size and configuration of all lots, the street layout, classification, and geometry of all streets, a drainage plan, building elevations and landscaping plan
 - 2) Include any other information considered necessary by the staff
 - 3) Include a traffic study pertaining to the development of Areas A and B
- C The site plan shall be reviewed based upon the following criteria
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 - 2) Adequacy of public facilities (streets, sewers, drainage, etc)
 - 3) Elements of site design such as building orientation and setback, access and parking and internal site circulation, landscaping and lighting
 - 4) Consistency between buildings in regard to utilization of gable roofs, general building elevations and materials used
 - 5) The Land Use Control Board may impose additional site design features at the time of site plan review

IX OTHER

- A The Land Use Control Board may modify the building setback, building height, access, parking, landscaping and sign requirements if equivalent alternatives are presented
- B No final plan for Area B shall be filed until such time as SUP 89-225 CO expires or is amended to remove all land within Area B from the Special Use Permit Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- C Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- D No building permits shall be issued for any use in Areas B-2 or B-3 until a building permit(s) has been issued for Area B-1 for multifamily units

CONCEPT PLAN



SITC DATA
 AREA: 1.757 ACRES
 USE: OFFICE/STORAGE
 PARKING REQUIRED: 84
 PARKING: 38 (2 ADA)



MAJOR MODIFICATION		
HOUSTON LEVEE TRAILS P.D., 3RD AMENDMENT		
AREA B-3		
DATE: 09/04/2022	BY: J. B. BROWN, P.E.	PD 99-376 CC
MEMPHIS, TENNESSEE		
NUMBER OF LOTS: 1	AREA: 1.757 ACRES	
DEVELOPER: SULTAN RAHMETA	ENGINEER: THE BRAY FIRM 2950 STAGE PLAZA NORTH BARTLETT, TN 38024 (615) 383-8669	
100 YEAR FLOOD ELEVATION: 309	FEMA MAP PANEL NUMBER: 47257C0228 G	FEMA MAP DATE: FEBRUARY 6, 2013
DATE: APRIL 2022	SCALE: 1"=30'	SHEET 1 OF 1

AGENDA ITEM: 23

CASE NUMBER: MJR 2022-026 (PD 99-376 CORRES.) **L.U.C.B. MEETING:** May 12, 2022

DEVELOPMENT: Houston Levee Trails Planned Development, 3rd Amendment, Area 3-B

LOCATION: South side of Barge Drive at the intersection of Barge Drive and Current Lane

COUNCIL DISTRICT: District 1 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Gautam Malhotra

REPRESENTATIVE: David Bray, The Bray Firm

REQUEST: A Planned Development amendment to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development

AREA: +/-1.757acres

EXISTING ZONING: PD 99-376 Area 3-B approved conditions

CONCLUSIONS

1. The applicant is requesting a Planned Development amendment to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development
2. Although ancillary storage is allowed by right under the Office General (OG) district, staff felt that this request qualified as a more intense use with more focus on storage than office space and as such, this request was moved from a major modification to a Planned Development Amendment.
3. The property has very few development opportunities due to its location on a private street facing the back commercial businesses and the large drainage easement that takes up most of the rear of the property.
4. In Staffs opinion, the proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

CONSISTENCY WITH MEMPHIS 3.0

This proposal is **consistent** with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on page XX of this report.

RECOMMENDATION
Approval with conditions

GENERAL INFORMATION

Street Frontage: Barge Lane +/-409.7 curvilinear feet
Zoning Atlas Page: 1860
Parcel ID: 096200 00145
Existing Zoning: PD 99-376 Area 3-B approved conditions

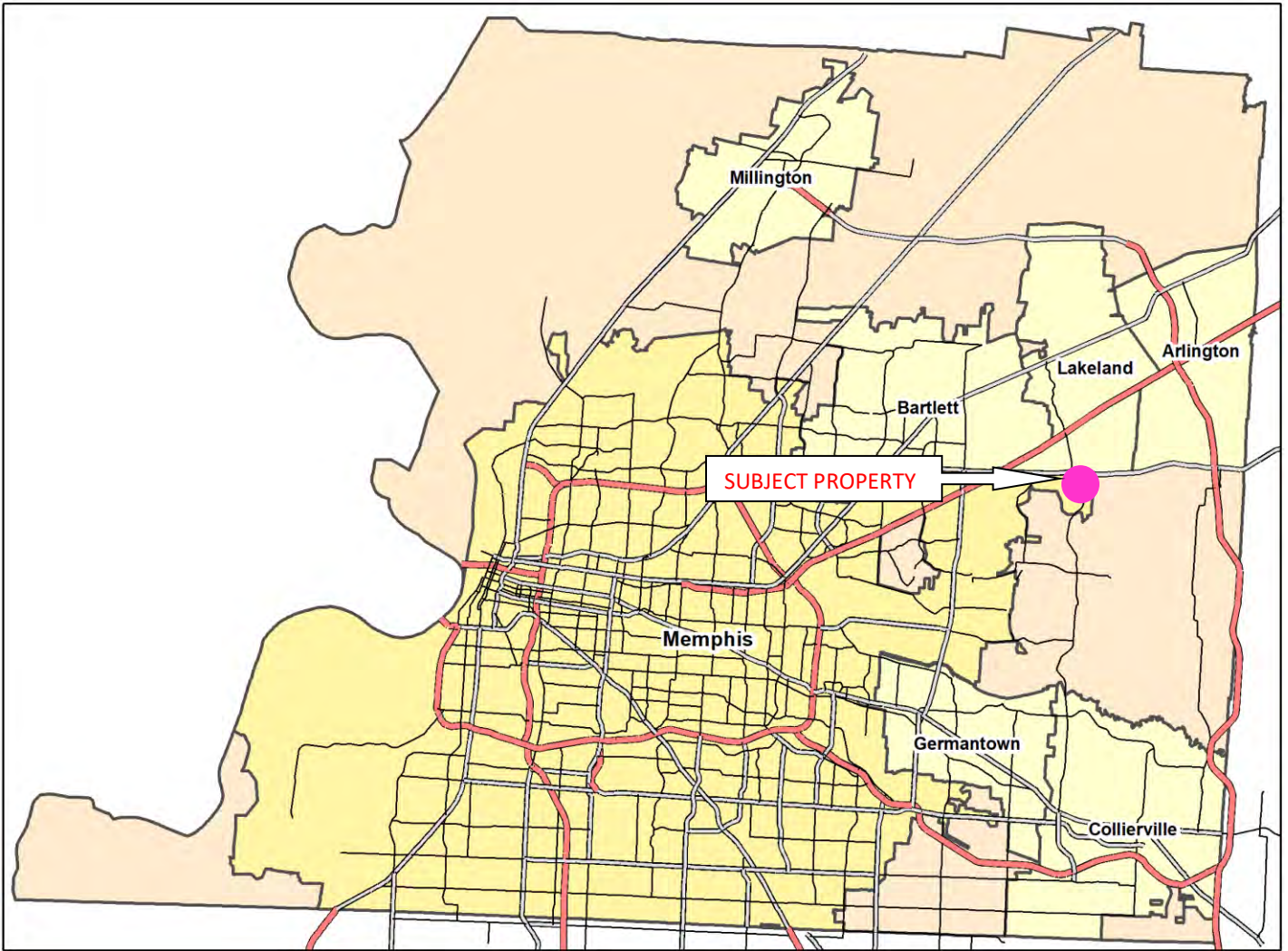
NEIGHBORHOOD MEETING

The meeting was held at 7:30 PM on Tuesday, May 2, 2022, on ZOOM.

PUBLIC NOTICE

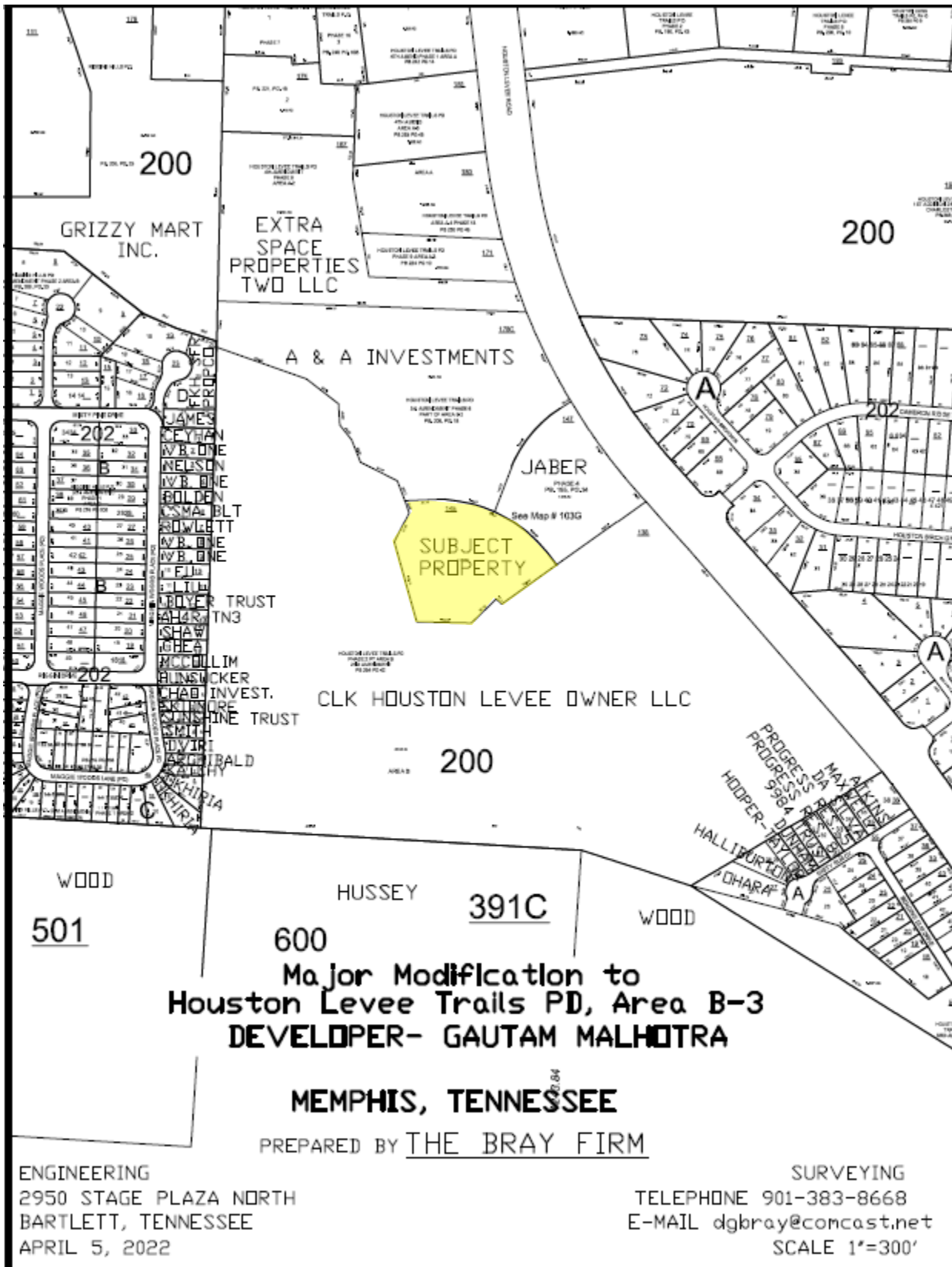
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 65 notices were mailed on April 27, 2022, and a total of 1 sign posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



