

CASE NUMBER: P.D. 21-018 **L.U.C.B. MEETING:** June 10th, 2021

DEVELOPMENT NAME: BLP FILM STUDIOS PLANNED DEVELOPMENT

LOCATION: West side of Elvis Presley Boulevard between Holmes Road and Scaife Road

COUNCIL DISTRICT(S): District 3 and Super District 8-Positions 1, 2, & 3

OWNERS/APPLICANTS: BLP Film Studios, LLC

REPRESENTATIVE(S): Brittenum Law, PLLC

REQUEST: Planned Development to allow film studios mixed-use plan with associated accessory structures and uses within the Outline Plan

AREA: 84.70 Acres

EXISTING LAND USE & ZONING: Vacant tract of land in Residential Single Family (R-8) and Commercial Mixed Use (CMU-3) Districts

CONCLUSIONS:

1. The applicant is proposing a mixed-use plan of development for film studios, hotel and event center, including associated accessory structures and uses for administrative office, editing suites, commissary, sound stages, warehouse storage, millworks and special effects buildings.
2. However, the location of any campground for recreational vehicle park is not illustrated on the concept plan and should not be near any single-family home or residential subdivision. The outline plan conditions should include a condition the campground and RV park should be setback 500 feet from any adjacent residential single-family properties.
3. The availability of sewer according to the City Engineer is unknown at this time. The construction of new a new hotel with an event/convention center is ancillary to the film studios campus, but is considered a regional land use for the surrounding communities.
4. This application for a planned development provides natural open spaces to include walking paths, nature trails and buffers of mature trees to be preserved within the plan, but the natural buffer directly adjacent to 'Duelling Oaks' subdivision should be increased to seventy-five (75) feet in width.
5. The concept plan of development as illustrated is supported by staff and has adequately addressed the general provisions of Sub-Section 4.10.3 for planned developments.

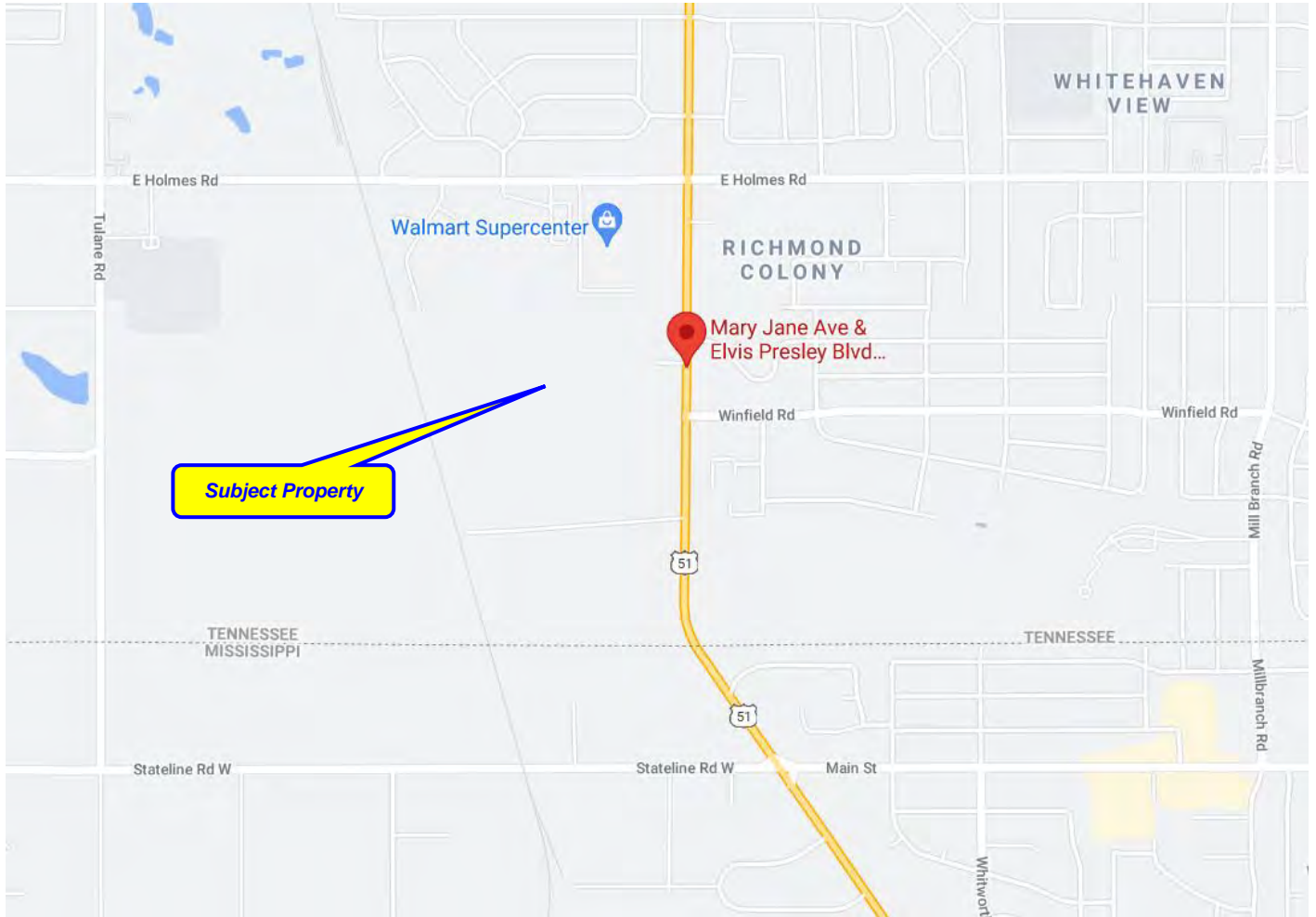
CONSISTENCY WITH MEMPHIS 3.0

Based on the information provided, the proposal IS CONSISTENT with the Memphis 3.0 Comprehensive Plan.

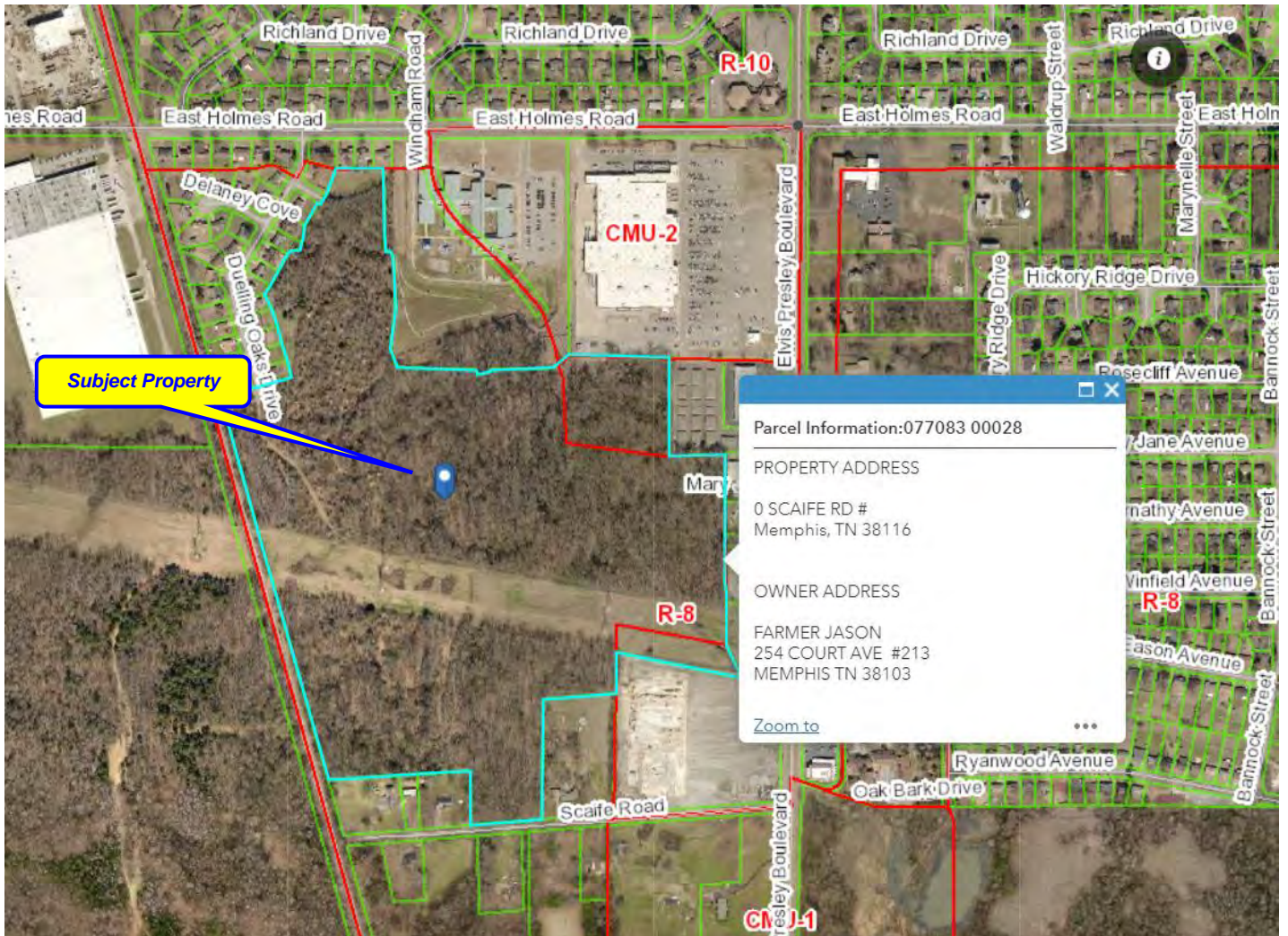
OFFICE OF PLANNING & DEVELOPMENT RECOMMENDATION:

Approval with Conditions

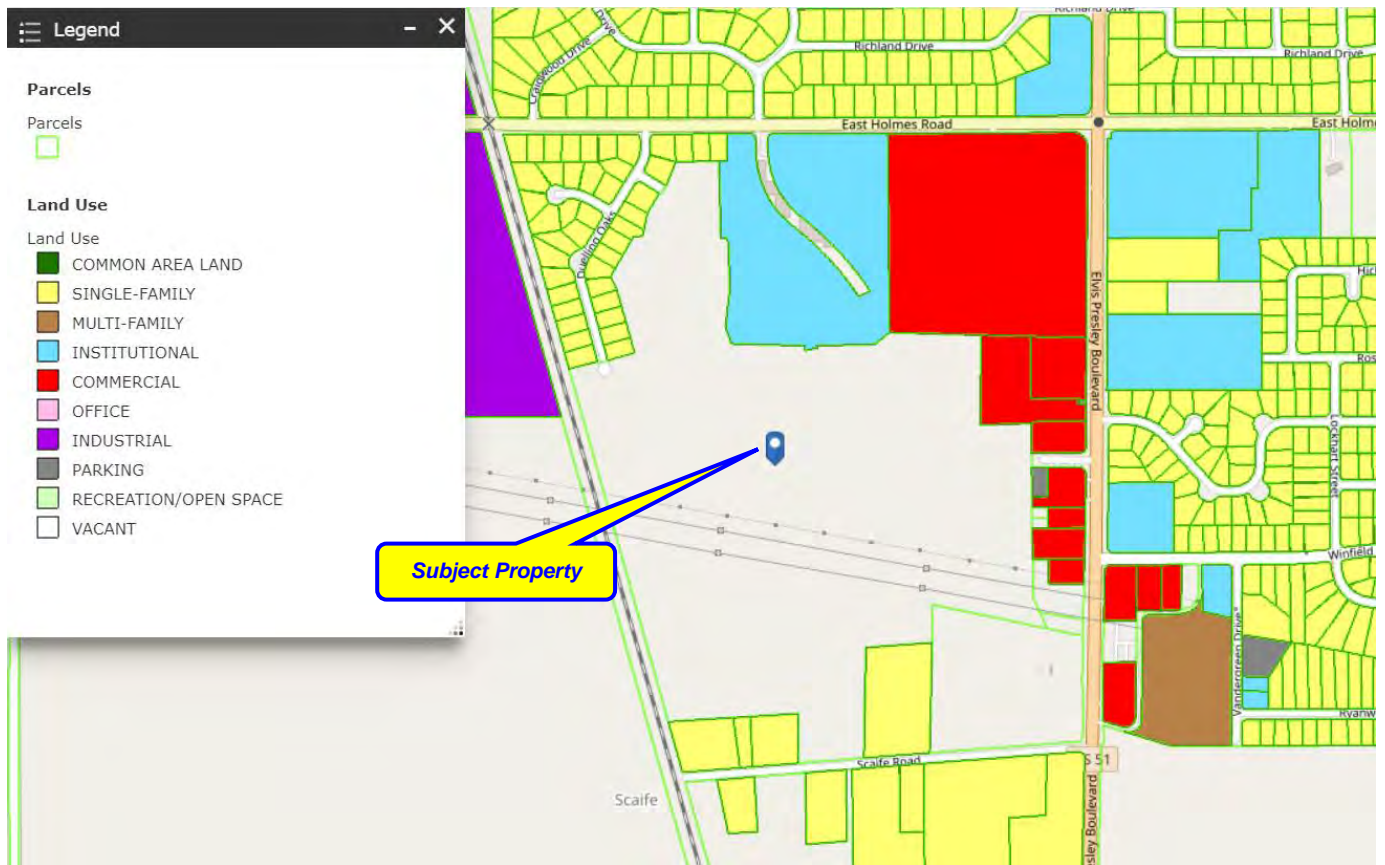
Planning Area



Zoning



Land Use



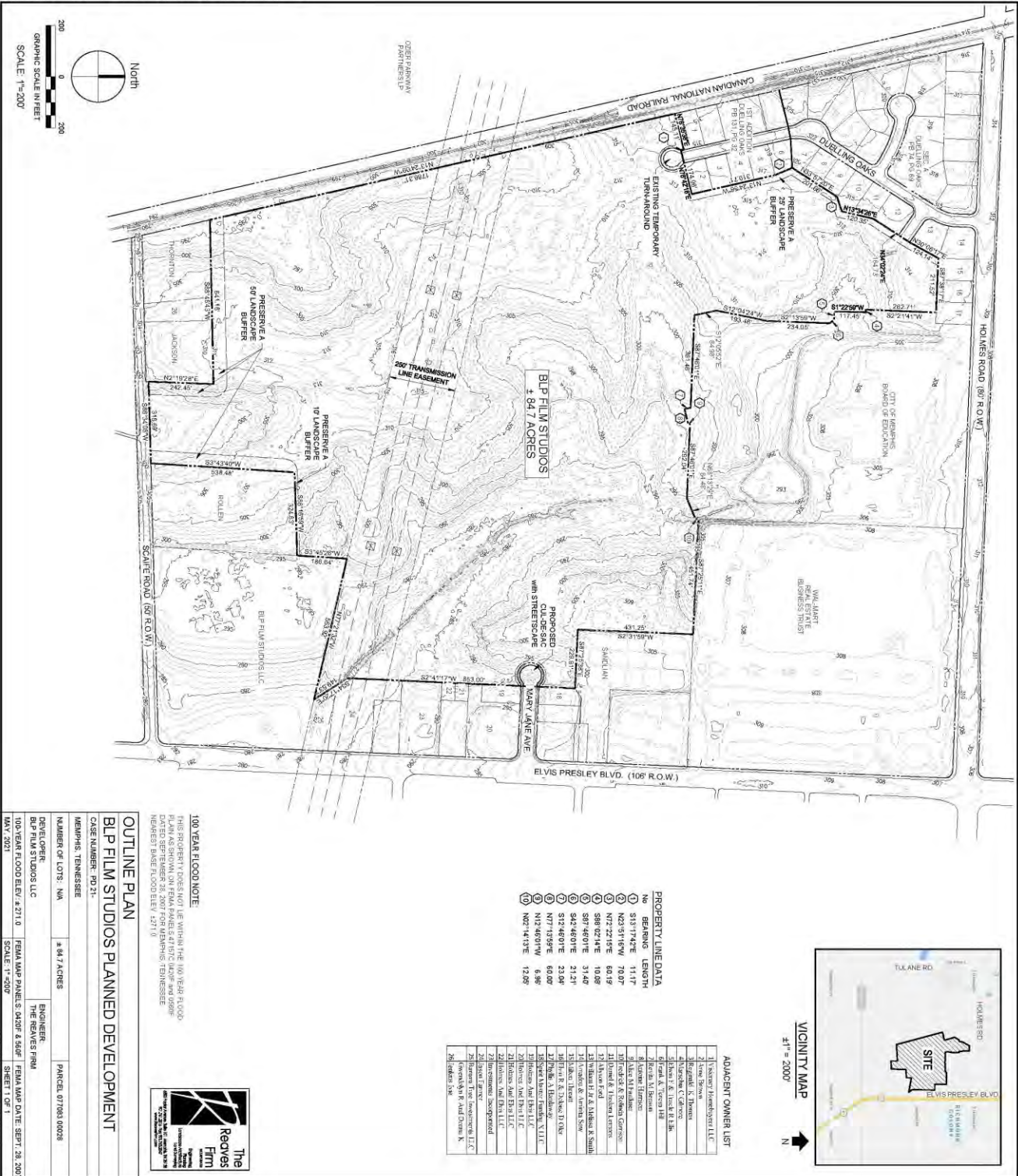
- North:** Single family homes in R-10; Holmes Road Elementary School in R-8 and CMU-3; Wal-Mart Super Center in CMU-3 Districts.
- East:** MPD Co-Act station, small retail centers, self-service mini-storage, dollar store and retail store with gasoline sales in CMU(CMU-3) District.
- South:** Single family homes on estate lots in R-8 District.
- West:** CN Railroad, warehouse and large vacant tract in Employment (EMP) District.

Aerial Photo



Outline Plan (Boundaries)

July 2004 2:13:21 PM - 1033 BLP Studio - Memphis 2007 (update) Outline plan.bwg May 09, 2021 - 1:52pm



PROPERTY LINE DATA

No	BEARING	LENGTH
1	S13°17'42"E	111.17
2	N23°51'56"E	70.97
3	S89°02'14"E	10.89
4	S87°46'01"E	33.40
5	S43°48'01"E	21.21
6	S12°48'01"E	23.09
7	N77°15'59"E	50.00
8	N12°49'01"W	6.96
9	N02°14'43"E	12.85

ADJACENT OWNER LIST

1	1830017	Landmarkz LLC
2	1830018	Shaw
3	1830019	Thompson
4	1830020	Thompson
5	1830021	Thompson
6	1830022	Thompson
7	1830023	Thompson
8	1830024	Thompson
9	1830025	Thompson
10	1830026	Thompson
11	1830027	Thompson
12	1830028	Thompson
13	1830029	Thompson
14	1830030	Thompson
15	1830031	Thompson
16	1830032	Thompson
17	1830033	Thompson
18	1830034	Thompson
19	1830035	Thompson
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25	1830041	Thompson
26	1830042	Thompson



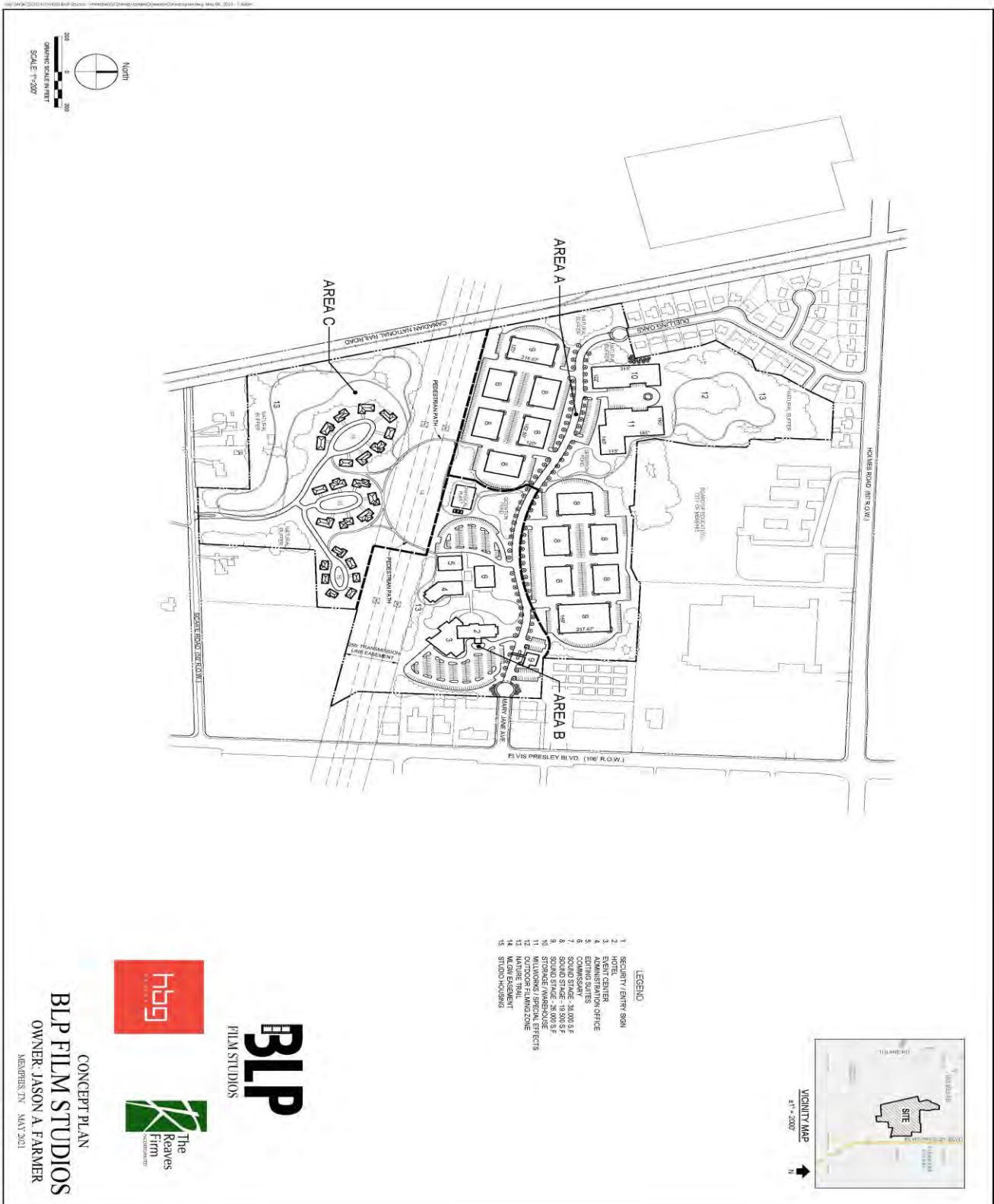
100-YEAR FLOOD NOTE:
THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) DATED 08/01/1985 FOR MEMPHIS, TENNESSEE. NEAREST BASE FLOOD ELEVATION IS 271.0.



OUTLINE PLAN
BLP FILM STUDIOS PLANNED DEVELOPMENT

CASE NUMBER: PD-21-	MEMPHIS, TENNESSEE
NUMBER OF LOTS: N/A	* 84.7 ACRES
DEVELOPER: BLP FILM STUDIOS LLC	ENGINEER: THE REEVES FIRM
100-YEAR FLOOD ELEVATION: 271.0	SCALE: 1" = 200'
MAY 2021	SHEET 1 OF 1

Concept Plan



Neighborhood Meeting: Neighborhood Zoom Meeting Held Thursday, May 27th, 2021.

Sign Posting & Public Notice: Sign Posted on the property Friday, May 28th, 2021.
Public Hearing Notices mailed on Friday, May 28th, 2021.

NOTE: The public notices were mailed to adjacent property owners within a radius of five (500) hundred feet of the property and any return notices to OPD are subject to Paragraph 9.3.4F (2) of the UDC regarding undelivered and returned mailed notices that exceed 25% of the total required mailing of 86 notices.

STAFF ANALYSIS:

Site Description

The subject property is a large vacant tract containing 84.70 acres located south of E. Holmes Road and north of Scaife Road and the west side of Elvis Presley Boulevard in the 'Whitehaven' community of the City of Memphis. The current zoning of the parcel is Residential Single Family (R-8) District with 318.69 linear feet of street frontage on Scaife Road with primary access via a collector street, Mary Jane Avenue. The property has unimproved frontage with no curb, gutter and sidewalk along Scaife Road, but with curb and gutter along both sides of Mary Jane Avenue. The property is heavily encumbered by major electrical transmission easement 250 feet in width running through the southern section of the property from west to east.

Request & Project Review

The applicant is proposing a mixed-use plan of development for film studios, hotel and event center, including associated accessory structures and uses for administrative office, editing suites, commissary, sound stages, warehouse storage, millworks and special effects buildings. The southern portion of the plan will include studio housing and the entire property will include a nature trail/walking paths as on-site amenity. The most important aspect of the plan will include natural landscape screen buffers adjacent to single family homes supplemented with evergreen plant materials.

The development proposal will allow land uses permitted by right in the CMU-3 District with additional uses within the plan to compliment the principal land use for film studios in the overall concept plan. There are also land uses that will not be allowed or permitted which does not compliment the land use and considered to be out of character with the concept plan. However, the location of any campground for a recreational vehicle park is not illustrated on the concept plan and should not be near any single-family home or residential subdivision. The outline plan conditions should include a condition the campground and RV park should be setback 500 feet from any adjacent residential single-family properties.

The development plan in the southwest quadrant of two major roads with adequate public facilities available for access, parking, circulation, light, gas and water utilities with surrounding supportive retail uses, including gasoline sales. However, the availability of sewer according to the City Engineer is unknown at this time. The construction of new a new hotel with an event/convention center is ancillary to the film studios campus, but is considered a regional land use for the surrounding communities.

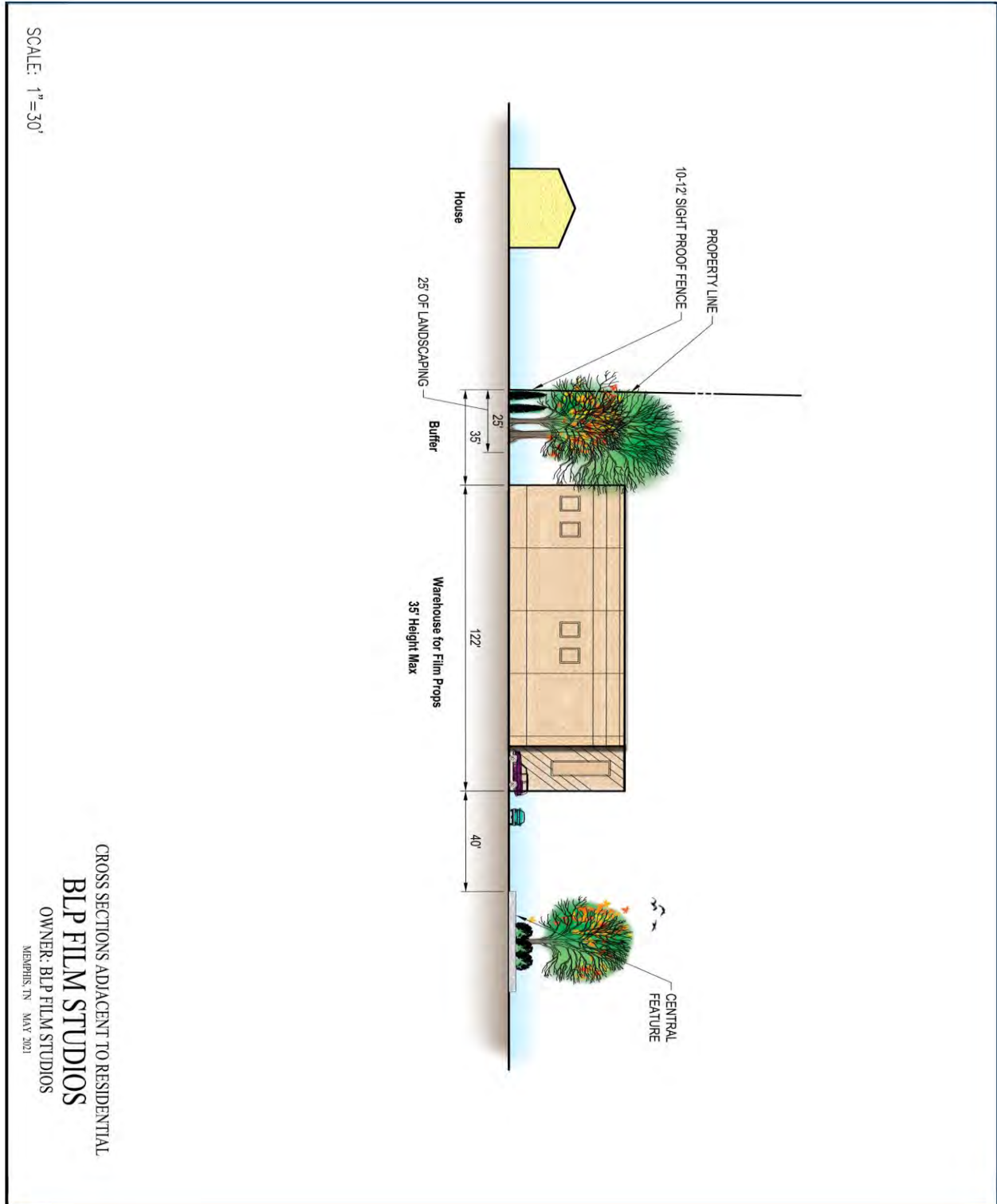
This application for a planned development provides natural open spaces to include walking paths, nature trails and buffers of mature trees to be preserved within the plan, but the natural buffer directly adjacent to 'Duelling Oaks' subdivision should be increased to seventy-five (75) feet in width. The preservation of natural buffers, the spacing, orientation and placement of land use areas within the concept plan provides adequate horizontal separation between the large lot residential to the south and the residential subdivision to the north.

The concept plan of development as illustrated is supported by staff and has adequately addressed the general provisions of Sub-Section 4.10.3 for planned developments. The R-8 District zoning of the property only allows for residential development and none of the land uses proposed in this development plan would be allowed by right in this residential district. However, the concept plan has provided conditions to address any negative affect the land use may have upon adjacent residential and commercial properties as well as the community.

This application and the planned development has conditions as stated above and incorporated into any final plan of development. The proposal is consistent with the Memphis 3.0 Plan, and to allow a mixed-use plan of development for a film studios, hotel and event/convention center with associated accessory structures and uses within the city is supported in area design. The development plan introduces a mixed-use development plan in an area with a diverse population of residents, places of worship, schools and businesses that can support the land use and promote the city of Memphis by the planning and development for a new growth industry.