Subject property located within the pink circle

VICINITY MAP



Subject property highlighted in yellow

AERIAL



Subject property outlined in yellow

ZONING MAP



Subject property highlighted in yellow

Existing Zoning: PD 99-376 Area 3-B approved conditions

Surrounding Zoning

North: PD 99-376 Area B-2 approved conditions

East: PD 99-376 Area B-1 approved conditions

South: PD 99-376 Area B-1 approved conditions

West: PD 99-376 Area B-1 approved conditions

LAND USE MAP



LandUse

 SINGLE-FAMILY	 OFFICE
 MULTI-FAMILY	 INDUSTRIAL
 INSTITUTIONAL	 PARKING
 COMMERCIAL	 VACANT
 RECREATIONAL / OPEN SPACE	

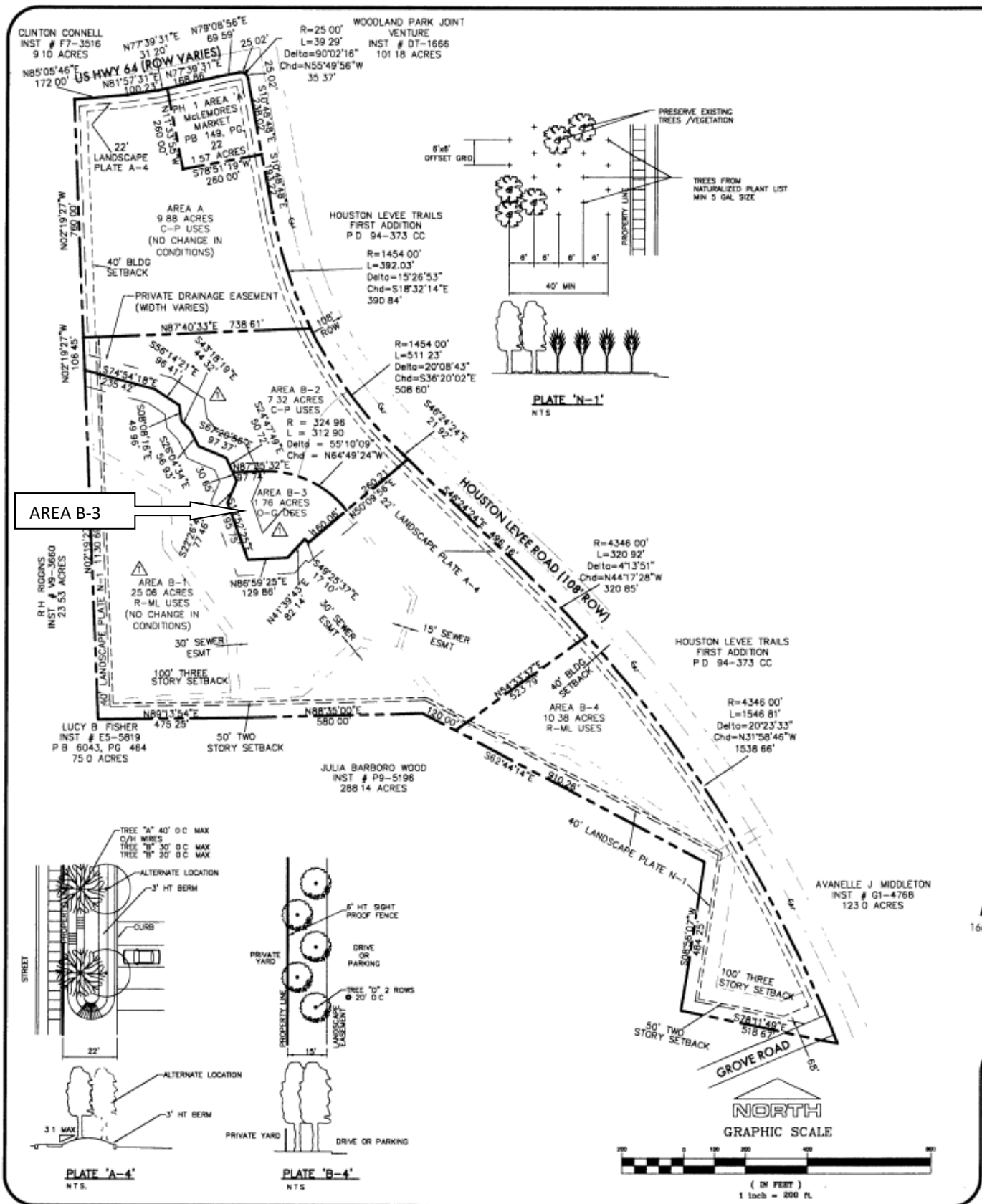
Subject property outlined indicated by a pink star

SITE PHOTO



View of the terminus of Current Lane looking at the middle of the property facing south

OUTLINE PLAN



STAFF ANALYSIS

Request

The application, planned development general provisions, and letter of intent have been added to this report.

The request is to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development

Applicability

Staff agrees the applicability standards and criteria as set out in Section 4.10.2 of the Unified Development Code are or will be met.

4.10.2 Applicability

The governing bodies may, upon proper application, grant a special use permit for a planned development (see Chapter 9.6) for a tract of any size within the City or for tracts of at least three acres in unincorporated Shelby County to facilitate the use of flexible techniques of land development and site design, by providing relief from district requirements designed for conventional developments, and may establish standards and procedures for planned developments in order to obtain one or more of the following objectives:

- A. *Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property.*
- B. *Diversification in the uses permitted and variation in the relationship of uses, structures, open space and height of structures in developments intended as cohesive, unified projects.*
- C. *Functional and beneficial uses of open space areas.*
- D. *Preservation of natural features of a development site.*
- E. *Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program.*
- F. *Rational and economic development in relation to public services.*
- G. *Efficient and effective traffic circulation, both within and adjacent to the development site, that supports or enhances the approved transportation network.*
- H. *Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environment and living units.*
- I. *Revitalization of established commercial centers of integrated design in order to encourage the rehabilitation of such centers in order to meet current market preferences.*
- J. *Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work.*
- K. *Consistency with the Memphis 3.0 General Plan.*

General Provisions

Staff agrees the general provisions standards and criteria as set out in Section 4.10.3 of the Unified Development Code are or will be met.

4.10.3 General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations of the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in this Chapter.

- A. *The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.*
- B. *An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.*
- C. *The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for structures, parking and loading areas or access way shall be landscaped or otherwise improved except where natural features are such as to justify preservation.*
- D. *Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.*
- E. *Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.*
- F. *Lots of record are created with the recording of a planned development final plan.*

Commercial or Industrial Criteria

Staff agrees the additional planned commercial or industrial development criteria as set out in Section 4.10.5 of the Unified Development Code are or will be met.

4.10.5 Planned Commercial or Industrial Developments

Approval of a planned commercial or industrial development may be issued by the governing bodies for buildings or premises to be used for the retail sale of merchandise and services, parking areas, office buildings, hotels and motels and similar facilities ordinarily accepted as commercial center uses and those industrial uses which can be reasonably be expected to function in a compatible manner with the other permitted uses in the area. In addition to the applicable standards and criteria set forth in Section 4.10.3, planned commercial or industrial developments shall comply with the following standards:

- A. *Screening*
When commercial or industrial structures or uses in a planned commercial or industrial development about a residential district or permitted residential buildings in the same development, screening may be required by the governing bodies.
- B. *Display of Merchandise*
All business, manufacturing and processing shall be conducted, and all merchandise and materials shall be displayed and stored, within a completely enclosed building or within an open area which is completely screened from the view of adjacent properties and public rights-of-way, provided, however, that when an automobile service station or gasoline sales are permitted in a planned commercial development, gasoline may be sold from pumps outside of a structure.
- C. *Accessibility*
The site shall be accessible from the proposed street network in the vicinity which will be adequate to carry the anticipated traffic of the proposed development. The streets and driveways on the site of the proposed development shall be adequate to serve the enterprises located in the proposed development.
- D. *Landscaping*
Landscaping shall be required to provide screening of objectionable views of uses and the reduction of noise. High-rise buildings shall be located within the development in such a way as to minimize any

adverse impact on adjoining low-rise buildings.

Approval Criteria

Staff agrees the approval criteria as set out in Section 9.6.9 of the Unified Development Code are being met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- A. The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- B. The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- C. The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- D. The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- E. The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- F. The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- G. The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- H. Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Description

The subject property is +/-1.757 acres located on the south side of Barge Drive at the terminus of Current Lane, which are both private streets. The site is a part of PD 99-376 with the referenced underlying zoning of OG and it is vacant land. A large part of the property is a private drainage easement and is heavily wooded.

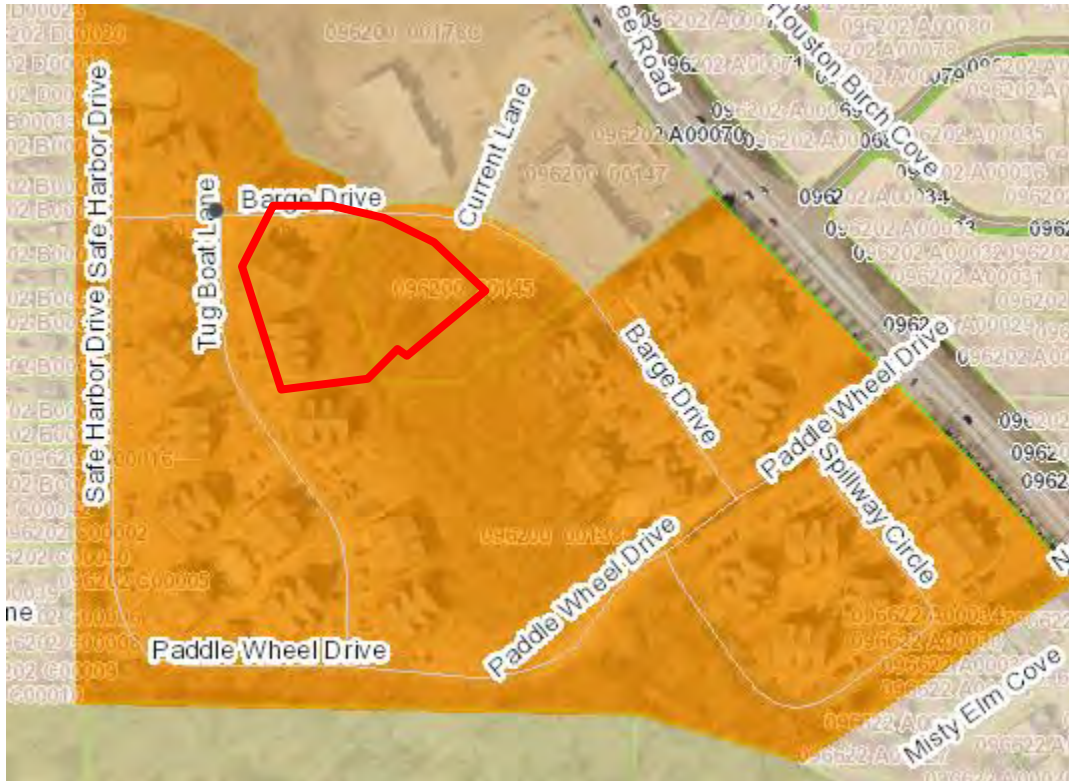
Site Zoning History

On April 11, 2000, the Council of the City of Memphis approved the 3rd amendment of the Houston Levee Trails Planned Development (PD 99-376), approving Office General Uses to be allowed in Area B-3.

Consistency with Memphis 3.0

Staff uses the following criteria contained in Memphis 3.0 to determine consistency.

1. FUTURE LAND USE PLANNING MAP



Red polygon indicates the application sites on the Future Land Use Map.

2. Land use description & applicability:

Multifamily Neighborhoods are characterized by their house and block size buildings that are a combination of attached, detached and semi attached homes. These neighborhoods are major residential hubs that consist of apartment complexes and condominiums, and located greater than a 10-minute walk outside of the closest anchor. See graphic portrayal to the right.



“NM” Goals/Objectives:

Preservation/maintenance of existing multi-family housing

“NM” Form & Location Characteristics:

Attached, semi-detached, and detached. House-scale and some block-scale buildings. Primarily residential with mixed use encouraged along avenues, boulevards and parkways as identified in the Street Types Map. 1-3+ stories height. Beyond 1/2 mile from a Community Anchor.

The applicant is seeking approval for building flex/storage space in a Primarily Multifamily Neighborhood.

The request does not meet the criteria of NM because the proposed use would be a storage facility in a residential area. While, existing zoning and the future land use are not compatible with the proposed development, the

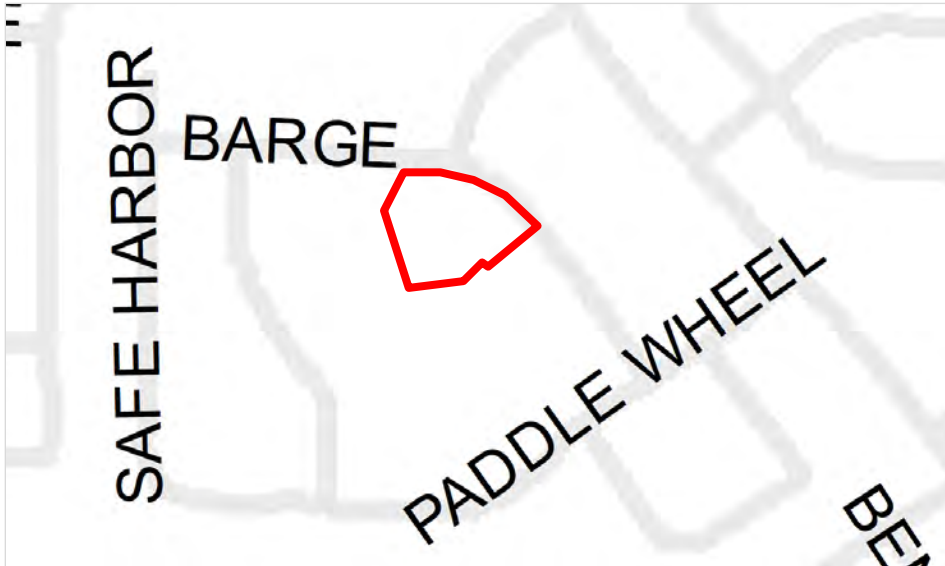
adjacent land uses are similar in nature to the proposed use. Additionally, the use will not disrupt the current character of the neighborhood.

3. Existing, Adjacent Land Use and Zoning

The subject site is surrounded by mostly Multi-Family Residential and Commercial uses. The subject site is in the CA (Conservation Agriculture) and surrounded by the R-10 and R-2 zones.

This requested land use is not compatible with the adjacent land uses because existing land uses surrounding the parcel is not similar in nature to the requested use.

4. Degree of Change map



Red polygon denotes the proposed site in Degree of Change area. There is no degree of change.

5. Degree of Change Descriptions

N/A

Based on the information provided, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Conclusions

The applicant is requesting a Planned Development amendment to allow flex/storage space in area B-3 of the Houston Levee Trails Planned Development

Although ancillary storage is allowed by right under the Office General (OG) district, staff felt that this request qualified as a more intense use with more focus on storage than office space and as such, this request was moved from a major modification to a Planned Development Amendment.