RECOMMENDATION: ***Approval with Conditions (Pages 11-13)***

Landscape Detail: Typical Cross-Section (Film Studios Warehouses Adjacent to Residential)



SCALE: 1" = 30'

CROSS SECTIONS ADJACENT TO RESIDENTIAL
BLP FILM STUDIOS
OWNER: BLP FILM STUDIOS
MEMPHIS, TN MAY 2021

P.D. 21-018

BLP Film Studios Planned Development

Outline Plan Conditions; **Blue indicate staff conditions.**

I. Uses Permitted: Area A, B & C

A. Any use permitted by right in the Commercial Mixed Use (CMU-3) District **and as illustrated on the Concept Plan.** Additionally, the following land uses shall be permitted:

1. Movie production facility
2. Event/convention center
3. Hotel
4. Multifamily
5. Neighborhood arts center (or similar community facility)
6. Dormitory
7. Solar farm
8. Campground (travel trailer park, recreational vehicle park)
9. Sheet metal shop
10. Warehouse storage (not distribution)

B. The following land uses shall not be permitted:

1. Convenience store with or without gas pumps
2. Boarding house, single room occupancy, or rooming house
3. Cleaning establishment, pick up station
4. Outdoor advertising sign
5. Tattoo, palmist, psychic, or medium
6. Outdoor recreation
7. Vehicle parts and accessories
8. Any vehicle sales, service, and repair
9. Hourly Rate Hotel or Motels

II. Bulk Regulations:

A. The Bulk Regulations of the CMU-3 shall apply except for the following:

1. Maximum height for buildings shall be fifty (50) feet for buildings in “Areas A and C” and eighty-five (85) feet for buildings in “Area B” with the exception that building #10 in Area A shall not exceed thirty-five (35) feet in height.
2. Building shall be set back a minimum of **seventy-five (75)** feet from Duelling Oaks subdivision.
3. **The** location of structures shown on the concept plan may be repositioned on the site by as much as one hundred fifty (150) feet on the final plan in keeping with these conditions.

III. Access, Circulation and Parking:

- A. All internal roads shall be private drives and have a minimum width of twenty-two (22) feet **of asphalt pavement.**
- B. One (1) curb cut shall be allowed along Mary Jane Avenue cul-de-sac frontage as indicated on the concept plan. The design of the curb cut shall be subject to review and approval of the City Engineer. Dedicate a permanent 50’ radius cul-de-sac at the existing terminus of Mary Jane Avenue as indicated on the concept plan and improve with a 40’ curb radius, **curb, gutter and asphalt pavement.**

- C. One (1) curb cut shall be allowed along Duelling Oaks but will serve only as an emergency exit. Dedicate and improve a permanent cul-de-sac (43' radius) at the south terminus of Duelling Oaks as indicated on the on the concept plan.
- D. One (1) point of access shall be allowed along the Scaife Road frontage as indicated on the concept plan.
- E. All gated entrances shall meet the requirements of Unified Development Code (UDC) (4.4.8).
- F. **All parking and loading shall be in accordance with Section 4.5 of the UDC.**

IV. Landscaping and Screening:

- A. The outdoor filming zone (+/-9 acres) adjacent to 'Duelling Oaks' subdivision shall be preserved and maintained as generally depicted and illustrated on the concept plan. In addition, there shall be a minimum buffer width of **seventy-five (75)** feet between any proposed buildings and the subdivision.
- B. The site shall be surrounded by a 10-12-foot-high fence, opaque where adjacent to existing residential uses.
- C. **The preservation of existing trees along** Scaife Road shall be maintained to the extent possible. **The tree line shall be** supplemented as needed to provide an adequate streetscape.
- D. The preservation of a fifty (50) foot minimum natural buffer adjacent to the single-family homes on Scaife Road, except for the north boundary of the Rollen tract (known as 1064 Scaife Road) which shall have the required ten (10) foot buffer.
- E. The internal private drive connecting to Mary Jane Avenue shall be landscaped with street trees **and shrubs**.
- F. Internal parking lot landscaping for the hotel and executive office cluster shall be provided in accordance with the requirements of the UDC. The landscaped areas shall not conflict with, wherever feasible, drainage, sewer, utility easements, including overhead wires.
- G. The internal parking lot for all other buildings will not be required to have landscape islands.
- H. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.

V. Signs, Outdoor Site Lighting and Building Elevations:

- A. One **(1)** monument style sign at the Mary Jane Avenue entrance **shall be permitted** a maximum sign area of eighty (80) square feet per face and a maximum height of ten (10) feet.
- B. All attached building signs shall be in accordance with the requirements of the UDC for the CMU-3.
- C. **Any** site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. The parking lot light standards shall be a maximum of twenty-five (25) feet in height within 200 feet of adjacent residential and a maximum of 35 feet otherwise.
- D. **The building elevations shall comply with the design principles of Paragraph 9.24.9E(1) Building Mass and Scale of the UDC.**

VI. Drainage:

- A. **An overall grading and drainage plan for the site shall be submitted to the City Engineers prior to approval of the Outline/Final plan.**
- B. **Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis Drainage Design Manual.**

- C. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer, if necessary.

VII. Any final plan shall include the following:

- A. The Concept Plan Conditions; and
- B. A standard subdivision contract as required by the Unified Development Code for any required public improvements;
- C. The exact locations and dimensions including height of buildings, parking areas, utility easement drives and required landscaping and screening for this development;
- D. The location and ownership, whether public or private, of any easement;
- E. All common open areas, drainage detention facilities, private streets, private sewers and private drainage systems shall be owned and maintained by the applicant property owner. A statement to this effect shall be shown on the final plan;
- F. The following note shall be placed on the Final Plan of development requiring on-site storm water detention facilities: "The areas denoted by 'Reserved for Storm Water Detention' shall not be used as a building site or filled without first obtaining permission from the City or County Engineer, as applicable. The storm water detention systems located in these areas, except for those parts located in public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed to ensure that the system operates in accordance with the approved plan on file in the City/County Engineer's Office. Such maintenance shall include, but not be limited to: removal of sedimentation, fallen objects, debris and trash; moving, outlet cleaning, and repair of drainage structures."
- G. The property owner will be responsible for the ownership and maintenance requirements of any common open space areas; and
- H. A final plan shall be filed within five (5) years of approval of the concept plan. The Land Use Control Board may grant extensions at the request of the applicant; and
- I. The Land Use Control Board may modify the bulk, access, parking, landscaping, loading, screening, signs and other site design requirements if equivalent alternatives are presented for project review.
- J. **The nearest Base Flood Elevation(BFE) elevation.**

Office of Comprehensive Planning(OCP) Review:

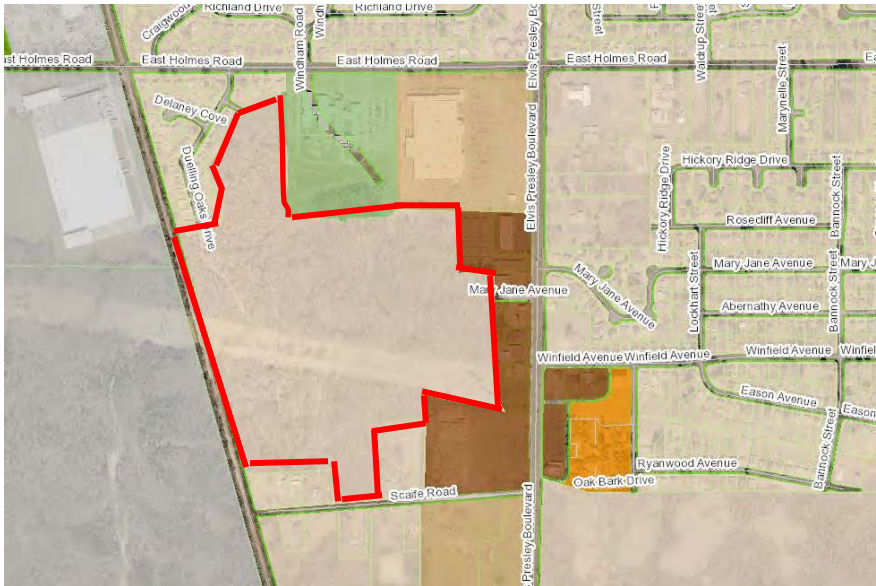
This summary is being produced in response to the following Planned Development Application to support the recommendation of the Office of Planning & Development: **PD 21-018 (BLP Film Studios Planned Development)**

Site Location: West side of Elvis Presley Boulevard, south of E. Holmes Road and north of Scaife Road
Land Use Designation: Primarily Single-Unit Neighborhood (See Page 86 for details)

Based on the future land use and degree of change map the proposal IS CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the Land Use Designation can be found on Pages 76-122:

1. FUTURE LAND USE PLANNING MAP



The red box indicates the application site on the Future Land Use Map.

2. Land use description & applicability:

Primarily Single-Unit Neighborhoods are located greater than half-mile outside of any anchor destination. These neighborhoods contain mostly detached, house scale residences, serving mostly single-family style living. This is considered the typical suburban community that is not as walkable or accessible from an anchor (see graphic portrayal to the right).



“NS” Goals/Objectives:

Preservation/maintenance of existing single-family housing stock and neighborhoods.

“NS” Form & Location Characteristics:

Primarily detached, residential, house-scale buildings that are one to three stories in height and beyond ½ mile from a Community Anchor.

The applicant is seeking approval of a planned development that will contain: a hotel, event center, offices, editing suites, three separate sound stages, storage and warehouse facility, millwork and special effects facility, and studio housing. The request does not meet in criteria in the form of proposed land use type and scale. However, existing land use conditions are consistent with this type of development, the site plan indicates natural buffers to the existing single-family homes, and the uses adjacent to the existing neighborhood will not create a nuisance in the form of odor or noise. Therefore, the request is consistent.

3. Existing, Adjacent Land Use and Zoning

The subject site is surrounded by the following land uses: Commercial, Employment and Residential. The subject site is surrounded by the following zoning districts: CMU-1, CMU-2, CMU-3, EMP, R-10. This requested use is compatible with the adjacent land use because existing land use surrounding the parcels is similar in nature to the requested use.

4. DEGREE OF CHANGE MAP



The red box indicates the application site. There is no degree of change.

Based on the information provided, the proposal is **CONSISTENT** with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Melanie Batke, Municipal Planner
Memphis 3.0, OCP

GENERAL INFORMATION:

Primary Street Frontage: Mary Jane Avenue-----+/-60 curvilinear feet.
Scaife Road-----+/-318.69 linear feet.

Neighborhood: Whitehaven

Zoning History: The Residential Single Family (R-8) and Commercial Mixed Use (CMU-3) District zoning of the site date to the adoption of the UDC in 2010 and date to the adoption of the 1980 zoning map amendments.

DEPARTMENTAL COMMENTS:

The following comments were provided by Inter-Governmental Agencies/Organizations to which this application was referred:

City Engineer:

1. Standard Subdivision Contract or Right-Of-Way Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Department, a determination can be made as to available sewer capacity
3. All sewer connections must be designed and installed by the developer. This service is no longer offered by the Public Works Division.

Roads:

4. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.
5. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.
6. Dedicate and improve Duelling Oaks Drive and Mary Jane Avenue. All cul-de-sacs must be at least ninety-six (96) feet in diameter.
7. Dedicate and improve Scaife Road along the southern boundary of the site from the centerline with curb, gutter, and sidewalk in accordance with the UDC.

Traffic Control Provisions:

8. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5-foot-wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5-foot clear pedestrian path, an exception may be considered.
9. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.

10. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

11. The City Engineer shall approve the design, number and location of curb cuts.
12. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
13. All entry gates shall conform to the gate queuing requirements set forth in the UDC section 4.4.8.
14. Access to Duelling Oaks Drive shall be exit only and shall be stated on the Final Plat.

Drainage:

15. A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.
16. Drainage improvements, including possible on-site detention, shall be provided under a Standard Subdivision contract in accordance with Unified Development Code and the City of Memphis/Shelby County Storm Water Management Manual.
17. Drainage data for assessment of on-site detention requirements shall be submitted to the City Engineer.
18. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City and/or County Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City and/or County Engineer's Office. Such maintenance shall include, but not be limited to removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.
19. The developer should be aware of his obligation under 40 CFR 122.26(b)(14) and TCA 69-3-101 et. seq. to submit a Notice of Intent (NOI) to the Tennessee Division of Water Pollution Control to address the discharge of storm water associated with the clearing and grading activity on this site.

Cite Fire Services:

- All design and construction shall comply with the 2015 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).
- Fire protection water supplies (including fire hydrants) shall comply with section 507.
- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

Memphis & Shelby County Health Department:

Water Quality Branch:	No comment.
Septic Tank Program:	No comment.

Memphis Light, Gas and Water:

MLGW has reviewed the referenced application, and has no objection, subject to the following conditions:

- The subject property is significantly encumbered by an existing utility right of way easement, which may include overhead and underground facilities. MLGW prohibits any development or improvements within the Easement, except as provided by the **MLGW Right of Way Encroachment Policy**.
- **It is the responsibility of the owner/applicant**, prior to any development, to contact Keith Ledbury, with MLGW – Property Management @ 901-528-4186 and obtain written approval for any improvements within the Easement.
- **STREET NAMES: It is the responsibility of the owner/applicant** to contact MLGW–Address Assignment @ 729-8628 and submit proposed street names for review and approval. Please use the following link to the MLGW Land & Mapping website for **Street Naming Guidelines** and the **Online Street Name Search**: <http://www.mlgw.com/builders/landandmapping>
- **It is the responsibility of the owner/applicant** to identify any utility easements, whether dedicated or prescriptive (electric, gas, water, CATV, telephone, sewer, drainage, etc.), which may encumber the subject property, including underground and overhead facilities. No permanent structures will be allowed within any utility easements.
- **It is the responsibility of the owner/applicant** to contact **TN-1-CALL @ 1.800.351.1111**, before digging, and to determine the location of any underground utilities including electric, gas, water, CATV, telephone, etc.
- **Underground Utility separation and clearance:** The subject property is encumbered by existing utilities which may include overhead and underground facilities. It is the responsibility of the owner/applicant to maintain a minimum 3-foot (3') separation between any existing underground service lines or utilities and any proposed permanent structure or facility. This separation is necessary to provide sufficient space for any excavations to perform service, maintenance or replacement of existing utilities.
- **It is the responsibility of the owner/applicant** to pay the cost of any work performed by MLGW to install, remove or relocate any facilities to accommodate the proposed development.
- **It is the responsibility of the owner/applicant** to comply with the **National Electric Safety Code (NESC)** and maintain minimum horizontal/vertical clearances between existing overhead electric facilities and any proposed structures.

- **It is the responsibility of the owner/applicant** to comply with Memphis/Shelby County Zoning Ordinance-Landscape and Screening Regulations.
- **Street Trees are prohibited**, subject to the review and approval of the landscape plan by MLGW Engineering. It is the responsibility of the owner/applicant to submit a detailed landscape plan to MLGW Engineering.
- **Landscaping is prohibited** within any MLGW utility easement without prior MLGW approval.
- **It is the responsibility of the owner/applicant** to submit a detailed plan to MLGW Engineering for the purposes of determining the availability and capacity of existing utility services to serve any proposed or future development(s). Application for utility service is necessary before plats can be recorded.
- All commercial developers must contact MLGW's Builder Services line at 729-8630 (select option 2) to initiate the utility application process.
- **It is the responsibility of the owner/applicant** to pay the cost of any utility system improvements necessary to serve the proposed development with electric, gas or water utilities.