The property has very few development opportunities due to its location on a private street facing the back commercial businesses and the large drainage easement that takes up most of the rear of the property.

In Staffs opinion, the proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

RECOMMENDATION

Staff recommends approval with revisions to the outline plan conditions.

Site Conditions

1. Outdoor Storage is prohibited

Outline Plan Conditions – Revisions amendment

Proposed language is indicated in **bold, underline**; deletions are indicated in ~~bold strikethrough~~.

I. Uses Permitted:

- A. Area A – Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- B. Area B-1 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District.
- C. Area B-2 - Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- D. Area B-3 - ~~Any used permitted by right of Administrative Site Plan Review in the General Office (OG) District. Uses requiring a Special Use Permit are expressly Prohibited.~~ **Service businesses, including a contractor's office, with indoor storage of materials, inventory, equipment, supplies and a shop area, provided that a minimum of 20 percent (20%) of the building floor area shall be devoted to office space.**
- E. Area B-4 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District including an Assisted Living Facility. Uses requiring a Special Use Permit are expressly prohibited, with the exception of an assisted living facility
- F. Churches an accessory uses thereto on any property of 3 acres or larger in size having collector or arterial road frontage
- G. Accessory uses within each area shall be permitted in accordance with the respective District as indicate in II- Bulk Regulations below

II BULK REGULATIONS

- A Area A – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 F A R
 - 2) A 40 foot building setback from the west line of Area A shall be required
 - B Area B–1 – The bulk regulations of the Multiple Dwelling Residential (R–ML) Districts shall apply except.
 - 1) A 40 foot front yard setback shall apply along Houston Levee Road
 - 2) A 50 foot building setback for two–story buildings and a 100 foot building setback for three–story buildings from the west and south property lines shall apply
 - 3) Minimum lot size of 5,000 square feet is permitted for Single Family
 - 4) Minimum lot width of 45 feet is permitted
 - C Area B–2 – The bulk regulations of the Planned Commercial (C–P) District shall apply with the following exceptions
 - 1) The maximum Floor Area Ratio shall be 25 F A R
 - 2) A 40 foot building setback from the west line
 - D Area B–3 – The bulk regulations of the General Office (O–G) District shall apply
 - E Area B–4 – The bulk regulations of the Multiple Dwelling Residential (R–ML) District shall apply with the following exceptions
 - 1) A 40 foot front yard setback shall apply along Houston Levee Road and Grove Road
 - 2) A 50 foot building setback for two–story building and a 100 foot building setback for three story buildings from the west and south property lines shall apply
- The bulk regulations of the General Office (O–G) District shall apply where the area is developed for offices with the following exceptions
- 1) A 40 foot front yard setback shall apply along Houston Levee and Grove Road

III ACCESS, PARKING AND CIRCULATION

- A All private drive to be constructed to meet the Subdivision Regulation, applicable City Standards, and provide a minimum width of twenty–two feet (22') exclusive of curb and gutter
- B Improve Houston Levee Road to 42 feet of pavement, from centerline in accordance with Subdivision Regulations and Shelby County Paving Policy along the Area A and B–2 frontage Improve the frontages of areas B–1 and B–4 with one 12 foot wide lane of pavement and appropriate transitions, no curb and gutter required
- C Dedicate 60 feet from centerline Hwy 64 and improve by adding a third east bound lane with urban improvements in accordance with Subdivision Regulations or as required by Tennessee Department of Transportation
- D Dedicate a 3 centered radius at the intersection of U S 64 and Houston Levee per Subdivision Regulations
- E Dedicate and improve Grove Road as a 60' minor collector street at the southern terminus of Area B–4
- F The design and location of curb cuts to be approved by the City/County Engineer
- G Permit one curb cut to Area A along the Houston Levee/Canada Road frontage beginning no closer than 350 feet from the centerline of U S Hwy 64 Permit an additional two (2) curb cuts to Area A along Houston Levee Road spaced at a minimum of 200 feet between curb cuts
- H Permit two curb cuts along the U S Hwy 64 frontage with a minimum spacing of 300' between curb cuts No curb cut along the U S Hwy 64 frontage shall begin any closer than 300 feet from the centerline of Houston Levee/Canada Road
- I A joint use internal access easement shall be available for use by any tenant and their customers between all phases within Area A and any approved commercial use within Area B
- J Parking shall be provided in accordance with Section 28 of the Zoning Ordinance
- K A Traffic Study shall be prepared with the first final plat of either Area A or B Elements to be included in said study include trip generation, design hour volumes, trip distribution and assignment, existing and project traffic volumes, level of service, capacity analysis, need for traffic signals, accident data, conclusions and recommendations
- L Two curb cuts shall be permitted to Area B–2 along the Houston Levee Road frontage Access to Area B–3 shall be by perpetual access easement
- M Two curb cuts shall be permitted to Area B–4 along the Houston Levee Road frontage Mutual access shall be provided by perpetual access easement between the drive openings
- N Provide mutual ingress–egress easements between Parcel A and Parcel B–2

IV LANDSCAPING AND SCREENING

- A Provide a landscape screen (Plate A–4 or equivalent) acceptable to the Office of Planning and Development for those lots which have frontage on U S Hwy 64 and Houston Levee Road in Areas A and B
- B Parking lot landscaping in Areas A and B shall be provided at a minimum ratio of 200 square feet of landscaped area and one shade tree (Tree A from the approved plant list of the Landscape Ordinance) per every 10 parking spaces or fraction thereof Landscaped areas shall not be less than 400 square feet in area in any single location and shall be located so that no parking space is farther than 75 feet from a tree
- C Provide a 15' wide landscape screen (Plate B–3/B–4 or equivalent) acceptable to the Office of Planning and Development along the southern and western boundaries of Area A
- D Refuse containers in Area A and B shall be completely screened from view from public roads being located at the rear of buildings or within a service court area which serves several tenants
- E Air conditioning, heating, ventilation or other mechanical equipment including that located on roofs, which are visible from an adjacent street or residential lot, shall be screened with the use of architectural features or landscaping
- F Utility features such as electrical wiring, conduit and meters shall also be screened using architectural features or landscaping
- G All utility services to buildings and signs shall be by underground conduit
- H Maximum height of light standards shall be 30 feet Lighting shall be directed so as not to glare onto residential property
- I A detailed landscape and site lighting plan shall be provided with the first final plan detailing the type and size of all plants and light standards to be used in Areas A and B approved by the Office of Planning and Development prior to the issuance of any building permit shall be issued without the express written certification by the Office of Planning and Development that the project is in conformance with the approved landscaping and site lighting plan
- J All required landscaping shall be provided exclusive of all existing and proposed easements
- K Provide a landscape screen (Plate N–1, 40' wide or equivalent) acceptable to the Office of Planning and Development along the western boundaries of Areas B and B–4, and the southern boundary of Area B–4

V DRAINAGE

- A An overall drainage plan for the entire site shall be submitted to the City/County Engineers prior to approval of the first final plat
- B All drainage plans shall be submitted to the City and County Engineers Office for review
- C Drainage improvements, including possible on-site detention, to be provided under contract in accordance with Subdivision Regulations and the City of Memphis Drainage Design Manual
- D This project must be evaluated by the Tennessee Department of Health and Environment regarding their jurisdiction over the water courses on this site in accordance with the Water Quality Control Act of 1977 as amended (TCA 89-3-101 et seq)
- E A prorated fee for major drainage improvements through this site may be required for phased development
- F The developer should be aware of his obligation under 40 CFR 122.25 (b) and TCA 69-03-101 et Seq To submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with construction and clearing/grading activity covered under the State and National Pollution Discharge Eliminating System (NPDES) general permit The NOI shall be submitted 15 days before construction/clearing/grading is proposed to disturb any area which exceeds 5 acres or is part of a larger, phased plan of development
- G All grading and drainage plans shall show a minimum of 100 feet of topo offsite on all sides in order to determine the effect of off-site features on the subdivision under review or its effect on adjacent properties

VI PUBLIC SEWER, WATER AND EASEMENTS

- A Provision of sanitary sewer service approval to all lots within the development is the responsibility of the City of Memphis
- B The sewer system serving the project, as well as future serviceable area, shall be constructed so that it will tie into any City of Memphis Grays Creek extensions on a gravity flow basis
- C The sewer system serving this area shall be constructed so that it will have adequate capacity to serve upstream developments which eventually may flow through this area
- D The sewer development fee shall be paid to the City of Memphis in conjunction with the filing of any final plan
- E An overall sewer plan of the entire site shall be submitted to the City/County Engineer prior to approval of the first final plat
- F Install fire hydrants 500 feet apart at 2000 g p m at 20 psi Memphis Steamer 4 815 x 7
- G Provide a 5 foot utility easement along all front and rear and certain side property lines
- H An overall sewer plan for the entire site shall be submitted to the City Engineer prior to approval of the first final plat

VII SIGNS

- A Signs designating specific residential phases of the project may be permitted subject to the approval of the Office of Planning and Development
- B Commercial signs shall be in accordance with the Planned Commercial District with the following exceptions
 - 1) One (1) integrated center sign each per roadway frontage shall be permitted in Areas A and B
 - 2) One (1) detached sign, each a maximum of 150 square feet shall be permitted in Areas A and B
 - 3) No banners, streamers, balloons, portable or temporary signs shall be permitted
 - 4) No sign shall be located within 100 feet of any single family residential property line
- C The minimum sign setback from any property line shall be 15 feet

VIII SITE PLAN REVIEW

- A A final lot layout (site) plan shall be submitted for the review, comment, and recommendation of the Office of Planning and Development (OPD) and appropriate City and County agencies subject to the approval of the Land Use Control Board prior to approval of any final plan in Area A or Area B
- B The site plan shall be submitted at least thirty five (35) days prior to a Land Use Control Board meeting and shall
 - 1) Illustrate the size and configuration of all lots, the street layout, classification, and geometry of all streets, a drainage plan, building elevations and landscaping plan
 - 2) Include any other information considered necessary by the staff
 - 3) Include a traffic study pertaining to the development of Areas A and B
- C The site plan shall be reviewed based upon the following criteria
 - 1) Conformance with the outline plan conditions and to the standards and criteria to residential planned developments contained in Zoning and Subdivision Regulations
 - 2) Adequacy of public facilities (streets, sewers, drainage, etc)
 - 3) Elements of site design such as building orientation and setback, access and parking and internal site circulation, landscaping and lighting
 - 4) Consistency between buildings in regard to utilization of gable roofs, general building elevations and materials used
 - 5) The Land Use Control Board may impose additional site design features at the time of site plan review

IX OTHER

- A The Land Use Control Board may modify the building setback, building height, access, parking, landscaping and sign requirements if equivalent alternatives are presented
- B No final plan for Area B shall be filed until such time as SUP 89-225 CO expires or is amended to remove all land within Area B from the Special Use Permit Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- C Additionally, appropriate screening shall be required to buffer any residential development from the gravel mining operations
- D No building permits shall be issued for any use in Areas B-2 or B-3 until a building permit(s) has been issued for Area B-1 for multifamily units

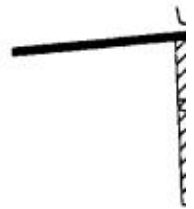
X TIME LIMIT

A final plan shall be filed for all phases of the project within five years of approval of the outline plan. Control Board may grant extensions at the request of the applicant subject to additional conditions.

XII Any final plan shall include the following

- A The outline plan conditions
- B. A standard subdivision contract as defined by the Subdivision Regulations for Any needed public improvements
- C The exact location and dimensions including height of all buildings or buildable areas, parking areas and number of parking spaces, drives, and required landscaping
- D The 100 year flood elevation
- E The location and ownership, whether public or private of any easement
- F The following note shall be placed on the final plan of any development Requiring on-site storm water detention facilities. The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City or County Engineers, as applicable. The storm water detention systems located in these Areas, except for those parts located in a public drainage easement, shall be Owned and maintained by the property owner and/or property owners' Association. Such maintenance shall be performed so as to ensure that the System operates in accordance with the approved plan on file in the City/County Engineer's Office. Such maintenance shall include, but not be limited to Removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning And repair of drainage structures
- G A rendering, including plan view and elevation, of any proposed development identification signs showing the height, dimensions, and design thereof
- H Any site plan conditions imposed by the Land Use Control Board
- I Clear site areas shall be provided at the intersection of all streets in accordance with the Subdivision Regulations. The required note regarding clear site areas shall be placed on the final plat
- J Reflect the appropriate width pedestrian/sidewalk utility easement along both sides of all alternative design street dedications in accordance with the Subdivision Regulations

■ ■ ■ ■ ■ ■ ■ ■



DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer:

CITY ENGINEERING COMMENTS DATE: **5/4/2022**

CASE: **MJR-22-026 (PD-99-376cc)** NAME: **Houston Levee Trails PD**

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. City sanitary sewers are available to serve this development.
3. All sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

6. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5-foot-wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5-foot clear pedestrian path, an exception may be considered.
7. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.
8. The developer's engineer shall submit a **Trip Generation Report** that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

9. The City Engineer shall approve the design, number and location of curb cuts.
10. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.