Construction Code Enforcement: No comments received.

Office of Resiliency & Sustainability: No comment.

AT&T-TN: No comment.

Letter of Support: See attachments.

Neighborhood Associations/Organizations:

Whitehaven CDC: No comments as of 6/4/21.

Richmond Colony: No comments as of 6/4/21.

Staff: *bb*

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Brian S. Bacchus:

Jessica Chaney and Amanda Willoughby, filmmakers in the Memphis, TN area, support the important efforts of BLP Film Studios. We are the owners of Not Your Ordinary Films Production Company, based in Memphis, TN. We are deeply entrenched in the Memphis Film Community, and we know this studio will further our filmmaking efforts and other creative ventures. We are writing to support the BLP Film Studios project located in the Whitehaven community. This is especially important to us as co-owner Amanda Willoughby is from the Whitehaven community. As a professional in the entertainment industry, we strongly support the proposed studio campus, as it will provide a platform for creatives, directors, producers, actors, musicians, cameramen and other professionals involved in film and television industry to practice their craft in Memphis.

The project has the potential to transform Memphis into an epicenter for the film, television and music industry.

We are in full support of BLP Film Studios campus; please advise me accordingly if we may be of further assistance.

Respectfully,

Jessica R. Chaney and Amanda Willoughby

Filmmakers, Not Your Ordinary Films Production Company



Memphis and Shelby County Office of Planning and Development

CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

APPLICATION FOR PLANNED DEVELOPMENT APPROVAL (OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)

Date: May 6, 2021

Case #: P.D. 21-018

PLEASE TYPE OR PRINT

Name of Development: BLP Film Studios Planned Development

Property Owner of Record: BLP Film Studios, LLC Phone #: 901-634-7017

Mailing Address: 254 Court Avenue, Suite 213 City/State: Memphis, TN Zip 38103

Property Owner E-Mail Address: blpmemphis@gmail.com

Applicant: SAME Phone # _____

Mailing Address: _____ City/State: _____ Zip _____

Applicant E- Mail Address: _____

Representative: Dedrick Brittenum, Jr.- Brittenum Law, PLLC Phone #: 901-347-3978

Mailing Address: 3385 Airways Blvd. Suite 229 City/State: Memphis, TN Zip 38116

Representative E-Mail Address: db@brittenumlaw.com

Engineer/Surveyor: The Reaves Firm, Inc. - Mike Davis Phone # 901-761-2016

Mailing Address: 6800 Poplar Avenue, Suite 101 City/State: Memphis, TN Zip 38101

Engineer/Surveyor E-Mail Address: mdavis@reavesfirm.com

Street Address Location: west side of Elvis Presley Blvd. between Holmes Rd. & Scaife Rd.

Distance to nearest intersecting street: (+/-) 330 west of the intersection of Mary Jane Ave.
and Elvis Presley Blvd.

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>84.7 (+/-)</u>	_____	_____
Existing Zoning:	<u>R-8</u>	_____	_____
Existing Use of Property	<u>Vacant</u>	_____	_____
Requested Use of Property	<u>Mixed Use</u>	_____	_____

Medical Overlay District: Per Section 8.2.2D of the UDC, no Planned Developments are permitted in the Medical Overlay District.

Unincorporated Areas: For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

Amendment(s): Is the applicant applying for an amendment to an existing Planned Development?

Yes _____ No X

The following modifications to existing planned developments are considered amendments: 1) a change to the permitted uses in a planned development, except in situations where a use of a higher classification is proposed to be changed to a use of a lower classification; 2) a modification to conditions that phases the uses, and 3) a conversion of public streets. See Section 9.6.11E(1) of the UDC for further details.

4.10.3 Planned Development General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations to the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in section 4.10.3:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

Correct. The project complies with Memphis 3.0: "Building up, not out, means reinvesting in existing places. ... underutilized land will need to be repurposed for higher and better uses that improve the quality of life in Memphis." This development meets that standard.

- An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.

The subject site is within an area that has well developed infrastructure sufficient to accommodate these needs and on site connection will be provided with the completion of the development.

- The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C)

Outline plan considers pedestrian/ vehicle circulation, lighting respects residential uses at northwest border, institutional use on north and commercial uses to east. Controlled site access from Mary Jane Avenue ensures surrounding uses compatibility.

- Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.

The proposed limited modifications of the district standards are core necessities for the success of the proposed use and the outline/ site plan design recognizes a campus like setting that acknowledges the effort to be consistent with the public interest.

- Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.

Agreed

- Lots of records are created with the recording of a planned development final plan.

Agreed

REQUIREMENTS PRIOR TO APPLICATION SUBMISSION

PRE-APPLICATION CONFERENCE - Not more than six (6) months nor less than five (5) working days prior to filing an application, the applicant shall arrange for a mandatory pre-application conference with OPD.

Pre-Application Conference held on: 3/31/2021 with Chip Saliba, DPD

NEIGHBORHOOD MEETING – At least ten (10) days, but not more than 120 days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site (Section 9.3.2).

Neighborhood Meeting Requirement Met: Yes or **Not Yet (Circle one)**
(If yes, documentation must be included with application materials)

SIGN POSTING – A sign or signs shall be erected on-site no more than 30 days or less than 10 days prior to the date of the Land Use Control Board hearing. See Sub-Section 9.3.4C of the UDC for further details on sign posting.

I (we) hereby make application for the Planned Development described above and on the accompanying materials. I (we) accept responsibility for any errors or omissions which may result in the postponement of the application being reviewed by the Memphis & Shelby County Land Use Control Board at the next available hearing date. I (We), owner(s) of the above described property hereby authorize the filing of this application and the above named persons to act on my behalf.

 04 May 21

Property Owner of Record _____ Date _____ Applicant _____ Date _____
Jason A. Farmer , Managing Member

**GUIDE FOR SUBMITTING
PLANNED DEVELOPMENT APPLICATION
(OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

- A. **THE APPLICATION** - Two (2) collated sets of this application in accordance with the requirements of the Unified Development Code and as outlined below shall be submitted to OPD. The following information is required to be submitted for consideration as a complete application, and except for copies of the Outline and/or Site/Concept Plan, shall be provided on sheets of 8.5"x11" in size. The application with original signatures shall be completed either with legible print or typewritten. Each application set shall be compiled in the following order:
 - 1) This application, 8.5"x11" Outline and/or Site/Concept Plan, Legal Description, Vicinity Map, 2-3 sets of gummed-backed Mailing Labels, 2 sets of paper copied Mailing Labels, Letter of Intent, 20"x24" Outline and/or Site/Concept Plan (folded), copy of Deed(s).
 - 2) A compact disc with all submittal documents in "PDF" and any proposed conditions in "WORD".
- B. **LETTER OF INTENT** - The letter shall include the following:
 - a) A brief narrative statement generally describing the nature, location and extent of the development and the market it is intended to serve.
 - b) A list of any professional consultants associated with the proposed development.
 - c) A written statement generally describing the relationship of the proposed development to the current policies and plans of the City and County. The statement shall include how the proposed

Brittenum

Law pllc

ATTORNEY AT LAW
Airways Professional Center – Aerropolis
3385 Airways Boulevard, Suite 229
Memphis, Tennessee 38116 USA
Telephone 901.347.3978
Facsimile 901.800.1927
db@brittenumlaw.com

6 May 2021

Via Hand Delivery

Josh Whitehead, AICP
Planning Director / Administrator
Memphis & Shelby County Office of Planning and Development
City Hall
125 North Main Street, Suite 476
Memphis, TN 38103

RE: BLP Film Studios
Formerly Forest Village P.D. 92-335 Site
South of Holmes Road & West of Elvis Presley

Dear Administrator Whitehead:

I represent Mr. Jason Farmer with BLP Film Studios (BLP) for a planned development application approval of approximately 85 acres of the above tract for use as a dedicated film studio lot. BLP is a Memphis based, award-winning multimedia company formed in response to emerging trends in the audio and visual arts sector. The development plan calls for construction of sound stages for film/TV media platforms; a commissary; editing suites for post-production work; a recording studio for sound tracks and project music scores; an executive office building; a mill shop warehouse for building sets and storage; a hotel to house out of town production crews; a security building operating 24 hours to monitor campus grounds; a gift shop; private housing for production companies staff teams; and a multi-purpose event center to host special occasions associated with conclusion and launch of lot created productions. This will be the first such development in the Memphis metropolitan area. The concept will meet the unprecedented demand for content by having final productions created on the BLP campus including commercials, full length films, episodic series and videos. According to the Permitted Use Table of the UDC, most of these use categories are allowed under the UDC zoning classification of Commercial Mixed Use – 3 (CMU-3) District. A movie production facility use is also requested for the site.

The site location (85 acres) is a part of a larger tract approved as a planned development in 1993 for residential uses. The original concept was to develop a community of single family detached homes. Over the years most of the original PD tract remains vacant except for a parcel fronting Holmes Road sold to Memphis City School. The subject parcel of the undeveloped approved tract of the original PD contains the last acreage and stretches to near Holmes Road on

the north to Scaife Road on the south. The site is bounded on the west by the I.C.RR track and commercial uses on the east fronting Elvis Presley Boulevard. DPD staff has determined that the 1993 PD approval has expired because of the absence of filing a final plan. Therefore, this application is for a new Planned Development on the 85 acres site incorporating the uses described above.

Considering the Planned Development General Provisions of the UDC, the applicant offers the following information. The proposed development is oriented to the east with access a short distance from Elvis Presley Boulevard at the west end of Mary Jane Avenue. The application site plan incorporates the retention of existing heavy foliage which will achieve a maximum effort to enhance screening from the residential and the school in the northwest area of the subject site. Situated in an area of commercial uses to the west, this is a great location for the proposed use as a dedicated film studio lot. As you shall see on the enclosed Outline Plan, the various uses are arranged in a collection of "pods" to organize the flow of the related activities on the site. The proposed development is consistent with the Memphis 3.0 Plan finding for the Whitehaven area. Considering the compelling need for additional commercial/ office activity providing good paying jobs using Memphis talent, this campus will be a big boast to the Whitehaven and Memphis community. Upon completion, the BLP multimedia facility will be one of the most advanced state of the art facilities any where in the world, rivaling Hollywood, Atlanta and London.

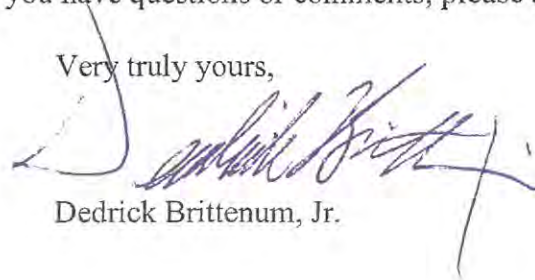
The professional consultants associated with the project are:

Mark Weaver – architect, HBG
Danny Valle – architect, HBG
Greg Bartlett – Civil Engineer, The Reaves Firm
Mike Davis – Landscape Architect, The Reaves Firm
Matt Marzolf – Development Consultant, NuDev
Montgomery Martin – Development Consultant, Montgomery Martin Contractors

Please find enclosed the completed Application for Planned Development Approval form with the required attachments for your review. All proposed conditions are included as a part of the application packet. Your favorable consideration for approval is requested for this project which will bring a high level of activity, opportunity and creative commerce to Whitehaven.

Thank you for your attention and should you have questions or comments, please advise.
I remain,

Very truly yours,



Dedrick Brittenum, Jr.

enclosure

BLP Film Studios Planned Development

Outline Plan Conditions:

I. Uses Permitted:

- A. Any use permitted by right in the Commercial Mixed Use – 3 (CMU-3) District. Additionally, the following uses are allowed:
 - 1. Movie production facility
 - 2. Event/convention center
 - 3. Hotel
 - 4. Multifamily
 - 5. Neighborhood arts center (or similar community facility)
 - 6. Dormitory
 - 7. Solar farm
 - 8. Campground (travel trailer park, recreational vehicle park)
 - 9. Sheet metal shop
 - 10. Warehouse (not distribution)

- B. The following uses are not allowed:
 - 1. Convenience store with or without gas pumps
 - 2. Boarding house, single room occupancy, or rooming house
 - 3. Cleaning establishment, pick up station
 - 4. Outdoor advertising sign
 - 5. Tattoo, palmist, psychic, or medium
 - 6. Outdoor recreation
 - 7. Vehicle parts and accessories
 - 8. Any vehicle sales, service, and repair
 - 9. Hourly Rate Hotel or Motels

II. Bulk Regulations:

- A. The Bulk Regulations of the CMU-3 shall apply except for the following:
 - 1. Maximum height for buildings shall be fifty (50) feet for buildings in “Areas A and C” and eighty-five (85) feet for buildings in “Area B” with the exception that building #10 in Area A shall not exceed thirty-five (35) feet in height.

2. Building shall be set back a minimum of thirty-five (35) feet from Duelling Oaks subdivision.
3. Location of structures shown on the concept plan may be repositioned on the site by as much as one hundred fifty (150) feet on the final plan in keeping with these conditions.

III. Access, Circulation and Parking:

- A. All internal roads shall be private drives and have a minimum width of twenty-two (22) feet.
- B. One (1) curb cut shall be allowed along Mary Jane Avenue cul-de-sac frontage as indicated on the concept plan. The design of the curb cut shall be subject to the approval of the City Engineer. Dedicate a permanent 50' radius cul-de-sac at the existing terminus of Mary Jane Avenue as indicated on the concept plan and improve with a 40' curb radius.
- C. One (1) curb cut shall be allowed along Duelling Oaks but will serve only as an emergency exit. Dedicate and improve a permanent cul-de-sac (43' radius) at the south terminus of Duelling Oaks as indicated on the on the concept plan.
- D. One (1) point of access shall be allowed along the Scaife Road frontage as indicated on the concept plan.
- E. All gated entrances shall meet the requirements of Unified Development Code (UDC) (4.4.8).
- F. Parking shall be in accordance with the CMU-3 requirements of the UDC.

IV. Landscaping and Screening:

- A. The outdoor filming zone (+/- 9 acres) adjacent to the Duelling Oaks Subdivision shall be preserved and maintained as generally depicted and illustrated on the concept plan. In addition, there shall be a minimum buffer width of twenty-five (25) feet between any proposed buildings and the subdivision.
- B. Site shall be surrounded by a 10-12 foot high fence, opaque where adjacent to existing residential uses.
- C. Preserve existing trees along Scaife Road to the extent possible. Supplement as needed to provide adequate streetscape.
- D. Preserve a fifty (50) foot minimum natural buffer adjacent to the single-family homes on Scaife Road except for the north boundary of the Rollen tract (known as 1064 Scaife Road) which shall have the required ten (10) foot buffer.
- E. The internal private drive connecting to Mary Jane Avenue shall be landscaped with street trees.
- F. Internal parking lot landscaping for the hotel and executive office cluster shall be provided in accordance with the requirements of the UDC. Landscaped areas shall not conflict with, wherever feasible, drainage, sewer, utility easements, including overhead wires.
- G. The internal parking lot for all other buildings will not be required to have landscape islands.
- H. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.

V. Signs:

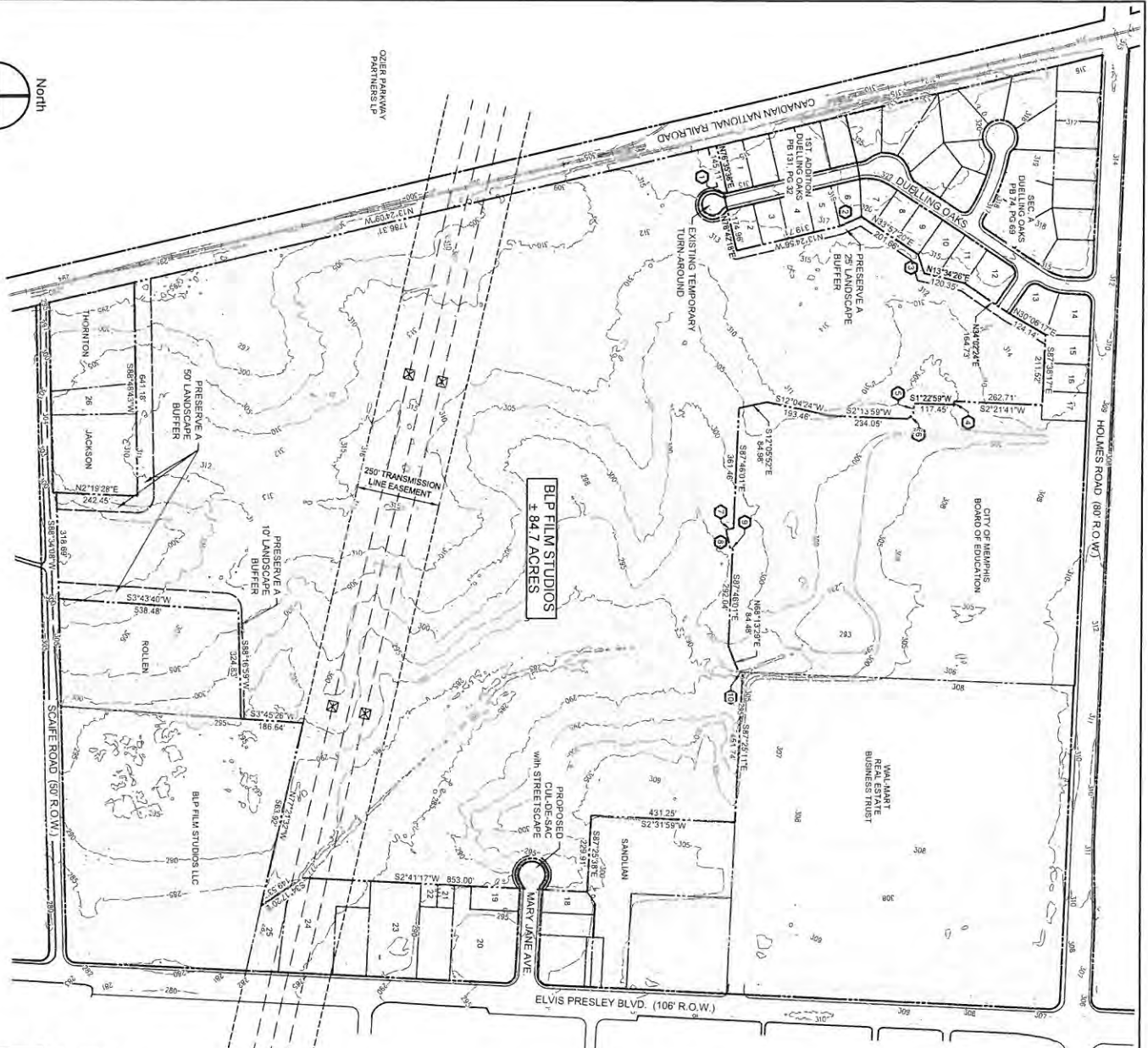
- A. One monument style sign at the Mary Jane Avenue entrance having a maximum sign area of eighty (80) square feet per face and a maximum height of ten (10) feet.
- B. Attached building signs shall be in accordance with the requirements of the UDC for the CMU-3.

VI. Outdoor Site Lighting:

- A. Site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. Parking lot light standards shall be a maximum of twenty-five (25) feet in height within 200 feet of adjacent residential and a maximum of 35 feet otherwise.

VII. Final Plans: Any final plan shall include the following

- A. The concept plan conditions;
- B. A standard subdivision contract as required by the Unified Development Code for any required public improvements;
- C. The exact locations and dimensions including height of buildings, parking areas, utility easement drives and required landscaping and screening for this development;
- D. The location and ownership, whether public or private, of any easement;
- E. All common open areas, drainage detention facilities, private streets, private sewers and private drainage systems shall be owned and maintained by the applicant property owner. A statement to this effect shall be shown on the final plan;
- F. The areas denoted by "Reserved for Storm water Detention" shall not be used as a building site or filled without first obtaining written permission from the City Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by property owner. Such maintenance shall be performed so to ensure that the system operates in accordance with the approved plan located in the City Engineer's Office. Such maintenance shall include but not be limited to removal of sedimentation, fallen objects, debris and trash; mowing; outlet cleaning and repair of drainage structures;
- G. The property owner will be responsible for the ownership and maintenance requirements of any common open space areas; and
- H. A final plan shall be filed within five years of approval of the concept plan. The Land Use Control Board may grant extensions at the request of the applicant.
- I. The Land Use Control Board may modify the bulk, access, parking, landscaping, loading, screening, signs and other site design requirements if equivalent alternatives are presented for project review.



**BLP FILM STUDIOS
± 84.7 ACRES**

PROPERTY LINE DATA

NO	BEARING	LENGTH
1	S13°17'42"E	11.17'
2	N23°51'16"W	70.07'
3	N72°22'19"E	60.18'
4	S88°02'14"E	10.08'
5	S87°46'01"E	31.40'
6	S42°46'01"E	21.21'
7	S17°46'01"E	23.04'
8	N77°13'59"E	69.00'
9	N17°46'01"W	6.96'
10	N02°14'13"E	12.05'

ADJACENT OWNER LIST

1	University Hardware LLC
2	University Hardware LLC
3	University Hardware LLC
4	University Hardware LLC
5	University Hardware LLC
6	University Hardware LLC
7	University Hardware LLC
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23	University Hardware LLC
24	University Hardware LLC
25	University Hardware LLC
26	University Hardware LLC



100 YEAR FLOOD NOTE
THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON FEMA PANELS 4757C Q420F AND 0580F DATED SEPTEMBER 28, 2007 FOR MEMPHIS, TENNESSEE. NEAREST BASE FLOOD ELEV. 427.10

OUTLINE PLAN

BLP FILM STUDIOS PLANNED DEVELOPMENT

CASE NUMBER:	PD 21-
MEMPHIS, TENNESSEE	
NUMBER OF LOTS:	N/A
± 84.7 ACRES	
DEVELOPER:	BLP FILM STUDIOS LLC
ENGINEER:	THE REAVES FIRM
100-YEAR FLOOD ELEV. ± 271.0	FEMA MAP PANELS: Q420F & 0580F
SCALE: 1"=200'	FEMA MAP DATE: SEPT. 28, 2007
MAY, 2021	SHEET 1 OF 1





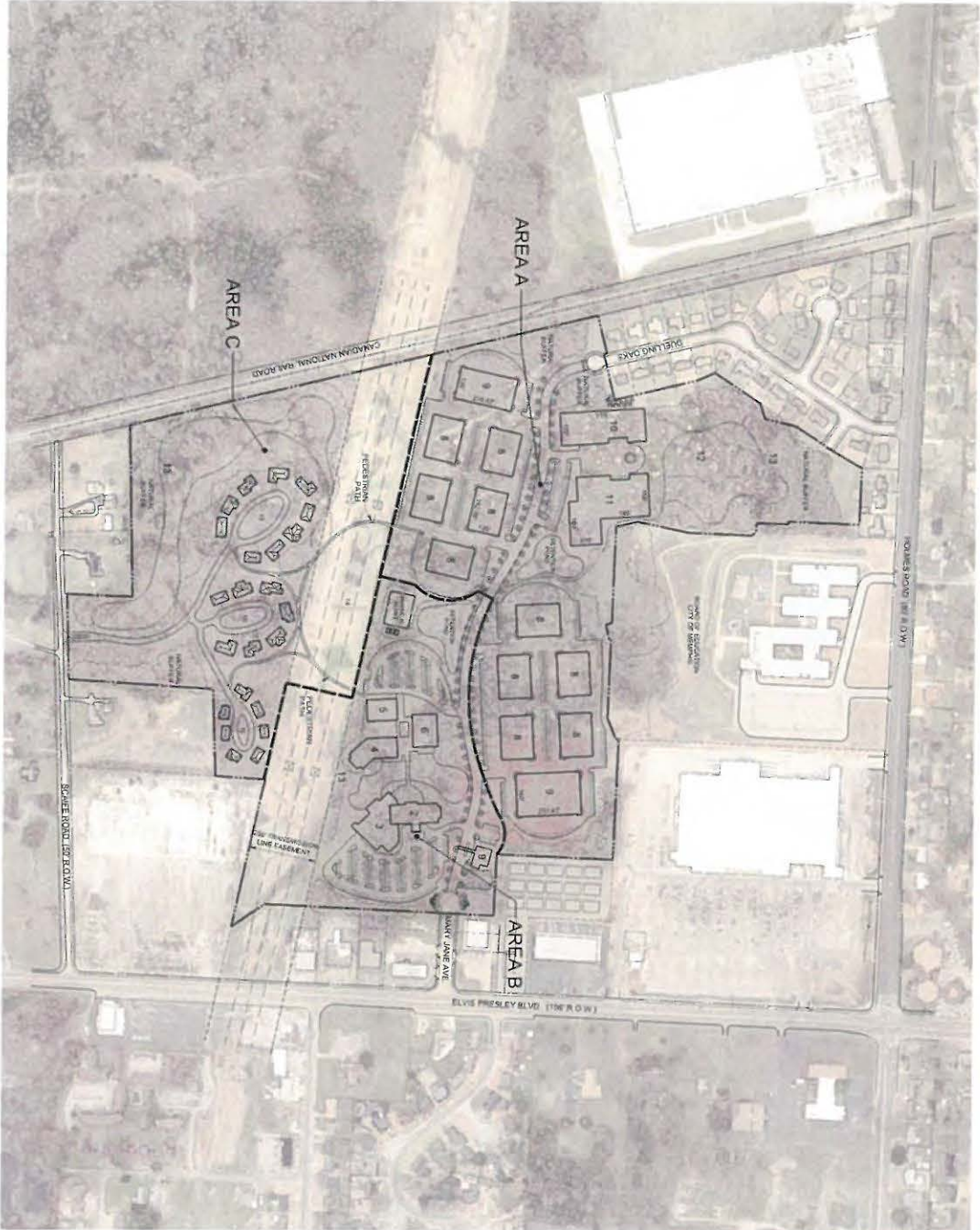
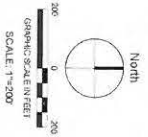
- LEGEND**
- 1 SECURITY / ENTRY SIGN
 - 2 RECEPTION
 - 3 EVENT CENTER
 - 4 ADMINISTRATION OFFICE
 - 5 ADMINISTRATION OFFICE
 - 6 COMMON STAIRS
 - 7 SOUND STAGE - 38,000 S.F.
 - 8 SOUND STAGE - 18,500 S.F.
 - 9 SOUND STAGE - 28,000 S.F.
 - 10 SOUND STAGE - 28,000 S.F.
 - 11 MILLWORKS / SPECIAL EFFECTS
 - 12 OUTDOOR FILMING ZONE
 - 13 MILLWORKS / SPECIAL EFFECTS
 - 14 MILLWORKS / SPECIAL EFFECTS
 - 15 STUDIO HOUSING



BLP
FILM STUDIOS



CONCEPT PLAN
BLP FILM STUDIOS
OWNER: JASON A. FARMER
MEMPHIS, TN MAY 2021



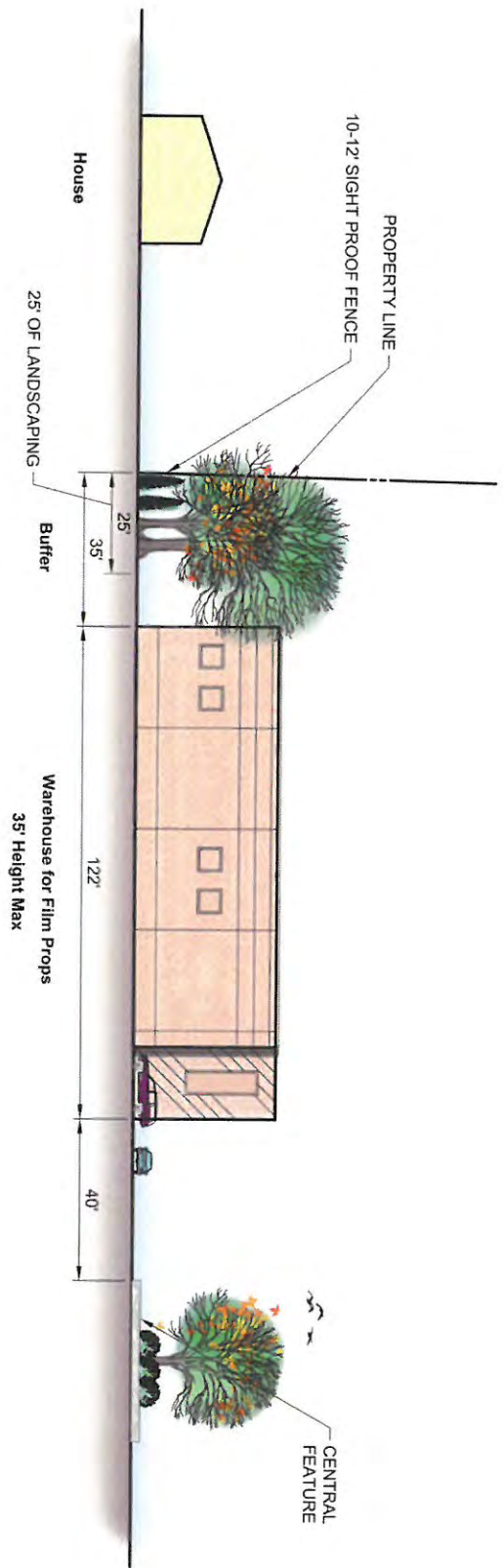
- LEGEND**
- 1 SECURITY / ENTRY SIGN
 - 2 EXERCISE PATH
 - 3 EVENT CENTER
 - 4 ADMINISTRATION OFFICE
 - 5 EXHIBIT SUITES
 - 6 EXHIBIT SUITES
 - 7 SOUND STAGE - 38,000 S.F.
 - 8 SOUND STAGE - 18,500 S.F.
 - 9 SOUND STAGE - 18,500 S.F.
 - 10 SOUND STAGE - 18,500 S.F.
 - 11 MULTIPURPOSE / SPECIAL EFFECTS
 - 12 OUTDOOR FILMING ZONE
 - 13 MOVIE SEATING
 - 14 MOVIE SEATING
 - 15 STUDIO HOUSING