Drainage:

11. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
12. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
13. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
14. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
15. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

City/County Fire Division:

Case Number: PD 22-015

Date Reviewed: 4/26/22

Reviewed by: J. Stinson

Address or Site Reference: Houston Levee Trails

- All design and construction shall comply with the 2021 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).

- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

City Real Estate: No comments received.

City/County Health Department: No comments received.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Office of Sustainability and Resilience: No comments received.

Office of Comprehensive Planning: No comments received.

APPLICATION



City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

LAND USE CONTROL BOARD MAJOR MODIFICATION APPLICATION
TO FILE ONLINE USE THE [DEVELOP 901 CITIZEN PORTAL](#)

Date: 04.06.2022

Previous Case/Docket #: PD 99-376 CC

PLEASE TYPE OR PRINT

Property Owner of Record: Houston Levee Investments, LLC Phone #: 901.461.9009

Mailing Address: PO Box 100 City/State: Eads, TN Zip: 38028-0100

Property Owner Email Address: deynath@gmail.com

Applicant: Gautam Malhotra Phone #: _____

Mailing Address: _____ City/State: _____ Zip: _____

Applicant Email Address: ghar7250@gmail.com

Representative: _____ Phone #: _____

Mailing Address: _____ City/State: _____ Zip: _____

Representative Email Address: _____

Architect/Engineer/Surveyor: The Bray Firm Phone #: 901.383.8668

Mailing Address: 2950 Stage Plaza North City/State: Bartlett, TN Zip: 38134

Architect/Engineer/Surveyor Email Address: dgbay@comcast.net

PREMISES LOCATION (Describe by street address & directional location description, e.g. 200 Johnson Street, North side of Johnson Street, 100 feet east of Brown Street): _____

South side of Barge Drive (private) at Current Lane (private)

Parcel ID: 096200 00145

Project Name: Houston Levee Trails P.D., 3rd Amendment, Area 3-B

Project Description: 13200 office/storage/flex space on 1.757 acre tract

Did you have a pre-application meeting with the Division of Planning and Development (DPD)?

Planner: Seth Thomas Date of Meeting: 02.01.2022

Justification for Request: Request is to allow flex/storage space in area B-3 (approved for O-G uses). Subject property is at rear of existing commercial complex screened by existing trees and private drainage easement.

	Area A	Area B	Area C
Acres:	<u>1.757</u>	_____	_____
Existing Use of Property:	<u>vacant</u>	_____	_____
Requested Use of Property:	<u>office with storage</u>	_____	_____

Is this application in response to a citation, stop work order, or zoning letter? No (yes or no)

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information: _____

LAND USE CONTROL BOARD MAJOR MODIFICATION APPLICATION GUIDE

To file online use the Develop 901 Citizen Portal: www.aca-prod.accela.com/SHELBYCO/Default

GENERAL INFORMATION

UNIFIED DEVELOPMENT CODE (UDC) REFERENCES FOR MAJOR MODIFICATIONS:

- a) Planned Development – UDC Paragraphs 9.6.11E(2), 9.6.14A(2), and 9.6.14(3)
- b) Special Use Permit – UDC Sub-Sections 9.6.12B and 9.6.14B
- c) Subdivision – UDC Sub-Section 9.7.9B
- d) Street and Alley Closure – UDC Section 9.8.7

PRE-APPLICATION MEETING – This is a meeting in which the Division of Planning and Development Land Use and Development Services discusses the procedures, standards, and regulations required of a request in accordance with the Unified Development Code with the applicant(s) and/or their representative(s), see Section 9.3.1 of [Unified Development Code](#) for additional information. To schedule a pre-application meeting please call Land Use and Development Services at (901) 636-6619.

APPLICATION REVIEW PROCESS – [Click here](#) to view a flowchart that explains the review process by application type, as well as the expected review time for each.

APPLICATION DEADLINES – A link to the Applications Deadlines Calendar can be found on the Land Use and Development Services’ [webpage](#).

APPLICATION ASSISTANCE – [Click here](#) to view a list of firms and individuals who frequently provide assistance with the filing of applications with the Division of Planning and Development.

FILING FEE(S) – See the [Fee Schedule](#). Make checks payable to “M/SC Division of Planning and Development”

POSTED NOTICE – Posting sign(s) may be required, refer to Sub-Sections 9.3.4A and 9.3.4C of the [Unified Development Code](#) for specific requirements. If posted notice is required, the sign [affidavit](#) and a photograph of each sign on the subject
Revised 12.30.2021

LETTER OF INTENT

The Bray Firm

Telephone 901-383-8668
2950 Stage Plaza North
Bartlett, Tennessee 38134

April 6, 2022

Brett Ragsdale
Memphis and Shelby County
Office of Planning and Development
125 North Main Street
Memphis, Tennessee 38103

RE: PD 99-376 CC
Houston Levee Trails PD, 3rd Amendment, Area B-3
Memphis, Shelby County, Tennessee

Mr. Ragsdale;

Please find attached the above referenced application to amend the conditions of use for Area B-3 from O-G to office with warehouse space. The subject property is located at the rear of an existing commercial complex and while Barge Drive provides two points of emergency access to the existing multi-family complex to the south it is not a routine point of connection. The proposed building would face to the north (the rear of the existing commercial buildings) with the loading/storage areas located on the south side of the building screened by existing mature trees and a private drainage easement.

Thank you for considering this request. If you have any questions or need any additional information, please feel free to call.

Sincerely,

David Gean Bray, P.E.

SIGN AFFIDAVIT

AFFIDAVIT

Shelby County
State of Tennessee

I, GAUTAM MALHOTRA, being duly sworn, depose and say that at _____ am/pm on the _____ day of _____, 2022, I posted ONE Public Notice Sign(s) pertaining to Case No. MJR 2022-026 at BARGE LANE, CORNOVA, providing notice of a Public Hearing before the Land Use Control Board, _____ Memphis City Council, _____ Shelby County Board of Commissioners for consideration of a proposed Land Use Action (Planned Development, _____ Special Use Permit, _____ Zoning District Map Amendment, _____ Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

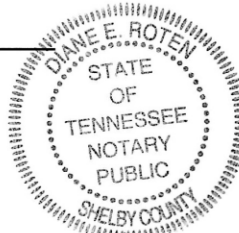
[Signature]
Owner, Applicant or Representative

4/27/2022
Date

Subscribed and sworn to before me this 27th day of April, 2022.

[Signature]
Notary Public

My commission expires: 8/20/23



LETTERS RECEIVED

No letters received at the time of completion of this report.

**MEMPHIS AND
SHELBY COUNTY**  **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

**LAND USE CONTROL BOARD MAJOR MODIFICATION APPLICATION
TO FILE ONLINE USE THE [DEVELOP 901 CITIZEN PORTAL](#)**

Date: 04.06.2022

Previous Case/Docket #: PD 99-376 CC

PLEASE TYPE OR PRINT

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Mailing Address: _____ City/State: _____ Zip: _____

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Architect/Engineer/Surveyor: The Bray Firm Phone #: 901.383.8668

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Parcel ID: 096200 00145

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Acres:	<u>1.757</u>	_____	_____
Existing Use of Property:	<u>vacant</u>	_____	_____
Requested Use of Property:	<u>office with storage</u>	_____	_____

Is this application in response to a citation, stop work order, or zoning letter? No (yes or no)

If yes, please provide a copy of the citation, stop work order, and/or zoning letter along with any other relevant information: _____

LAND USE CONTROL BOARD MAJOR MODIFICATION APPLICATION GUIDE

To file online use the Develop 901 Citizen Portal: www.aca-prod.accela.com/SHELBYCO/Default

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- Subdivision – UDC Sub-Section 9.7.9B
- Street and Alley Closure – UDC Section 9.8.7

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FILING FEE(S) – See the [Fee Schedule](#). Make checks payable to “M/SC Division of Planning and Development”

POSTED NOTICE – Posting sign(s) may be required, refer to Sub-Sections 9.3.4A and 9.3.4C of the [Unified Development Code](#) for specific requirements. If posted notice is required, the sign [affidavit](#) and a photograph of each sign on the subject

property are also mandatory. [Download](#) templates of the sign in a PowerPoint document. [Click here](#) for a list of companies that may be able to produce posted notice signs.

REQUIRED DOCUMENTS

As part of the application, the following documents are required to be submitted:

LETTER OF INTENT – A brief narrative statement generally describing the nature, location, and extent of the development and the market it is intended to serve.

CONCEPT/PRELIMINARY/SITE PLAN – In general, a drawing of the subject property drawn to an engineering scale, showing property boundary lines and dimensions, existing utilities and easements, roadways, rail lines and public rights-of-way, crossing and adjacent to the subject property; the proposed height, dimensions, and arrangements of buildings on the property; the type and location of proposed landscaping; the location of points of ingress to and egress (driveways), parking lots and loading areas on the site, any proposed substantial re-grading of the site and any significant topographical or physical features of the site including water courses or ponds; etc.

ORIGINAL APPROVAL DOCUMENTS – The original case/docket approval records, e.g. notice of disposition, resolution, ordinance, recorded outline plan, recorded final plat, etc.

VICINITY MAP – Map showing the subject property (boldly outlined) and all adjacent parcel owners. Refer to Sub-Section 9.3.4A of the [Unified Development Code](#) for specific notification requirements. Note two hardcopy sets of sticky labels must be provided and shall be dropped off at Suite 477 in City Hall, 125 N Main Street, Memphis, TN 38103. [Public Notice Tool User Guide](#).

MAILING LABELS OF NAMES AND ADDRESSES – A complete list of names and mailing addresses, of all property owners shown on the vicinity map, typewritten, and formatted as 1" x 2 5/8" labels (Avery 5160). Additionally, include the application property owner of record, applicant, representative, and/or Architect/Engineer/Surveyor. [Public Notice Tool User Guide](#).

DEED(S) – Most recent deed(s) on file with [Shelby County Register of Deeds](#).

OWNER AFFIDAVIT – [Affidavit of ownership or owner designee](#).

Additional documents may be required prior to approval including, but not limited, to:

ELEVATIONS – Building elevations may be required upon request by the Division of Planning and Development. Factors that will be taken into consideration by the Division of Planning and Development in its determination that building elevations are required are surrounding land uses, frontage requirements, proximity of the requested building(s) to the public right-of-way, conditions, etc.

LANDSCAPE PLAN – A detailed diagram that includes the specific location and spacing of plant materials. All plant materials shall be identified in a planting schedule chart that indicates the symbol, quantity, common name, botanical name, and minimum size at planting—caliper and height.

**MEMPHIS AND
SHELBY COUNTY**  **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

May 12, 2022

Houston Levee Investments, LLC
PO Box 100
Eads, TN 38028

Sent via electronic mail to: deynath@gmail.com

Houston Levee Trails Planned Development
Case Number: PD 22-015
LUCB Recommendation: Approval with conditions

Dear applicant,

On Thursday, May 12, 2021, the Memphis and Shelby County Land Use Control Board recommended **approval** of your planned development amendment application for the Houston Levee Trails Planned Development, subject to the attached conditions.

This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6619 or via email at Seth.Thomas@memphistn.gov.

Respectfully,



Seth Thomas

Letter to Applicant
PD 22-015

Municipal Planner
Land Use and Development Services
Division of Planning and Development

Cc: David Bray, The Bray Firm
File

Letter to Applicant

PD 22-015

Site Conditions

1. Outdoor Storage is prohibited

Outline Plan Conditions – Revisions amendment

Proposed language is indicated in **bold, underline**; deletions are indicated in ~~**bold strikethrough**~~.