BLP
FILM STUDIOS

CONCEPT PLAN
BLP FILM STUDIOS

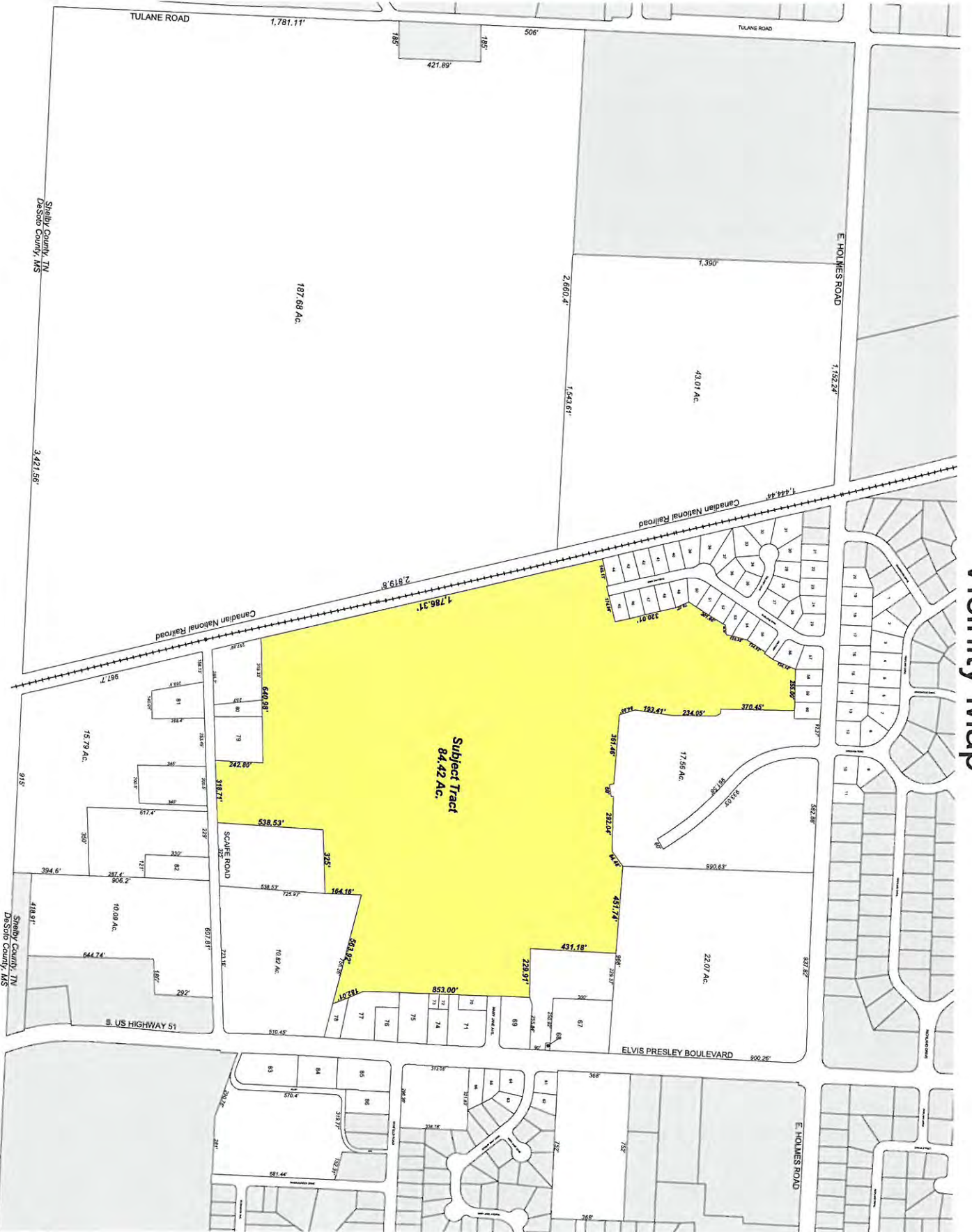
OWNER: JASON A. FARMER
MEMPHIS, TN MAY 2021



SCALE: 1" = 30'

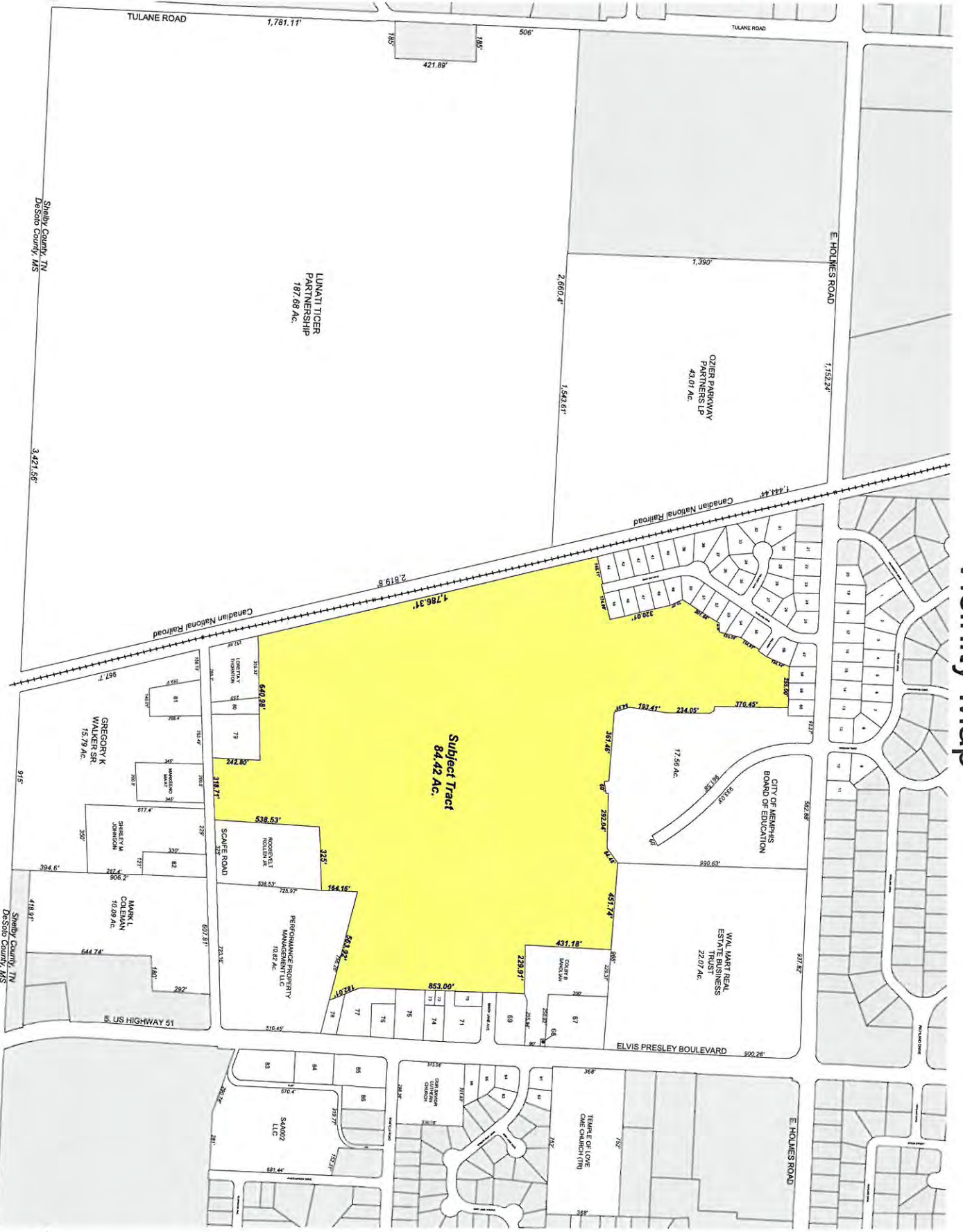
CROSS SECTIONS ADJACENT TO RESIDENTIAL
BLP FILM STUDIOS
 OWNER: BLP FILM STUDIOS
 MEMPHIS, TN MAY 2021

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025



Lot #	Owners Name
1	Mormon Patricia A
2	Mills William And Versie Harris
3	Poag Elroy Jr.
4	Dandridge Damita J
5	Middlebrook Walter T Jr.
6	Chandler Robert L Sr. And Marva L
7	Johnson Samuel E
8	Bittar Living Trust
9	Norwood Sheretal C
10	McKinney Robert III
11	Dorsey John R And Pearlie M Hardaway
12	Smith Robbie F
13	Parker Patty G
14	Earl Ionia
15	Sivarajan Sujal
16	McNeal Susie And Dinah R McNeal
17	ALD Capital Holdings LLC
18	Kinchelow Dorothy S
19	Ward Samuel
20	Welch Rhonda S
21	Downs Dorothy N
22	Richardson William C Jr.
23	Martin Johnnie L & Glory F
24	Parham Tasha And Collis Parham III
25	O'Rourke Family Trust
26	Boyd Mary
27	Smith Joe J
28	Washington Arthur L Jr.
29	Jones James C Sr. & Shirley Y
30	Danner Raney And Liberty Priceless
31	Saulny Gwendolyn M
32	Catron Johnnie & Gloria J
33	Smith Claudia M
34	Percy Property LLC
35	Taylor Denise A And Joyce A Taylor
36	Adams Annetta
37	Pierson Harold
38	Burton Tory
39	Miller Shirley
40	O'Neal Rafael
41	Dishmon Leon Jr.
42	Taylor Marvell
43	Lawal Motoani
44	Visionary Homebuyers LLC
45	Brown Anne
46	Thomas Reginald K
47	Gilmore Marschia C
48	Ellis Elwin F & Tracle R
49	Hill Frank & Teresa
50	Benson Revita M

Lot #	Owners Name
51	Harrison Antoine
52	Faulkner Alice M
53	Garrison Fredrick & Rolinda
54	Lemons Daniel & Thedora
55	Ford Allyson
56	Smith William H Jr & Melissa R
57	Sow Amadou & Aminita
58	Threatt Milton
59	Oler Elvin R & Deloise D
60	Hardaway Phyllis A
61	Barley Gloria M
62	Green Reginald A & Andrea D
63	Ezell Elijah H & Bobbie R
64	Gibson Douglas E & Kim P
65	Tyler Sherman
66	Tyler Construction Company LLC
67	5339 Elvis Presley Boulevard Memphis TN
68	Banana Tree Investments LLC
69	Spirit Master Funding X LLC
70	Holmes And Elvis LLC
71	Holmes And Elvis LLC
72	Holmes And Elvis LLC
73	Holmes And Elvis LLC
74	Couloubaritsis George And Jerry
75	Investments Incorporated
76	Bryant Investment Group LLC
77	Farmer Jason
78	Banana Tree Investments LLC
79	Jackson Amos L & Linda L
80	Ivie Gwendolyn R And Donna K Jenkins
81	Coleman Mark L
82	Johnson Shirley M
83	Whitehaven Funeral Chapel Incorporated
84	M J Edwards-Whitehaven Funeral Chapel
85	M J Edwards-Whitehaven Funeral Chapel
86	Ozrail Ziad S

Tom Leatherwood, Shelby County Register of Deeds: Instr #184547

JS 4547

EXHIBIT ALEGAL DESCRIPTION

LOCATED IN SHELBY COUNTY, TENNESSEE:

BEGINNING AT A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF SCAPE ROAD (60.00 FT. R.O.H.) A DISTANCE OF 100.41 FEET NORTHWESTWARDLY FROM ITS TANGENT INTERSECTION WITH THE CENTERLINE OF U.S. HIGHWAY 51 (206.00 FT. R.O.H.), THENCE ON A BEARING OF NORTH 76 DEGREES 46 MINUTES 13 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID SCAPE ROAD A DISTANCE OF 310.93 FEET (6130.71 FEET) TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE AMOS AND LINDA JACKSON TRACT (874903);

THENCE ON A BEARING OF NORTH 15 DEGREES 23 MINUTES 00 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT A DISTANCE OF 24111 FEET (61242.00 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE SAID AMOS AND LINDA JACKSON TRACT;

THENCE ON A BEARING OF NORTH 10 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT, THE JOHN PERSON TRACT (85-1212), AND THE JOHN JR. AND PATRICIA PERSON TRACT (85-2482) A DISTANCE OF 6403.8 FEET TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE ILLINOIS CENTRAL RAILROAD (600.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 00 DEGREES 20 MINUTES 31 SECONDS WEST ALONG THE EASTERLY LINE OF SAID ILLINOIS CENTRAL RAILROAD A DISTANCE OF 1706.71 FEET TO A 1 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 33 OF THE FIRST ADDITION OF THE DUELLING OAKS SUBDIVISION (P.B. 131, PG. 32A);

THENCE ON A BEARING OF NORTH 64 DEGREES 34 MINUTES 11 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 33 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 145.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF DUELLING OAKS DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF SOUTH 00 DEGREES 14 MINUTES 07 SECONDS EAST ALONG THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE A DISTANCE OF 811.1 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF SAID DUELLING OAKS STREET;

THENCE ON A BEARING OF NORTH 04 DEGREES 45 MINUTES 51 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 114.96 FEET TO A 3/8 INCH PIPE FOUND AT THE SOUTHEASTERLY CORNER OF LOT 42 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 23 SECONDS WEST ALONG THE EASTERLY LINE OF LOTS 42, 41, 40, AND 34 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 300.04 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 30 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 10 DEGREES 11 MINUTES 21 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 30 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 72.50 FEET (6170.07 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 23 OF SECTION 04A OF THE DUELLING OAKS SUBDIVISION (P.B. 74, PG. 6A);

THENCE ON A BEARING OF NORTH 41 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF LOTS 22, 23, AND 24 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 202.00 FEET (61204.66 FEET) TO A 3/8 INCH PIPE FOUND AT THE SOUTHEASTERLY CORNER OF LOT 25 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 25 DEGREES 23 MINUTES 05 SECONDS EAST ALONG AN INTERIOR LINE OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 603.0 FEET (61460.14 FEET) TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 26 DEGREES 32 MINUTES 00 SECONDS EAST ALONG AN INTERIOR LINE OF LOTS 25 AND 26 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 120.44 FEET (61120.20 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 27 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 50 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 27 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 15.00 FEET (61141.41 FEET) TO A 1/2 INCH REBAR SET IN THE SOUTHERLY LINE OF DELCREST DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 41 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 50.00 FEET (61141.20 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 28 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 43 DEGREES 23 MINUTES 07 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 28 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 123.54 FEET (61141.44 FEET) TO A 1/2 INCH REBAR FOUND AT THE SOUTHEASTERLY CORNER OF LOT 24 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF SOUTH 13 DEGREES 51 MINUTES 32 SECONDS EAST ALONG THE SOUTHERLY LINE OF LOTS 30, 31, AND 32 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 211.4 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR LINE OF THE EVANS HOUSING GROUP, INC. TRACT (81-6164);

THENCE ON A BEARING OF SOUTH 15 DEGREES 26 MINUTES 44 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.71 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 465.50 FEET, A CENTRAL ANGLE OF 01 DEGREES 14 MINUTES 26 SECONDS, A CHORD BEARING OF SOUTH 15 DEGREES 07 MINUTES 16 SECONDS WEST AND DISTANCE OF 10.00 FEET, AND THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 111.45 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 31.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 24 DEGREES 38 MINUTES 50 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 2121 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 15 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 234.05 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

Tom Leatherwood, Shelby County Register of Deeds: Inst# JS4547

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THENCE ON A BEARING OF SOUTH 25 DEGREES 11 MINUTES 27 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 143.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 01 DEGREES 01 MINUTES 11 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 84.90 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 301.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 00 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 23.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 24 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 60.00 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 02 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 8.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 242.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF NORTH 60 DEGREES 40 MINUTES 07 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 1000.11 FEET (2+84.45 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE FABAS L.L.C. TRACT (20-3048).

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID FABAS L.L.C. TRACT A DISTANCE OF 4516.4 FEET (2+491.14 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE COLBY AND GENEVIEVE SANDLIAN TRACT (24-2144).

THENCE ON A BEARING OF SOUTH 15 DEGREES 45 MINUTES 30 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 431.0 FEET (431.25 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 224.37 FEET (224.41 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF LOT 3 OF THE HANEY OAKS COMMERCIAL SUBDIVISION (78-15-PB-30).

THENCE ON A BEARING OF SOUTH 15 DEGREES 11 MINUTES 58 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 650.26 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF LOT 14 OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION.

THENCE ON A BEARING OF NORTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 14 OF THE HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 84.21 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE LARRY YOUNG TRACT (L-5002).

THENCE ON A BEARING OF SOUTH 16 DEGREES 04 MINUTES 14 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 120.00 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID LARRY YOUNG TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 200.00 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF U.S. HIGHWAY 51 (100.00 FT. R.O.W.).

THENCE ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY 51 AND ALSO BEING A CURVE TO THE RIGHT, HAVING A RADIUS OF 4127.01 FEET, A CENTRAL ANGLE OF 90 DEGREES 10 MINUTES 4 SECONDS, A CHORD BEARING OF SOUTH 16 DEGREES 11 MINUTES 58 SECONDS WEST AND DISTANCE OF 201.04 FEET, AN ARC DISTANCE OF 201.04 FEET TO A 1/2 INCH REBAR SET.

THENCE ON A BEARING OF NORTH 63 MINUTES 53 SECONDS WEST A DISTANCE OF 231.04 FEET TO A 1/2 INCH REBAR SET.

THENCE ON A BEARING OF SOUTH 20 DEGREES 21 MINUTES 15 SECONDS EAST A DISTANCE OF 72.54 FEET TO A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF THE AMERICAN PROPERTIES CO., L.P. TRACT (89-1228).

THENCE ON A BEARING OF NORTH 63 DEGREES 53 MINUTES 07 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 564.67 FEET (2+563.42 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT.

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 174.56 FEET (2+164.10 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE ROOSEVELT, JR. AND LILLIE ROLLEN TRACT (24-4224).

THENCE ON A BEARING OF NORTH 10 DEGREES 58 MINUTES 15 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 325.00 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT.

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 530.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 85.548 ACRES OR 3,728,444.405 SQUARE FEET.

SEARCHED	INDEXED	SERIALIZED	FILED
SEP 13 2010			
SHELBY COUNTY REGISTER OF DEEDS			
CITY OF MEMPHIS			

JS4547

SHELBY COUNTY REGISTER OF DEEDS 99 SEP 13 AM 9:25



Shelby County Tennessee

Shelandra Y Ford

Shelby County Register

As evidenced by the instrument number shown below, this document has been recorded as a permanent record in the archives of the Office of the Shelby County Register.

20108391

10/05/2020 - 03:39:30 PM

9 PGS

TAMMY 2099261-20108391

VALUE	125000.00
MORTGAGE TAX	0.00
TRANSFER TAX	462.50
RECORDING FEE	45.00
DP FEE	2.00
REGISTER'S FEE	1.00
EFILE FEE	2.00
TOTAL AMOUNT	512.50

SHELANDRA Y FORD

REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Prepared by:
 Wyatt, Tarrant & Combs, LLP (JGML)
 6070 Poplar Avenue, Ste. 300
 Memphis, Tennessee 38119
 (901) 537-1000

After recording, return to:
 The Green Law Firm
 5050 Poplar Avenue, Suite 2416
 Memphis, TN 38157
 901-685-5840 ext 103

QUIT CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that on this the 21 day of Sept., 2020, Shelby County Board of Education, successor-in-interest to the Board of Education of the Memphis City Schools (herein "**Grantor**") for and in consideration of the sum of TEN DOLLARS (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby quit claim unto Jason Farmer, an adult resident of Shelby County, Tennessee, all of Grantor's interest in and to the following described real estate located in the City of Memphis, County of Shelby, State of Tennessee (the "**Land**"), to wit:

See property description at **Exhibit A** attached hereto and incorporated herein by this reference

Being the same property conveyed to Grantor by Board of Education of the Memphis City Schools pursuant to the instruments recorded in the Register's Office of Shelby County, Tennessee as instruments number JS 4544, JS 4545, JS 4546, and JS 4547.

The Land was owned by the Board of Education of the Memphis City Schools, which entity is one and the same as the Memphis City Board of Education. By virtue of that Order, dated August 8, 2011 (the "**Federal Court Order**"), in the U.S. District Court, Western District of Tennessee, Western Division, Cause No. 11-2101, 2011 WL 34444059, styled: *Board of Education of Shelby County, Tennessee, et al. v. Memphis City Board of Education, et al.*, a copy of which is recorded in the Register's Office of Shelby County, Tennessee, as Instrument No. 14093250, all the assets, both real and personal, of the Memphis City Board of Education, including the Land, became the property of the Shelby County Board of Education (see Conclusion #6 in the Federal Court Order). The Memphis City Board of Education surrendered its Charter on or about December 20, 2010, which decision was ratified by the voters of the City of Memphis on or about March 7, 2011. Pursuant to the Federal Court Order, the Memphis City Board of Education ceased to exist at the beginning of the school year in 2013 (see Conclusion #7 in the Federal Court Order). As the successor in interest to the Memphis City Board of Education, and in furtherance of the transactions contemplated by the Federal Court Order, the Shelby County Board of Education executes this quitclaim deed as successor in interest to, and on behalf of, the Memphis City Board of Education in order to complete and effectuate the conveyance and transfer of the Land.

The Grantor does not convey, and Grantee does not accept, any portion of the real property comprising the Holmes Elementary School described in Instrument KG 7914 of record in the Register's Office of Shelby County, Tennessee.

[SIGNATURE AND ACKNOWLEDGMENT PAGE FOLLOW]

QUIT CLAIM DEED

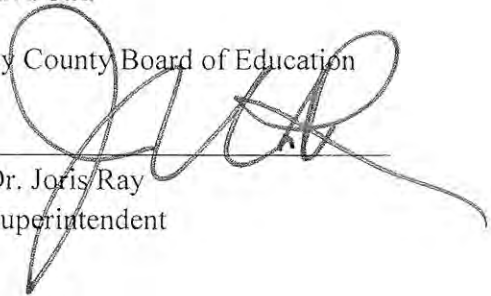
IN TESTIMONY WHEREOF, Grantor has executed this Quit Claim Deed as of the date first written above.

GRANTOR:

Shelby County Board of Education

By: _____

Dr. Joris Ray
Superintendent



STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared Dr. Joris Ray, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who, upon oath, acknowledged himself to be the Superintendent of the Shelby County Board of Education, the within named bargainor, and that he as such Superintendent, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Shelby County Board of Education by himself as such Superintendent.

WITNESS my hand and Notarial Seal at office this the 21 day of September, 2020.



Notary Public

My Commission Expires: 12/13/2023

[affix seal]



QUIT CLAIM DEED

IN TESTIMONY WHEREOF, Grantor has executed this Quit Claim Deed as of the date first written above.

GRANTOR:

Shelby County Board of Education

By: Miska Clay Bibbs
Miska Clay-Bibbs
Board Chair

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared Miska Clay-Bibbs, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who, upon oath, acknowledged herself to be the Board Chair of the Shelby County Board of Education, the within named bargainor, and that she as such Board Chair, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Shelby County Board of Education by herself as such Board Chair.

WITNESS my hand and Notarial Seal at office this the 21 day of September, 2020.

Crystal C Neal
Notary Public

My Commission Expires: 12/13/2023


[affix seal]



QUIT CLAIM DEED

Seller's General Counsel's Approval of Form

Approved as to legal form:



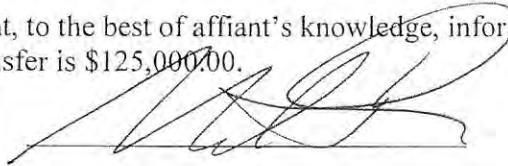
Associate General Counsel

QUIT CLAIM DEED

Consideration Affidavit

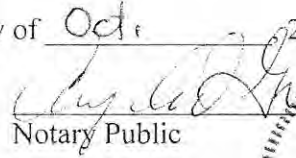
STATE OF TENNESSEE
COUNTY OF SHELBY

I, or we, hereby swear or affirm that, to the best of affiant's knowledge, information, and belief, the actual consideration for this transfer is \$125,000.00.



Subscribed and sworn to before me this the 2nd day of Oct, 2020.

My Commission Expires: 12-13-23



Notary Public



[affix seal]

Recording Information

Property Address:	Tax Parcel ID No.:	Owner:	Mail Tax Bills To:
0 Scaife Rd vacant land	077083-00028	Jason A. Farmer 254 Court Avenue Suite 213 Memphis, TN 38103	Jason A. Farmer 254 Court Avenue Suite 213 Memphis, TN 38103

QUIT CLAIM DEED

Exhibit A

Legal Description

See Attached

Tom Leatherwood, Shelby County Register of Deeds: Instr # 194547

JS 4547

EXHIBIT A

LEGAL DESCRIPTION

LOCATED IN SHELBY COUNTY, TENNESSEE:

BEGINNING AT A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF SCAFE ROAD (60.00 FT. R.O.H.) A DISTANCE OF 150.44 FEET NORTH-EASTWARDLY FROM ITS TANGENT INTERSECTION WITH THE CENTERLINE OF U.S. HIGHWAY 51 (200.00 FT. R.O.H.) THENCE ON A BEARING OF NORTH 78 DEGREES 46 MINUTES 13 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID SCAFE ROAD A DISTANCE OF 310.93 FEET (6*38.71 FEET) TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE AMOS AND LINDA JACKSON TRACT (87*403);

THENCE ON A BEARING OF NORTH 15 DEGREES 23 MINUTES 00 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT A DISTANCE OF 2411 FEET (6*242.00 FEET) TO A 1/2 INCH REBAR SET AT THE NORTH-EASTERLY CORNER OF THE SAID AMOS AND LINDA JACKSON TRACT;

THENCE ON A BEARING OF NORTH 10 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT, THE JOHN PERSON TRACT (85-1212), AND THE JOHN JR. AND PATRICIA PERSON TRACT (85-2482) A DISTANCE OF 640.30 FEET TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE ILLINOIS CENTRAL RAILROAD (200.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 00 DEGREES 20 MINUTES 31 SECONDS WEST ALONG THE EASTERLY LINE OF SAID ILLINOIS CENTRAL RAILROAD A DISTANCE OF 1706.31 FEET TO A 1 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 33 OF THE FIRST ADDITION OF THE DUELLING OAKS SUBDIVISION (P.D. 131, PG. 32A);

THENCE ON A BEARING OF NORTH 64 DEGREES 34 MINUTES 11 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 33 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 145.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF DUELLING OAKS DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF SOUTH 00 DEGREES 14 MINUTES 07 SECONDS EAST ALONG THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE A DISTANCE OF 81.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE;

THENCE ON A BEARING OF NORTH 24 DEGREES 45 MINUTES 51 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 114.90 FEET TO A 3/8 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 42 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 23 SECONDS WEST ALONG THE EASTERLY LINE OF LOTS 42, 41, 40, AND 34 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 300.01 FEET TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 30 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 10 DEGREES 11 MINUTES 21 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 30 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 70.00 FEET (6*70.07 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 23 OF SECTION 6AA OF THE DUELLING OAKS SUBDIVISION (P.D. 74, PG. 64);

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF LOTS 22, 23, AND 24 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 202.00 FEET (6*201.66 FEET) TO A 3/8 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 25 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 25 DEGREES 23 MINUTES 05 SECONDS EAST ALONG AN INTERIOR LINE OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 60.20 FEET (6*60.14 FEET) TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 20 DEGREES 32 MINUTES 00 SECONDS EAST ALONG AN INTERIOR LINE OF LOTS 25 AND 26 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 120.44 FEET (6*120.35 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 21 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 21 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 115.00 FEET (6*114.41 FEET) TO A 1/2 INCH REBAR SET IN THE SOUTHERLY LINE OF DELCREST DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 50.00 FEET (6*49.20 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 20 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 43 DEGREES 23 MINUTES 07 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 20 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 123.94 FEET (6*124.14 FEET) TO A 1/2 INCH REBAR FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 20 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF SOUTH 73 DEGREES 51 MINUTES 32 SECONDS EAST ALONG THE SOUTHERLY LINE OF LOTS 30, 31, AND 32 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 211.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR LINE OF THE EVANS HOUSING GROUP, INC. TRACT (86-4614);

THENCE ON A BEARING OF SOUTH 15 DEGREES 28 MINUTES 44 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.71 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 465.50 FEET, A CENTRAL ANGLE OF 01 DEGREES 14 MINUTES 26 SECONDS, A CHORD BEARING OF SOUTH 15 DEGREES 07 MINUTES 10 SECONDS WEST AND DISTANCE OF 10.08 FEET, AN ARC DISTANCE OF 100.08 FEET TO A 1/2 INCH REBAR SET AT A POINT OF TANGENCY;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 111.45 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 74 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 21.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 24 DEGREES 38 MINUTES 50 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 21.21 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 15 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 234.05 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

Tom Leatherwood, Shelby County Register of Deeds: (504) 4354547

JS 4547

THENCE ON A BEARING OF SOUTH 25 DEGREES 11 MINUTES 21 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 183.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 01 DEGREES 01 MINUTES 11 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 84.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 361.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 00 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 23.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 24 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 60.00 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 02 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 61.80 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF NORTH 60 DEGREES 40 MINUTES 07 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 100.11 FEET (67.84.45 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE FABAS, L.L.C. TRACT (23-504);

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID FABAS, L.L.C. TRACT A DISTANCE OF 451.64 FEET (67.451.74 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE COLDY AND GENEVIEVE SANDLIAN TRACT (21-221A);

THENCE ON A BEARING OF SOUTH 15 DEGREES 45 MINUTES 30 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 431.10 FEET (431.25 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 224.37 FEET (224.91 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF LOT 5 OF THE HANEY OAKS COMMERCIAL SUBDIVISION (FD. 13, PG. 30);

THENCE ON A BEARING OF SOUTH 10 DEGREES 11 MINUTES 56 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 650.20 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF LOT 14 OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION;

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 14 OF THE HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 84.21 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE LARRY YOUNG TRACT (1-1-502);

THENCE ON A BEARING OF SOUTH 10 DEGREES 04 MINUTES 14 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 120.00 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID LARRY YOUNG TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 200.00 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF U.S. HIGHWAY 51 (100.00 FT. R.O.M.);

THENCE ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY 51 AND ALSO BEARS A CURVE TO THE RIGHT, HAVING A RADIUS OF 4127.01 FEET, A CENTRAL ANGLE OF 00 DEGREES 10 MINUTES 40 SECONDS, A CHORD BEARING OF SOUTH 16 DEGREES 11 MINUTES 55 SECONDS WEST AND DISTANCE OF 201.04 FEET, AN ARC DISTANCE OF 201.04 FEET TO A 1/2 INCH REBAR SET;

THENCE ON A BEARING OF NORTH 63 MINUTES 59 SECONDS WEST A DISTANCE OF 231.09 FEET TO A 1/2 INCH REBAR SET;

THENCE ON A BEARING OF SOUTH 20 DEGREES 21 MINUTES 13 SECONDS EAST A DISTANCE OF 72.54 FEET TO A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF THE AMERICAN PROPERTIES CO., L.P. TRACT (18-1223);

THENCE ON A BEARING OF NORTH 63 DEGREES 53 MINUTES 07 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 564.67 FEET (67.563.42 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT;

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 174.56 FEET (67.184.10 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE ROOSEVELT, JR. AND LILLIE ROLLEN TRACT (78-4420);

THENCE ON A BEARING OF NORTH 10 DEGREES 10 MINUTES 19 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 325.00 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT;

THENCE ON A BEARING OF SOUTH 10 DEGREES 10 MINUTES 19 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 530.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 855.510 ACRES OR 37,226.44.405 SQUARE FEET.