I. Uses Permitted:

- A. Area A – Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- B. Area B-1 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District.
- C. Area B-2 - Any used permitted by right of Administrative Site Plan Review in the Planned Commercial (C- P) District. Uses requiring a Special Use Permit are expressly prohibited.
- D. Area B-3 - ~~Any used permitted by right of Administrative Site Plan Review in the General Office (OG) District. Uses requiring a Special Use Permit are expressly Prohibited. Service businesses, including a contractor's office, with indoor storage of materials, inventory, equipment, supplies and a shop area, provided that a minimum of 20 percent (20%) of the building floor area shall be devoted to office space.~~
- A. Area B-4 – Any used permitted by right of Administrative Site Plan Review in the Multiple Dwelling Residential (R-ML) District including an Assisted Living Facility. Uses requiring a Special Use Permit are expressly prohibited, with the exception of an assisted living facility
- B. Churches an accessory uses thereto on any property of 3 acres or larger in size having collector or arterial road frontage
- C. Accessory uses within each area shall be permitted in accordance with the respective District as indicate in II- Bulk Regulations below

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 9 August 2022

DATE

PUBLIC HEARING: 9 August 2022

DATE

ITEM (CHECK ONE)

ORDINANCE _____ RESOLUTION REQUEST FOR PUBLIC HEARING

ITEM CAPTION: Zoning ordinance amending Ordinance No. 5367 of the Code of Ordinances, City of Memphis, Tennessee, adopted on August 10, 2010, as amended, known as the Memphis and Shelby County Unified Development code, to authorize a zoning district change for the three parcels between 2500 Kate Bond Rd. and Interstate 40 from the Residential Single-Family – 8 district to the Commercial Mixed Use – 2 district, known as case number Z 22-3

CASE NUMBER: Z 22-3

LOCATION: The three parcels between 2500 Kate Bond Rd. and Interstate 40

COUNCIL DISTRICTS: District 1 and Super District 9

OWNER: TI Properties, LLC

APPLICANT: Quan Poole

REQUEST: Change zoning to Commercial Mixed Use – 2 (CMU-2)

RECOMMENDATION: The Division of Planning and Development recommended: *Approval*
The Land Use Control Board recommended: *Approval*

RECOMMENDED COUNCIL ACTION: **Public Hearing Required**
Set date for first reading – 12 July 2022
Second reading – 26 July 2022
Third reading – 9 August 2022

PRIOR ACTION ON ITEM:

(1) _____	APPROVAL - (1) APPROVED (2) DENIED
<u>9 June 2022</u>	DATE
(1) Land Use Control Board	ORGANIZATION - (1) BOARD / COMMISSION
	(2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

(2) _____	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
\$ _____	AMOUNT OF EXPENDITURE
\$ _____	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

\$ _____	OPERATING BUDGET
\$ _____	CIP PROJECT # _____
\$ _____	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
_____	_____	PRINCIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	CHIEF ADMINISTRATIVE OFFICER
_____	_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

Z 22-3

ZONING ORDINANCE AMENDING ORDINANCE NO. 5367 OF THE CODE OF ORDINANCES, CITY OF MEMPHIS, TENNESSEE, ADOPTED ON AUGUST 10, 2010, AS AMENDED, KNOWN AS THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, TO AUTHORIZE A ZONING DISTRICT CHANGE FOR THE THREE PARCELS BETWEEN 2500 KATE BOND RD. AND INTERSTATE 40 FROM THE RESIDENTIAL SINGLE-FAMILY – 8 DISTRICT TO THE COMMERCIAL MIXED USE – 2 DISTRICT, KNOWN AS CASE NUMBER Z 22-3

- Approval of this zoning district reclassification will be reflected on the Memphis and Shelby County Zoning Atlas; and
- No contracts are affected by this item; and
- No expenditure of funds/budget amendments are required by this item.

LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday 9 June 2022**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: Z 22-3

LOCATION: The three parcels between 2500 Kate Bond Rd. and Interstate 40

COUNCIL DISTRICT: District 1 and Super District 9

OWNER: TI Properties, LLC

APPLICANT: Quan Poole

REQUEST: Change zoning to Commercial Mixed Use – 2 (CMU-2)

AREA: 8.8 acres

EXISTING ZONING: Residential Single-Family – 8 (R-8)

The following spoke in support of the application: None

The following spoke in opposition of the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval of the application.

The motion passed by a unanimous vote of 8-0 on the consent agenda.

ORDINANCE NO: _____

ZONING ORDINANCE AMENDING ORDINANCE NO. 5367 OF THE CODE OF ORDINANCES, CITY OF MEMPHIS, TENNESSEE, ADOPTED ON AUGUST 10, 2010, AS AMENDED, KNOWN AS THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, TO AUTHORIZE A ZONING DISTRICT CHANGE FOR THE THREE PARCELS BETWEEN 2500 KATE BOND RD. AND INTERSTATE 40 FROM THE RESIDENTIAL SINGLE-FAMILY – 8 DISTRICT TO THE COMMERCIAL MIXED USE – 2 DISTRICT, KNOWN AS CASE NUMBER Z 22-3

WHEREAS, a proposed amendment to the Memphis and Shelby County Unified Development Code, being Ordinance No. 5367 of the Code of Ordinances, City of Memphis, Tennessee, as amended, has been submitted to the Memphis and Shelby County Land Use Control Board for its recommendation, designated as **Case Number: Z 22-3**; and

WHEREAS, the Memphis and Shelby County Land Use Control Board has filed its recommendation and the Division of Planning and Development has filed its report and recommendation with the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned amendment pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said amendment is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the provisions of the Code of Ordinances, City of Memphis, Tennessee, as amended, relating to the proposed amendment, have been complied with.

NOW THEREFORE, BE IT ORDAINED, BY THE COUNCIL OF THE CITY OF MEMPHIS:

SECTION 1:

THAT, the Memphis and Shelby County Unified Development Code, Ordinance No. 5367 of the Code of Ordinances, City of Memphis, as amended, be and the same hereby is amended with respect to Use Districts, as follows:

BY TAKING THE FOLLOWING PROPERTY OUT OF THE RESIDENTIAL SINGLE-FAMILY – 8 (R-8) USE DISTRICT AND INCLUDING IT IN THE COMMERCIAL MIXED USE – 2 (CMU-2) USE DISTRICT.

The following property located in the City of Memphis, Tennessee being more particularly described as follows:

The three parcels between 2500 Kate Bond Rd. and Interstate 40, comprising Area B of the Kate Bond Planned Development.

SECTION 2:

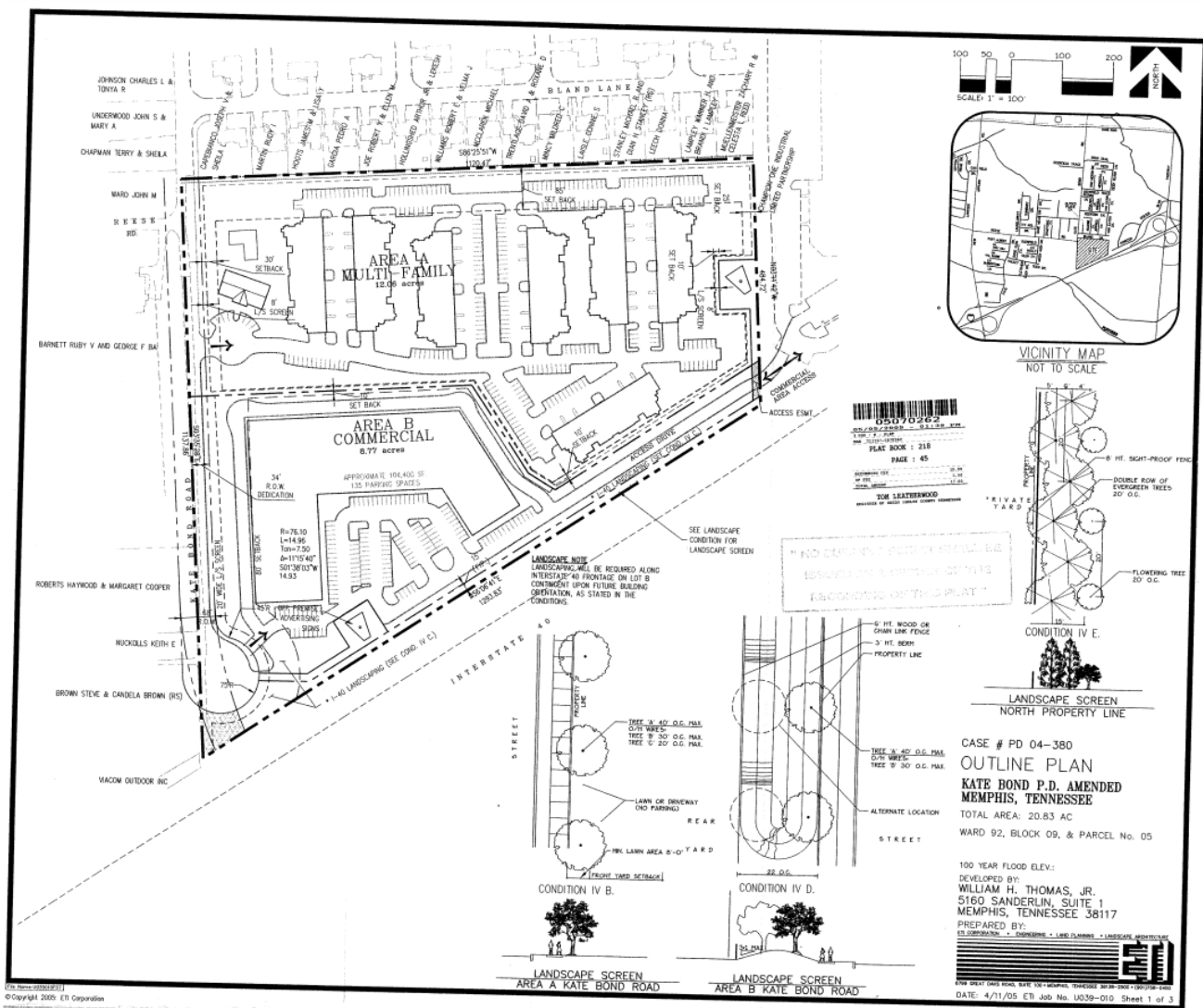
THAT, the Zoning Administrator of the Division of Planning and Development be, and is hereby

directed to make the necessary changes in the Official Use District Maps to conform to the changes herein made; that all official maps and records of the Memphis and Shelby County Land Use Control Board and the City of Memphis be, and they hereby are, amended and changed so as to show the aforementioned amendment of the said Zoning Ordinance.

SECTION 3:

THAT, this ordinance take effect from and after the date it shall have been passed by the Council, signed by the Chairman of the Council, certified and delivered to the Office of the Mayor in writing by the comptroller, and become effective as otherwise provided by law.

PD 04-380 – KATE BOND PLANNED DEVELOPMENT – OUTLINE PLAN (2005)



The subject land comprises Area B of the Kate Bond Planned Development.

Unless this PD is revoked, subject to Land Use Control Board approval, the underlying zoning designation has no effect on local land use regulation.

ATTEST:

CC: Division of Planning and Development
– **Land Use and Development Services**
– **Construction Enforcement**
Shelby County Assessor

AGENDA ITEM: 8

CASE NUMBER: Z 22-3 **L.U.C.B. MEETING:** 9 June 2022

LOCATION: The three parcels between 2500 Kate Bond Rd. and Interstate 40

COUNCIL DISTRICT: District 1 and Super District 9

OWNER: TI Properties, LLC

APPLICANT: Quan Poole

REQUEST: Change zoning to Commercial Mixed Use – 2 (CMU-2)

AREA: 8.8 acres

EXISTING ZONING: Residential Single-Family – 8 (R-8)

CONCLUSIONS (p. 12)

1. The applicant has requested the rezoning of three parcels with a total area of approximately 8.8 acres from Residential Single-Family – 8 to Commercial Mixed Use – 2.
2. The subject land comprises Area B of the Kate Bond Planned Development. Area B allows certain commercial uses, as well as two existing billboards. Unless this PD is revoked, subject to Land Use Control Board approval, the underlying zoning designation has no effect on local land use regulation.
3. Unlike Memphis and Shelby County, the State does not recognize Planned Developments as a legitimate form of rezoning for the purposes of allowing billboards. The applicant thus seeks a change to the underlying zoning classification to satisfy state standards. (That said, staff notes that the requested CMU-2 district does not allow billboards.)
4. Staff finds that this request will have no impact on local land use standards and is consistent with the Memphis 3.0 Comprehensive Plan.

CONSISTENCY WITH MEMPHIS 3.0 (pp. 14-17)

According to the Dept. of Comprehensive Planning, this request is *consistent* with the Memphis 3.0 Comprehensive Plan.

RECOMMENDATION (p. 12)

Approval

GENERAL INFORMATION

Street Frontage:	Interstate 40	<i>(Interstate)</i>	1294 linear feet
	Kate Bond Rd.	<i>(local street)</i>	709 linear feet

Zoning Atlas Page: 1850 and 1855

Parcel ID: 092009 00006, 092009 00007, and 092009 00009

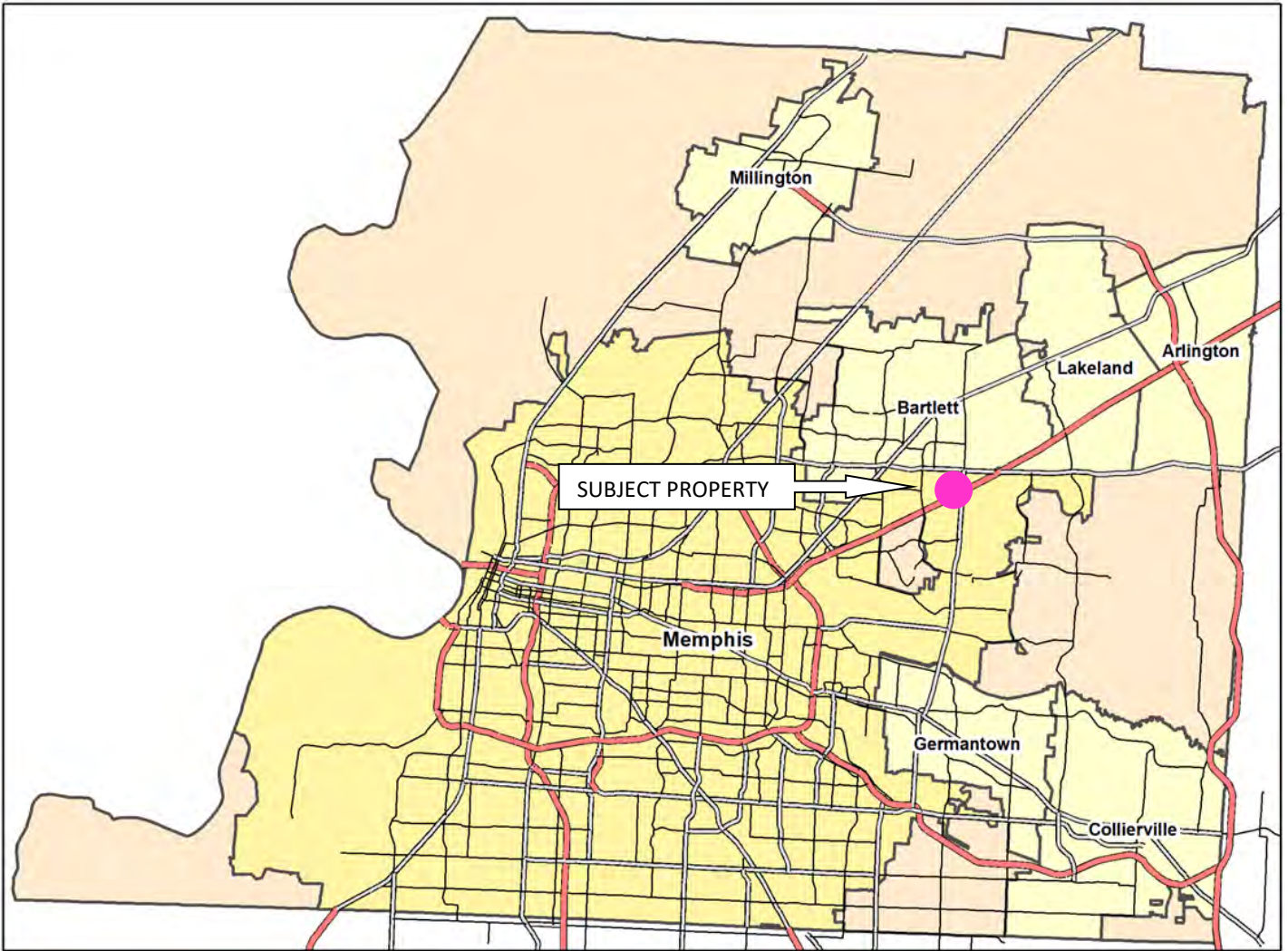
NEIGHBORHOOD MEETING

A neighborhood meeting was not conducted. This is acceptable under Paragraph 9.3.2A(1).

PUBLIC NOTICE

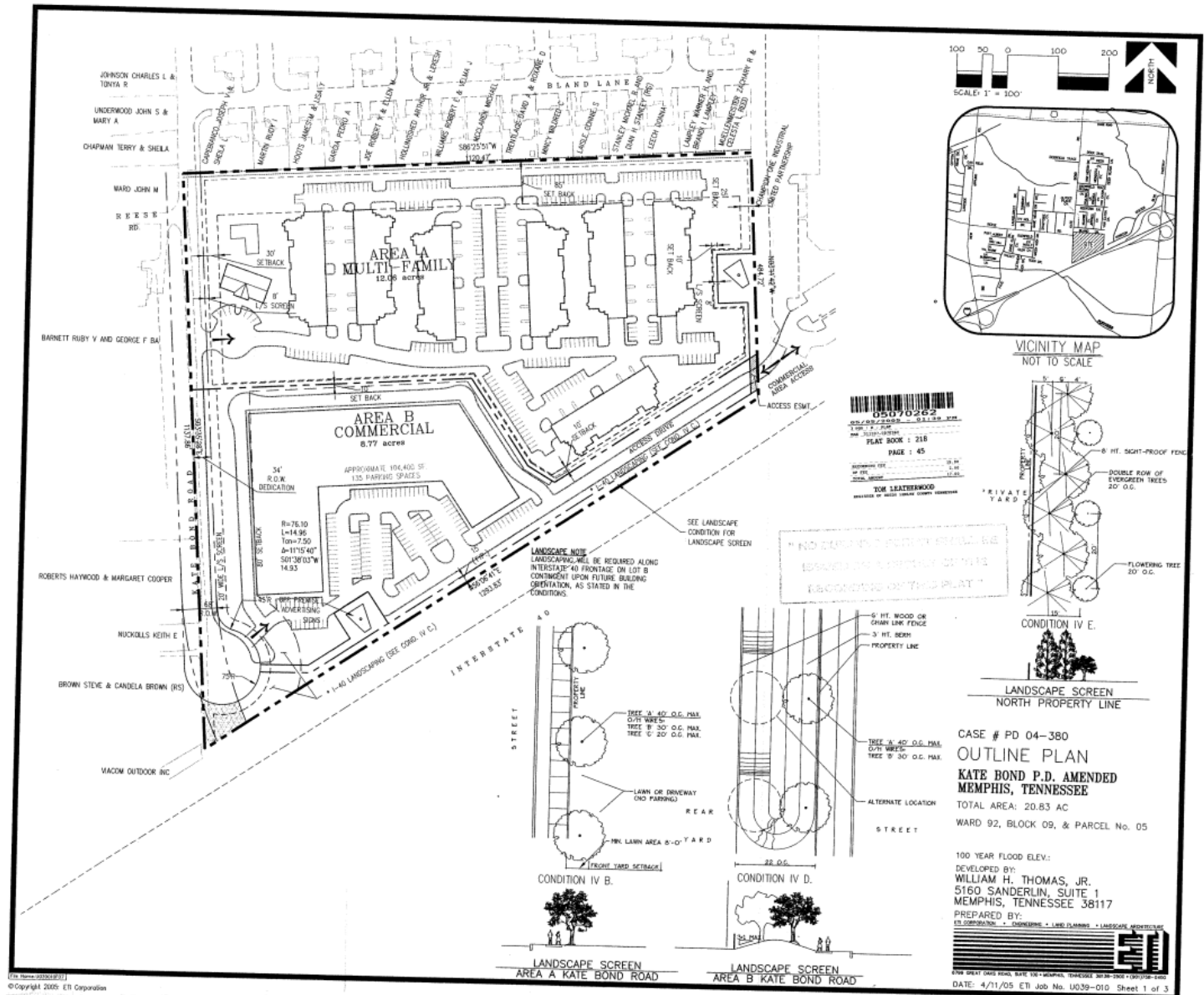
In accordance with Sub-Section 9.3.4A of the Unified Development Code, notice of public hearing is required to be mailed and posted. 70 letters were mailed on 28 April 2022, and three signs posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



Subject land located in Wolfchase neighborhood

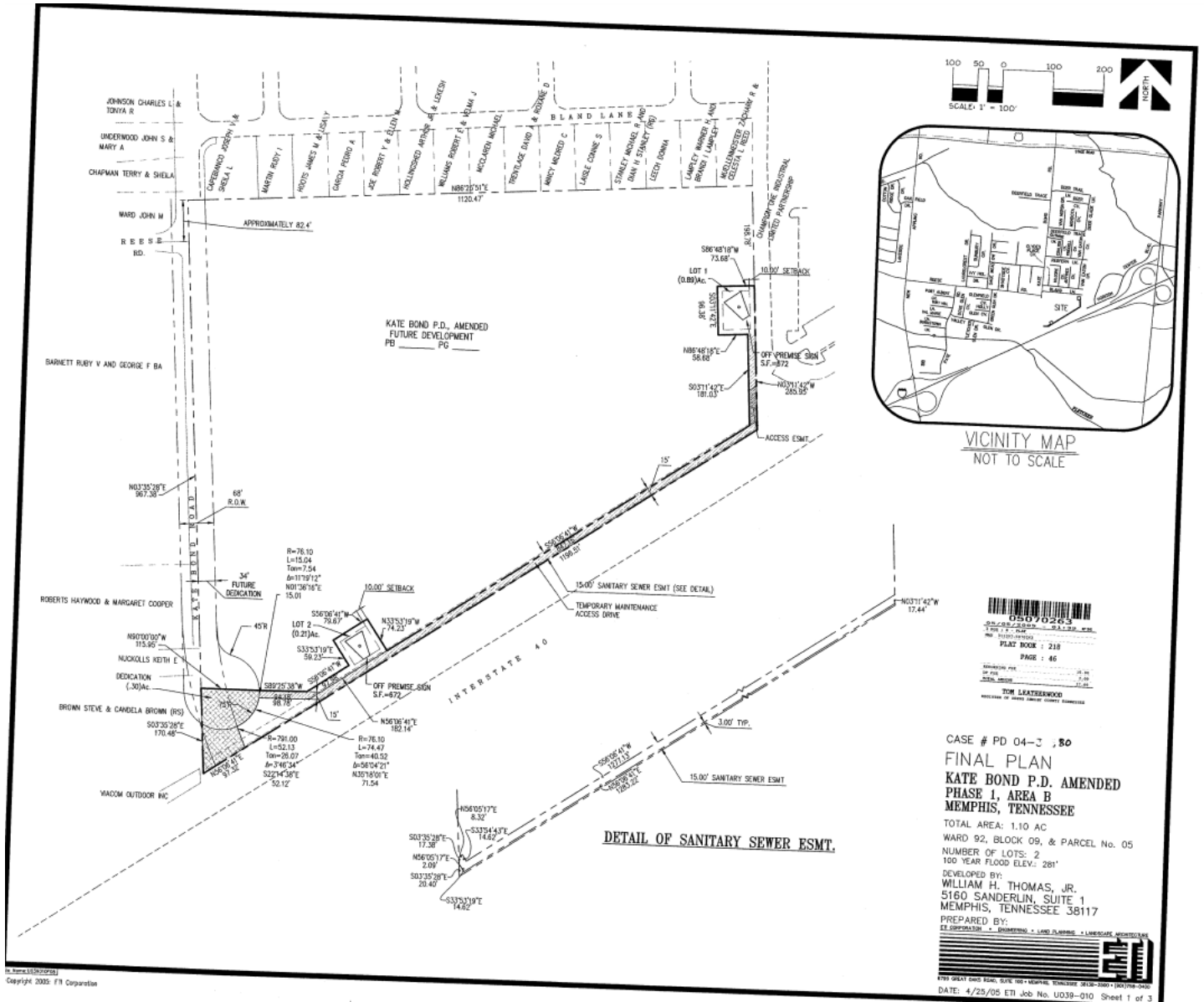
PD 04-380 – KATE BOND PLANNED DEVELOPMENT – OUTLINE PLAN (2005)



The subject land comprises Area B of the Kate Bond Planned Development.

Unless this PD is revoked, subject to Land Use Control Board approval, the underlying zoning designation has no effect on local land use regulation.

PD 04-380 – KATE BOND PLANNED DEVELOPMENT – FINAL PLAN, PHASE 1 OF AREA B (2005)



Phase 1 of Area B consists of two lots, each of which contains a billboard. Each lot corresponds to a subject parcel. The third subject parcel corresponds to the remaining land within Area B, which is not within a final plan.

SATELLITE PHOTO WITH ZONING



Existing Zoning: Residential Single-Family – 8 within PD 04-380

Surrounding Zoning

North: Residential Single-Family – 8 within PD 04-380

East: Conservation Agriculture within PD 87-339CC

South: Residential Single-Family – 15

West: Residential Single-Family – 6 and Conservation Agriculture

SITE PHOTOS



A view of the site looking north down Kate Bond



A view of the site, including one of the subject billboards



A view of the other of the subject billboards, as seen from the adjacent multifamily residential development

STAFF ANALYSIS

Request

The applicant has requested the rezoning of three parcels with a total area of approximately 8.8 acres from Residential Single-Family – 8 to Commercial Mixed Use – 2.

The application form and letter of intent have been included in this report.

Review Criteria

Staff **agrees** the review criteria as set out in Sub-Section 9.5.7B of the Unified Development Code are met.

9.5.7B Review Criteria

In making recommendations, the Land Use Control Board shall consider the following matters:

- 9.5.7B(1) Consistency with any plans to be considered (see Chapter 1.9);*
- 9.5.7B(2) Compatibility with the present zoning (including any residential corridor overlay district) and conforming uses of nearby property and with the character of the neighborhood;*
- 9.5.7B(3) Suitability of the subject property for uses permitted by the current versus the proposed district;*
- 9.5.7B(4) Whether the proposed change tends to improve the balance of uses, or meets a specific demand in the City or County; and*
- 9.5.7B(5) The availability of adequate police services, fire services, school, road, park, wastewater treatment, water supply and stormwater drainage facilities for the proposed zoning.*

Site Description

The three subject parcels comprise Area B of the Kate Bond Planned Development. Two of the parcels are lots and contain billboards. The third is vacant and not within a final plan. The land has frontage on both Kate Bond Rd. and Interstate 40.

Site Zoning History

In 1992, the Memphis City Council rezoned the subject land from Conservation Agriculture to Residential Single-Family – 8.

In 2004, the Memphis City Council approved a special use permit for a planned development (PD 04-345) that allowed commercial uses on the subject land, but not billboards.

In 2005, the Memphis City Council approved a planned development amendment (PD 04-380) to allow two billboards on the subject land.

Conclusions

The applicant has requested the rezoning of three parcels with a total area of approximately 8.8 acres from Residential Single-Family – 8 to Commercial Mixed Use – 2.

The subject land comprises Area B of the Kate Bond Planned Development. Area B allows certain commercial uses, as well as two existing billboards. Unless this PD is revoked, subject to Land Use Control Board approval, the underlying zoning designation has no effect on local land use regulation.

Unlike Memphis and Shelby County, the State does not recognize Planned Developments as a legitimate form of rezoning for the purposes of allowing billboards. The applicant thus seeks a change to the underlying zoning classification to satisfy state standards. (That said, staff notes that the requested CMU-2 district does not allow billboards.)

Staff finds that this request will have no impact on local land use standards and is consistent with the Memphis 3.0 Comprehensive Plan.

RECOMMENDATION

Staff recommends *approval*.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City Engineer:

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Dept., a determination can be made as to available sewer capacity.
3. This site is located in the Fletcher Creek Sewer Basin. The developer will have to apply for a sewer connection permit letter from the Director of Public Works. If approved, the developer will likely have to install an on-site storage tank with off-peak discharge capabilities.

Dept. of Comprehensive Planning:

This review is based on the Future Land Use and Existing and Adjacent Land Use and Zoning. Comments on billboard are not included in this review.

Parcel ID: 092009 00009:

Land Use Designation (see page 102 for details): Low Intensity Commercial & Services (CSL)

Based on the future, existing and adjacent land use planning map, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

1. Future Land Use Planning Map:



The red box indicates the application sites on the Future Land Use Map.

Land Use Description & Applicability:

Low Intensity Commercial and Service areas consist of low-rise buildings accessible mainly by a car and can encompass up to 5 acres of land for one building. These service areas are outside of the anchor boundary and are usually located along a corridor or within its own area of multiple commercial and service amenities.

“CSL” Goals/Objectives:

Improved development patterns along auto-oriented commercial corridors, revitalization

“CSL” Form & Location Characteristics:

Commercial and services uses
1-4 stories height

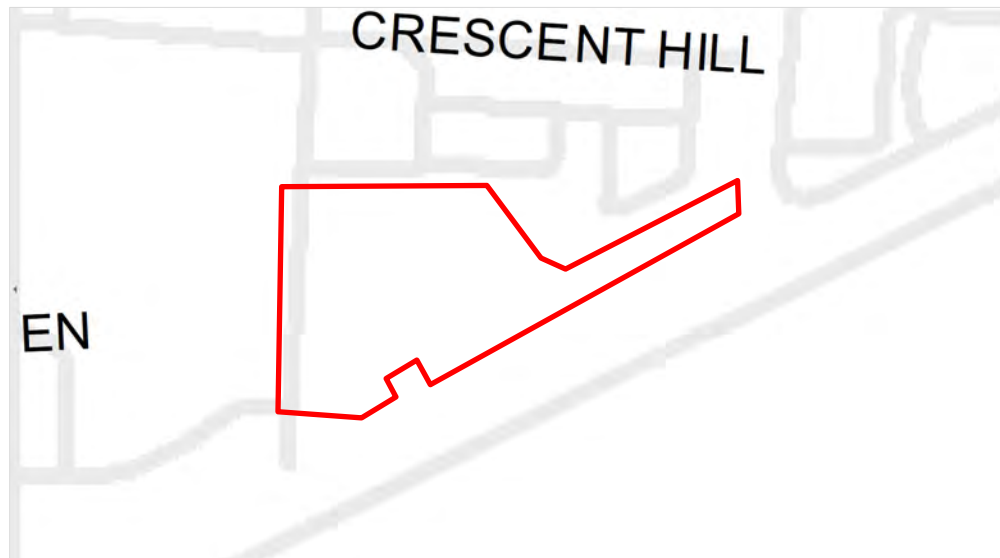
The applicant is seeking for a rezoning from R-8 Residential District to the CMU-2 Commercial District to modify the conditions of zoning pertaining to the Properties.

The request meets the criteria of CSL as the proposed use would be Commercial, which is included under Low Intensity Commercial & Services functions. The parcel is situated along a state route where a commercial development would be suitable for auto oriented uses. Therefore, the proposal is consistent for this parcel.

Existing, Adjacent Land Use and Zoning:

The subject site is surrounded by the following land uses: Industrial, Commercial, Single-family and Multifamily Residential uses. The subject site is surrounded by the following zoning districts: OG, CMU-1, EMP and CA. *This requested land use is compatible with these adjacent land uses and zoning districts because existing land use surrounding the parcel is similar in nature to the requested use.*

2. Degree of Change Map:



The site does not have a Degree of Change as indicated by the red box above.

3. Degree of Change Descriptions

N/A

Parcel ID: 092009 00006, 092009 00007

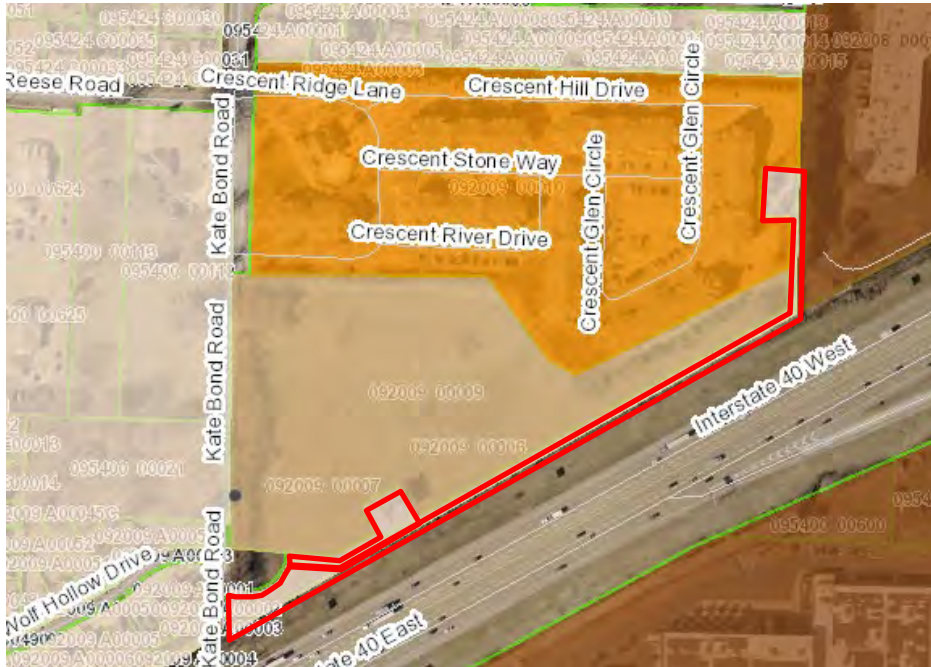
Land Use Designation (see page 86 for details): Primarily Single-Unit Neighborhood (NS)

Based on the existing and adjacent land use planning map, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

4. Future Land Use Planning Map:





The red box indicates the application sites on the Future Land Use Map.

5. Land Use Description & Applicability:

Primarily Single-Unit Neighborhoods (NS) are located greater than a half mile outside of any anchor destination. These neighborhoods contain mostly detached, house scale residences, serving mostly single-family style living. This is considered the typical suburban community that is not as walkable or accessible from an anchor. See graphic portrayal to the right.



“NS” Goals/Objectives:

Preservation/maintenance of existing single-family housing stock and neighborhoods

“NS” Form & Location Characteristics:

Primarily detached, house-scale buildings. Primarily residential and 1-3 stories. Located beyond 1/2 mile from a Community Anchor.

The applicant is seeking for a rezoning from R-8 Residential District to the CMU-2 Commercial District to modify the conditions of zoning pertaining to the Properties.

The request does not meet the criteria of NS as the proposed use would be Commercial, which is not included under Primarily Single-Unit Neighborhood functions. However, the parcel is situated along a state route where a commercial development would be more suitable than Residential due to noise and accessibility. The new development would not disrupt the current characteristic of the area because the location. Therefore, the proposal is consistent.

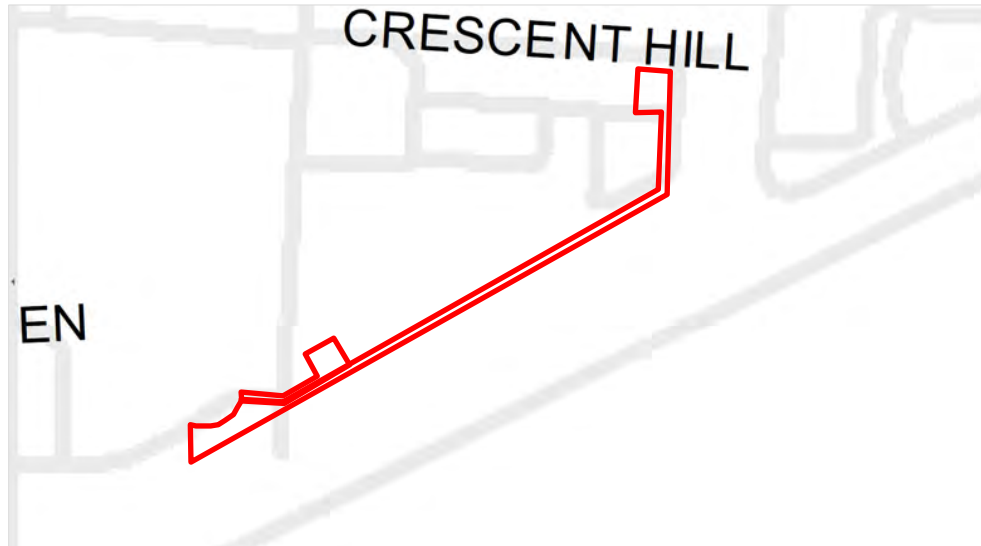
6. Existing, Adjacent Land Use and Zoning:

The subject site is surrounded by the following land uses: Commercial and Single-family, Multifamily Residential uses. The subject site is surrounded by the following zoning districts: EMP, CA, OG and CMU-1.

This requested land use is compatible with the adjacent land uses and zoning districts because existing land use

surrounding the parcel is similar in nature to the requested use.

7. Degree of Change Map:



The site does not have a Degree of Change as indicated by the red box above.

8. Degree of Change Descriptions

N/A

Based on the information provided, the proposal is CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Romana Haque Suravi, Comprehensive Planning

APPLICATION FORM



MEMPHIS AND SHELBY COUNTY

Record Summary for Rezoning

Record Detail Information

Record Type: Rezoning

Record Status: Pending

Opened Date: April 1, 2022

Record Number: Z 2022-003

Expiration Date:

Record Name: Kate Bond Re-zone

Description of Work: To re-zone the underlying base zoning of three properties currently within a PD. PD restrictions to remain in place.

Parent Record Number:

Address: 2412 KATE BOND RD, MEMPHIS 38133

Owner Information

Primary	Owner Name	Owner Address	Owner Phone
Yes	TI PROPERTIES LLC	1201 Demonbreun Street, Nashville, TN 37203	(615) 429-2145

Parcel Information

Parcel No:
092009 00006

Contact Information

Name	Organization Name	Contact Type	Phone
Quan Poole		Applicant	(615) 850-8496

Suffix:

Address

511 union street, suite 2700, nashville, TN 37219
511 union street, suite 2700, nashville, TN 37219
511 union street, suite 2700, nashville, TN 37219
511 union street, suite 2700, nashville, TN 37219
511 union street, suite 2700, nashville, TN 37219
511 union street, suite 2700, nashville, TN 37219

Fee Information

Invoice #	Fee Item	Quantity	Fees	Status	Balance	Date Assessed	Unit	Fee Code
1373500	Non-Residential Rezoning - 5 acres or less	1	1,000.00	INVOICED	0.00	04/06/2022		PLNGREZON E02
1373500	Non-Residential Rezoning - each additional acre or fraction above 5	4	400.00	INVOICED	0.00	04/06/2022	Acres	PLNGREZON E04
1373500	Credit Card Use Fee (.026 x fee)	1	36.40	INVOICED	0.00	04/06/2022		PLNGREZON E09
Total Fee Invoiced: \$1,436.40						Total Balance: \$0.00		

Payment Information

Payment Amount	Method of Payment
\$1,436.40	Credit Card

Data Fields

PREAPPLICATION MEETING

Name of DPD Planner	Lucas Skinner
Date of Meeting	03/28/2022

GENERAL INFORMATION

Is this application in response to a citation from Construction Code Enforcement or Zoning Letter?	No
Have you held a neighborhood meeting?	No
If yes, please provide additional information	-

GIS INFORMATION

Central Business Improvement District	No
Case Layer	-
Class	-
Downtown Fire District	No
Historic District	-
Land Use	-
Municipality	-
Overlay/Special Purpose District	-
Zoning	-

State Route	-
Lot	-
Subdivision	-
Planned Development District	-
Wellhead Protection Overlay District	-

Data Tables

ADDRESS AND PARCEL LIST

Property Parcel Number: 092009 0006

Property Parcel Number: 092009 0007

Property Parcel Number: 0920009 0009

LETTER OF INTENT



Waller Lansden Dortch & Davis, LLP
511 Union Street, Suite 2700
P.O. Box 198966
Nashville, TN 37219-8966
615.244.6380 main
615.244.6804 fax
wallerlaw.com

Quantavius Poole
615.850.8496 direct
Quan.Poole@wallerlaw.com

April 5, 2022

City of Memphis and Shelby County
Division of Planning and Development
125 North Main Street, 4th Floor
Memphis, TN 38103

**Re: Letter of Intent for Re-zoning Application for Property Located at o
Kate Bond Road, Memphis, Tennessee.**

Dear Planning Department:

Waller Lansden Dortch & Davis, LLP, LLC (the "Applicant") on behalf of T.I. Properties, LLC (the "Owner") requests a Rezoning of the approximately 8.77 acres located at o Kate Bond Road (Parcel Identification Numbers 092-009-00006, 092-009-00007, and 092-009-00009) (the Properties) from the R-8 Residential District to the CMU-2 Commercial District to modify the conditions of zoning pertaining to the Properties.

The Properties are a part of the Kate Bond Planned Development (PD) approved in 2005. The Kate Bond PD has been partially built out, but the land to be re-zone ("Area B") remains vacant. All conditions of the approved and existing PD will remain the same and all restrictions previously imposed by the PD will remain intact. The City will continue to enjoy the same control of development on this site post re-zoning. This re-zone request is purely an administrative request to ensure compliance with the Tennessee Department of Transportation (TDOT) rules and regulations pertaining to billboards. All land use restrictions are to remain the same. The Properties have been designated as Low Intensity Commercial & Service (CSL) according to Memphis 3.0 which makes the proposed re-zone application consistent with the land use policy adopted for the Properties.

For these reasons and because the requested re-zoning is consistent with the factors established in City of Memphis Zoning Ordinance, the Applicant respectfully asks the Planning Department and City Council approve the re-zoning as requested.

Very truly yours,

Quantavius Poole

SIGN AFFIDAVIT

AFFIDAVIT

Shelby County
State of Tennessee

I, SKIP MILLER, being duly sworn, depose and say that at 1:09 am on the 24th day of MAY, 2022, I posted 3 Public Notice Sign(s) pertaining to Case No. Z22-3 at _____, providing notice of a Public Hearing before the X Land Use Control Board, _____ Memphis City Council, _____ Shelby County Board of Commissioners for consideration of a proposed Land Use Action (_____ Planned Development, _____ Special Use Permit, _____ Zoning District Map Amendment, _____ Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

[Signature]

Owner, Applicant or Representative

JUNE 2, 2022

Date

Subscribed and sworn to before me this 24th day of JUNE, 2022.

[Signature]

Notary Public



My commission expires: 2/25/2024

OWNER'S AFFIDAVIT



Property Owner's Affidavit

Memphis and Shelby County Unified Development Code Section 12.3.1

OWNER: Includes the holder of legal title as well as holders of any equitable interest, such as trust beneficiaries, contract purchasers, option holders, lessees under leases having an unexpired term of at least ten years, and the like. Whenever a statement of ownership is required by the Memphis and Shelby County Unified Development Code, full disclosure of all legal and equitable interest in the property is required. Memphis and Shelby County Unified Development Code Section 12.3.1.

I, Michael E. Collins, state that I have read the definition of "Owner" as outlined in the Memphis and Shelby County Unified Development Code Section 12.3.1 and hereby state that (select applicable box):

- I am the owner of record as shown on the current tax rolls of the county Assessor of Property; the mortgage holder of record as shown in the mortgage records of the county Register of Deeds; purchaser under a land contract, a mortgagee or vendee in possession; or I have a freehold or lesser estate in the premises
- I have charge, care or control of the premises as trustee, agent, executor, administrator, assignee, receiver, guardian or lessee (and have included documentation with this affidavit)

of the property located at 0 Kate Bond Rd, Memphis, TN
and further identified by Assessor's Parcel Numbers 092009 00009; 092009 00007; 092009 00006
for which an application is being made to the Division of Planning and Development.

Subscribed and sworn to (or affirmed) before me this 6th day of April in the year of 2022.

Marcella E. Gignilliat
Signature of Notary Public



7-17-2022
My Commission Expires

LETTERS RECEIVED

No letters were received by the time of publication of this report.

**NOTICE OF PUBLIC HEARING ON PROPOSED AMENDMENT
TO THE ZONING MAP OF THE CITY OF MEMPHIS**

Notice is hereby given that a Public Hearing will be held by the Council of the City of Memphis in the Council Chambers, First Floor, City Hall, 125 North Main Street, Memphis, Tennessee 38103 on Tuesday, 9 August 2022 at 3:30 p.m., in the matter of amending the Zoning Map of the City of Memphis, being Chapter 28, Article IV of the Code of Ordinances, City of Memphis, Tennessee, as amended, as follows:

CASE NUMBER: Z 22-3
LOCATION: The three parcels between 2500 Kate Bond Rd. and Interstate 40
COUNCIL DISTRICTS: District 1 and Super District 9
OWNER: TI Properties, LLC
APPLICANT: Quan Poole
REQUEST: Change zoning to Commercial Mixed Use – 2 (CMU-2)
RECOMMENDATION: The Division of Planning and Development recommended: *Approval*
The Land Use Control Board recommended: *Approval*

NOW, THEREFORE, you will take notice that on Tuesday 9 August 2022, at 3:30 p.m. the Council of the City of Memphis, Tennessee will be in session at the Council Chambers, City Hall, 125 North Main Street, Memphis, Tennessee 38103 to hear remonstrances or protests against the making of such changes; such remonstrances or protests must be by personal appearances, or by attorneys, or by petition, and then and there you will be present if you wish to remonstrate or protest against the same.

This case will also be heard at the Planning and Zoning Committee on the same day with the specific time to be determined prior to the meeting date and posted on the City of Memphis’ website.

THIS THE _____, _____

JAMITA SWEARENGEN
CHAIRMAN OF COUNCIL

ATTEST:

DYWUANA MORRIS
CITY COMPTROLLER

TO BE PUBLISHED:



Legend

polygonLayer

- Override 1
- Override 2

polylineLayer

- Override 1

Roads

- Shelby County Zoning
- Arlington Zoning
- Bartlett Zoning
- Collierville Zoning
- Germantown Zoning
- Lakeland Zoning
- Millington Zoning
- Parcels

Map prepared through Shelby County Government's online mapping Portal on 7/1/2022

0 0.06 0.12 0.18 0.24 mi

N

ESH/TN PORTFOLIO LLC
P O BOX 49550 #
CHARLOTTE NC 28277

SHIV SAI RAM LLC
2423 N GERMANTOWN PKWY #
CORDOVA TN 38016

SINGH SMRITI
3621 SUNFLOWER CL #
SEAL BEACH CA 90740

AMBE HOSPITALITY INC
2427 N GERMANTOWN PKWY #
CORDOVA TN 38016

THOMPSON TRICIA
7800 WOLF HOLLOW DR #
MEMPHIS TN 38133

TOLIVER MARTHA
2532 VAN EATON LN #
MEMPHIS TN 38133

MITCHELL NATASHA
2540 VAN EATON LN #
MEMPHIS TN 38133

SOUTHERN PROPERTY INVESTORS
PO BOX 342707 #
MEMPHIS TN 38184

BURCH WANDA AND CHARLEY BURCH (RS)
7657 SPRIRT LAKE CV #
CORDOVA TN 38016

BELMONTES-RAMIREZ PEDRO & ANDREA
7896 BLAND LN #
MEMPHIS TN 38133

THOMPSON REGINALD L & MARCIA
7770 WOLF HOLLOW DR #
MEMPHIS TN 38133

SEELY KARLA L
2526 JEFFRIES CV #
MEMPHIS TN 38133

ABUTINEH MOHAMMED & FATIMA
9145 RANDLE VALLEY DR #
CORDOVA TN 38018

GRILLS YOLANDA
7769 WOLF HOLLOW DR #
MEMPHIS TN 38133

WILLIAMS TREONNA J
2517 KATE BOND RD #
MEMPHIS TN 38133

RAMIREZ CARINA
7780 REESE RD #
MEMPHIS TN 38133

BELLEVUE BAPTIST CHURCH
PO BOX 1210 #
CORDOVA TN 38088

TONEY MARVIN & TORRIE
7821 BLAND LN #
MEMPHIS TN 38133

MINCY MILDRED C
7877 BLAND LN #
MEMPHIS TN 38133

LONG DEBRA F AND STEVEN J MITCHELL
2033 KINGSROW PKWY #
CORDOVA TN 38016

HOOTS JAMES M & LISA Y
7827 BLAND LN #
MEMPHIS TN 38133

LAISLE CONNIE S
7883 BLAND LN #
MEMPHIS TN 38133

FREEMAN HORACE L & MILDRED
4354 N 30TH ST #
MILWAUKEE WI 53216

GARCIA PEDRO A
7835 BLAND LN #
MEMPHIS TN 38133

CLINTON LILLIE M
7897 BLAND LN #
MEMPHIS TN 38133

WCO AL DP LLC
643 SPENCE LN #
NASHVILLE TN 37217

WALSHWILLIAM & KRISTIN
7843 BLAND LN
BARTLETT TN 38133

BARNETT RUBY V AND GEORGE F BARNETT
7797 REESE RD #
MEMPHIS TN 38133

MORGAN CRESCENT AT WOLFCHASE LLC
112 S FRENCH ST #105-MP
WILMINGTON DE 19801

ORTIZ MIGUEL P & LUCIA E PEREZ
7849 BLAND LN #
MEMPHIS TN 38133

NORTON ROBERT G
6092 IVANHOE #
BARTLETT TN 38134

RODRIGUEZ JOSE AND ALAM RODRIQUEZ (RS)
7558 PORT ALBERT LN #
BARTLETT TN 38133

PATEL BHAVINI & AKSHAYA
3113 MISTY HEIGHTS CV #
PFLUGERVILLE TX 78660

WILLIAMS ROBERT E & VELMA J
7855 BLAND LN #
MEMPHIS TN 38133

CLARK YOMYKO AND BRANDON HAYSLETT
7774 WOLFDEN CIR #
MEMPHIS TN 38133

RODRIGUEZ JOSE F & MARIA C GOMEZ
7799 WOLF HOLLOW DR #
MEMPHIS TN 38133

LEE CALVIN & BARBARA
7863 BLAND LN #
MEMPHIS TN 38133

ECONOMIC DEV GROWTH ENGINE IND DEV BOARD
420 ALAN WOOD RD #
CONSHOHOCKEN PA 19428

VIACOM OUTDOOR INC
PO BOX 404 #
BROADWAY NJ 8808

TRENTLAGE DAVID A & ROXANNE D
7869 BLAND LN #
MEMPHIS TN 38133

CONTRERAS HORACIO
7780 WOLFDEN CIR #
MEMPHIS TN 38133

POLK YUMEKIA
7787 WOLF HOLLOW DR #
MEMPHIS TN 38133

SINGH BALRAJ AND BALJIT KAUR
7788 REESE RD #
MEMPHIS TN 38133

HENRY MICHAEL
7810 WOLF HOLLOW DR #
MEMPHIS TN 38133

WILLIAMS HILDA J & CHARLES AND ELIZABETH
7775 WOLF HOLLOW DR #
MEMPHIS TN 38133

SKB PROPERTIES LLC
3571 WINCHESTER RD #
MEMPHIS TN 38118

NUCKOLLS KEITH E
7816 WOLF HOLLOW DR #
MEMPHIS TN 38133

WCO AL DP LLC
643 SPENCE LN #
NASHVILLE TN 37217

REED JEREMY & ASHLEY G
7905 BLAND LN #
MEMPHIS TN 38133

MCKINLEY JORDYN AND RAVYN MCKINLEY AND
7786 WOLFDEN CIR #
MEMPHIS TN 38133

ECONOMIC DEVELOPMENT GROWTH ENGINE
420 ALAN WOOD RD #
CONSHOHOCKEN PA 19428

H AND D HOME LLC
6491 ELMORE RD #
MEMPHIS TN 38134

LI TAINING
7792 WOLFDEN CIR #
MEMPHIS TN 38133

TI PROPERTIES LLC
5160 SANDERLIN #1
MEMPHIS TN 38117

COHRAN BOBBIE
7762 WOLF DEN CIR #
MEMPHIS TN 38133

CALBERT DARRON L & DIANE
7782 WOLF HOLLOW DR #
MEMPHIS TN 38133

ADVENTURE HOLDINGS I LLC
PO BOX 181
HAMPTON FALLS NH 3844

COOPER CRYSTAL
7768 WOLF DEN CIR #
MEMPHIS TN 38133

ALEXANDER EZERDALE
7811 WOLF HOLLOW DR #
MEMPHIS TN 38133

GLOBAL PROPERTY TRUST
803 MOUNT MORIAH RD #201
MEMPHIS TN 38117

RPA4 LLC
3505 KOGER BLVD #400
DULUTH GA 30096

ALTA VIEW LP
910 W SAN MARCOS BLVD #210
SAN MARCOS CA 92078

TI PROPERTIES LLC
5160 SANDERLIN #1
MEMPHIS TN 38117

US SFE ASSET COMPANY 1 LLC
8300 N MOPAC EXPY #200
AUSTIN TX 78759

HOME SFR BORROWER IV LLC
3505 KOGER BLVD #400
DULUTH GA 30096

BAF ASSETS LLC
5001 PLAZA ON THE LAKE #200
AUSTIN TX 78746

BEETHOVEN TRUST
305 S LUCIA AVE #3
REDONDO BEACH CA 90277

CSMA BLT LLC
1850 PARKWAY PL #900
MARIETTA GA 30067

MM INDUSTRIAL MEMPHIS LLC
6363 POPLAR AVE #400
MEMPHIS TN 38119

TI PROPERTIES LLC
5160 SANDERLIN #1
MEMPHIS TN 38117