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SHIRLEY R. SALES
REGISTER OF DEEDS
SHELBY COUNTY, TENNESSEE

JS4547

SHELBY COUNTY REGISTER OF DEEDS
99 SEP 13 AM 9:25

I, Angela D. Green, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

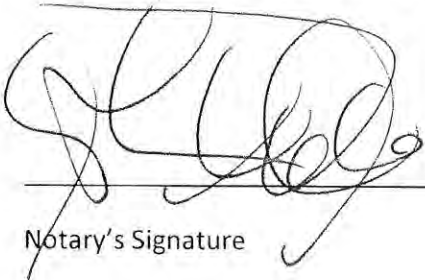


Angela D. Green

State of Tennessee

County of Shelby

Personally appeared before me, John Thomas a notary public for the above county and state, Angela D. Green, who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

MY COMMISSION EXPIRES: _____

Notary's Seal



My Commission Expires
May 8, 2023

The Reaves Firm, Inc.
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm, Inc.
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm, Inc.
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm, Inc
ATTN: Kay Maynard.
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

Dedrick Brittenum
Brittenum Law PLLC
Airways Professional Center
3385 Airways Blvd., #229
Memphis, TN 38116

Dedrick Brittenum
Brittenum Law PLLC
Airways Professional Center
3385 Airways Blvd., #229
Memphis, TN 38116

Dedrick Brittenum
Brittenum Law PLLC
Airways Professional Center
3385 Airways Blvd., #229
Memphis, TN 38116

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Councilman JB Smiley
Memphis City Council
Super District 8-1
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilman Cheyenne Johnson
Memphis City Council
Super District 8-2
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilman Martavius Jones
Memphis City Council
Super District 8-3
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilwoman Patrice Robinson
Memphis City Council
District 3
125 N. Main St., Rm. 514
Memphis, TN 38103

Commissioner Eddie Jones
Shelby County Government
District 11
160 N. Main Street
Memphis, TN 38103

May 17, 2021

You are invited to a neighborhood meeting to discuss the BLP FILM STUDIOS PLANNED DEVELOPMENT application filed with the Memphis and Shelby County Division of Planning and Development. The site is on the west side of Elvis Presley Blvd. between Holmes Rd. & Scaife Rd. The request is for a film studio development consisting of a hotel, conference center, sound stages, residential for film staff, and film prop storage.

The complete application can be found at:

<https://shelbycountyttn.gov/ArchiveCenter/ViewFile/Item/10324>

P.D. 21-018

NEIGHBORHOOD MEETING NOTICE

ONLINE ONLY

Date: Thursday, May 27, 2021

Time: 6:00 – 7:00 pm

Via Zoom: <https://tinyurl.com/3zvhesku> (type this Zoom link into your browser OR download the zoom app on your device and type in the numbers below)

Meeting ID: 841 2531 1858

Passcode: 825282

Audio Only: To join without video dial 1-929-205-6099, follow the prompts for participants and use the meeting ID and passcode from above.

The Planned Development application will also be heard at the Land Use Control Board meeting:

Date: Thursday, June 10, 2021

Time: 9:00 a.m.

Place: <https://www.youtube.com/c/divisionofplanninganddevelopment>

If you have questions regarding this application, you may contact Mr. Brian Bacchus with the Division of Planning and Development at 901.636.6619 or by email at Brian.bacchus@memphistn.gov

Thank you,
BLP Film Studios



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street-Suite 468 – Memphis, Tennessee 38103 – (901) 636-7120

NOTICE OF PUBLIC HEARING

You are receiving this Notice of Public Hearing because you own a property near the location of a land use case filed with the Office of Planning and Development. The **MEMPHIS & SHELBY COUNTY LAND USE CONTROL BOARD** will hold a **Public Hearing** on the following Planned Development application, pursuant to Sub-Section 9.3.4A of the Memphis & Shelby County Unified Development Code:

CASE NUMBER: P.D. 21-018

DEVELOPMENT NAME: BLP Film Studios Planned Development

LOCATION: West side of Elvis Presley Boulevard between Holmes Road and Scaife Road
(SEE CONCEPT PLAN ON REVERSE SIDE)

APPLICANT(S): BLP Film Studios, LLC

REQUEST: Planned development to allow a film studios mixed-use plan with associated accessory structures and uses within the Outline Plan

THE PUBLIC HEARING WILL BE HELD:

DATE: Thursday, June 10th, 2021
TIME: 9:00 A.M. (No Executive Session)
LOCATION: 125 N. Main Street-Lobby
 City Council Chambers

During the **Public Hearing**, the Board may approve with conditions, deny or continue the item until the next regularly scheduled monthly meeting of the Board. After recommendation by the Land Use Control Board, the application will require a public hearing by the Memphis City Council. This legislative body shall make the final decision to approve or deny the request for planned development to allow film studios.

Note: The Land Use Control Board may place this item on the Consent Agenda, which is considered at the beginning of the Board meeting. No individual public hearing will be held, nor will the Board debate items on the Consent Agenda unless a request was made by a property owner, staff or a Board member requesting the item be removed from the Consent Agenda. If you have questions concerning this Planned Development application, call **Brian Bacchus @ (901) 636-7120** or via email brian.bacchus@memphistn.gov

5339 Elvis Presley Blvd. Memphis TN
2701 E. Camelback Road, Ste. 150
Phoenix, AZ 85016-4324

Adams Annetta
5265 Duelling Oaks
Memphis, TN 38116-8228

ALD Capital Holdings LLC
5008 Meadowview Street
Tipp City, OH 45371-8380

Banana Tree Investments LLC
341 Henry Russell Street
Franklin, TN 37064-1524

Barley Gloria M
1166 Mary Jane Avenue
Memphis, TN 38116-8935

Benson Revita M
5276 Duelling Oaks
Memphis, TN 38116-8227

Bittar Living Trust
17967 Mayerling Street
Granada Hills, CA 91344

Boyd Mary
5233 Duelling Oaks
Memphis, TN 38116-8226

Brown Anne
5318 Duelling Oaks
Memphis, TN 38116-8227

Bryant Investment Group LLC
7700 Chapel Ridge Drive
Cordova, TN 38016-7896

Burton Tory
5275 Duelling Oaks
Memphis, TN 38116-8228

Catron Johnnie & Gloria J
889 Delaney Cove
Memphis, TN 38116-8225

Chandler Robert L Sr.
965 Richland Drive
Memphis, TN 38116-8253

City Of Memphis Board Of Education
2597 Avery Avenue
Memphis, TN 38112-4818

Coleman Mark L
5555 Elvis Presley Boulevard
Memphis, TN 38116-8231

Couloubaritsis George And Jerry
756 E. Brookhaven Circle
Memphis, TN 38117

Dandridge Damita J
947 Richland Drive
Memphis, TN 38116-8253

Danner Raney And Liberty Priceless
894 Delaney Cove
Memphis, TN 38116-8225

Dishmon Leon Jr.
5293 Duelling Oaks
Memphis, TN 38116-8228

Dorsey John R And Pearlie M Hardaway
1016 E. Holmes Road
Memphis, TN 38116-8246

Downs Dorothy N
893 E. Holmes Road
Memphis, TN 38116-8239

Earl Ionia
P O Box 16535
Memphis, TN 38186-0535

Ellis Elwin F & Tracle R
5294 Duelling Oaks
Memphis, TN 38116-8227

Ezell Elijah H & Bobbie R
1177 Mary Jane Avenue
Memphis, TN 38116-8934

Farmer Jason
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Faulkner Alice M
5260 Duelling Oaks
Memphis, TN 38116-8227

Ford Allyson
5240 Duelling Oaks
Memphis, TN 38116-8227

Garrison Fredrick & Rolinda
5252 Duelling Oaks
Memphis, TN 38116-8227

Gibson Douglas E & Kim P
1165 Mary Jane Avenue
Memphis, TN 38116-8934

Gilmore Marschia C
5302 Duelling Oaks
Memphis, TN 38116

Green Reginald A & Andrea D
1170 Mary Jane Avenue
Memphis, TN 38116-8935

Hardaway Phyllis A
975 E. Holmes Road
Memphis, TN 38116-8241

Harrison Antoine
5266 Duelling Oaks
Memphis, TN 38116-8227

Hill Frank & Teresa
5286 Duelling Oaks
Memphis, TN 38116-8227

Holmes And Elvis LLC
465 Itawamba Road
Collierville, TN 38017

Investments Incorporated
P O Box 500
Memphis, TN 38101-0500

Ivie Gwendolyn R And Donna K Jenkins
5137 Darlington Drive
Memphis, TN 38118-2522

Jackson Amos L & Linda L
996 Scaife Road
Memphis, TN 38116-8258

Johnson Samuel E
979 Richland Drive
Memphis, TN 38116-8253

Johnson Shirley M
1069 Scaife Road
Memphis, TN 38116-8257

Jones James C Sr. & Shirley Y
P O Box 241936
Memphis, TN 38124

Kinchelow Dorothy S
924 E. Holmes Road
Memphis, TN 38116

Lawal Motoani
5309 Duelling Oaks
Memphis, TN 38116

Lemons Daniel & Thedora
5246 Duelling Oaks
Memphis, TN 38116-8227

Lunati Ticer Partnership
7170 Stout Road
Germantown, TN 38138

M J Edwards-Whitehaven Funeral Chapel
1929 Allen Parkway
Houston, TX 77019-2506

Ma'at Markeeno
1025 Scaife Road
Memphis, TN 38116-8257

Martin Johnnie L & Glory F
911 E. Holmes Road
Memphis, TN 38116-8239

McKinney Robert III
1002 E. Holmes Road
Memphis, TN 38116-8246

McNeal Susie And Dinah R McNeal
944 E. Holmes Road
Memphis, TN 38116-8242

Middlebrook Walter T Jr.
957 Richland Drive
Memphis, TN 38116-8253

Miller Shirley
14039 Weddington Street
Van Nuys, CA 91401

Mills William And Versie Harris
933 Richland Drive
Memphis, TN 38116-8253

Mormon Patricia A
909 Craigwood Drive
Memphis, TN 38116

Norwood Sheretal C
999 Richland Drive
Memphis, TN 38116-8253

Oler Elvin R & Deloise D
967 E. Holmes Road
Memphis, TN 38116-8241

O'neal Rafael
5285 Duelling Oaks
Memphis, TN 38116-8228

O'rourke Family Trust
1152 Kriebel Mill Road
Collegetown, PA 19426-1527

Our Savior Luthern Church
5400 Elvis Presley Boulevard
Memphis, TN 38116-8236

Ozier Parkway Partners LP
823 E. Holmes Road
Memphis, TN 38116-8239

Ozrail Ziad S
3588 Poplar Avenue
Memphis, TN 38111-6006

Parham Tasha And Collis Parham III
919 E. Holmes Road
Memphis, TN 38116-8239

Parker Patty G
974 E. Holmes Road
Memphis, TN 38116

Percy Property LLC
1 Williambury Station
Carnarvon, W. Australia 6701

Performance Property Management LLC
P O Box 1992
Olive Branch, MS 38654-2104

Pierson Harold
5271 Duelling Oaks
Memphis, TN 38116-8228

Poag Elroy Jr.
939 Richland Drive
Memphis, TN 38116-8253

Richardson William C Jr.
901 E. Holmes Road
Memphis, TN 38116

Rollen Roosevelt Jr. & Lillie B
1064 Scaife Road
Memphis, TN 38116-8258

S4A002 LLC
2 Hartford Drive, Ste. 206
Tinton Falls, NJ 07701-4939

Sandlian Colby B
P O Box 612
Fishers, IN 46038-0612

Saulny Gwendolyn M
890 Delaney Cove
Memphis, TN 38116-8225

Sivarajan Sujal
18677 NE 56th Court
Redmond, WA 98052-6129

Smith Claudia M
893 Delaney Cove
Memphis, TN 38116-8225

Smith Joe J
5243 Duelling Oaks
Memphis, TN 38116-8226

Smith Robbie F
986 E. Holmes Road
Memphis, TN 38116

Smith William H Jr & Melissa R
5226 Duelling Oaks
Memphis, TN 38116-8265

Sow Amadou & Aminita
947 E. Holmes Road
Memphis, TN 38116-8241

Spirit Master Funding X LLC
500 Volvo Parkway
Chesapeake, VA 23320-1604

Taylor Denise A And Joyce A Taylor
5257 Duelling Oaks
Memphis, TN 38116-8228

Taylor Marvell
5301 Duelling Oaks
Memphis, TN 38116

Temple Of Love Cme Church (TR)
P O Box 16920
Memphis, TN 38186-0920

Thomas Reginald K
5310 Duelling Oaks
Memphis, TN 38116-8227

Thornton Loretta Y
974 Scaife Road
Memphis, TN 38116-8258

Threatt Milton
957 E. Holmes Road
Memphis, TN 38116-8241

Tyler Construction Company LLC
5366 Elvis Presley Boulevard
Memphis, TN 38116-8236

Tyler Sherman
5366 Elvis Presley Boulevard
Memphis, TN 38116-8236

Visionary Homebuyers LLC
8266 Post Creek Cove
Memphis, TN 38125-3258

Wal Mart Real Estate Business Trust
P O Box 8050
Bentonville, AR 72712-8050

Walker Gregory K Sr. & Sherrill Q
4328 Marguerite Drive
Memphis, TN 38109-5506

Ward Samuel
914 E. Holmes Road
Memphis, TN 38116-8242

Washington Arthur L Jr.
7614 Parkmont Drive
Memphis, TN 38125-4781

Welch Rhonda S
1391 Ridgewood Park Road
Memphis, TN 38116-7213

Whitehaven Funeral Chapel Incorporated
P O Box 130548
Houston, TX 77219

AFFIDAVIT

Shelby County
State of Tennessee

I, Thomas Hughes, being duly sworn, depose and say that at 10:00 am on the 28th day of May, 2021, I posted 6 Public Notice Sign(s) pertaining to Case No. 2021-018 at (see attached map) providing notice of a Public Hearing before the X Land Use Control Board, Memphis City Council, Shelby County Board of Commissioners for consideration of a proposed Land Use Action (X Planned Development, Special Use Permit, Zoning District Map Amendment, Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

Thomas Hughes
Owner, Applicant or Representative

5/28/21
Date

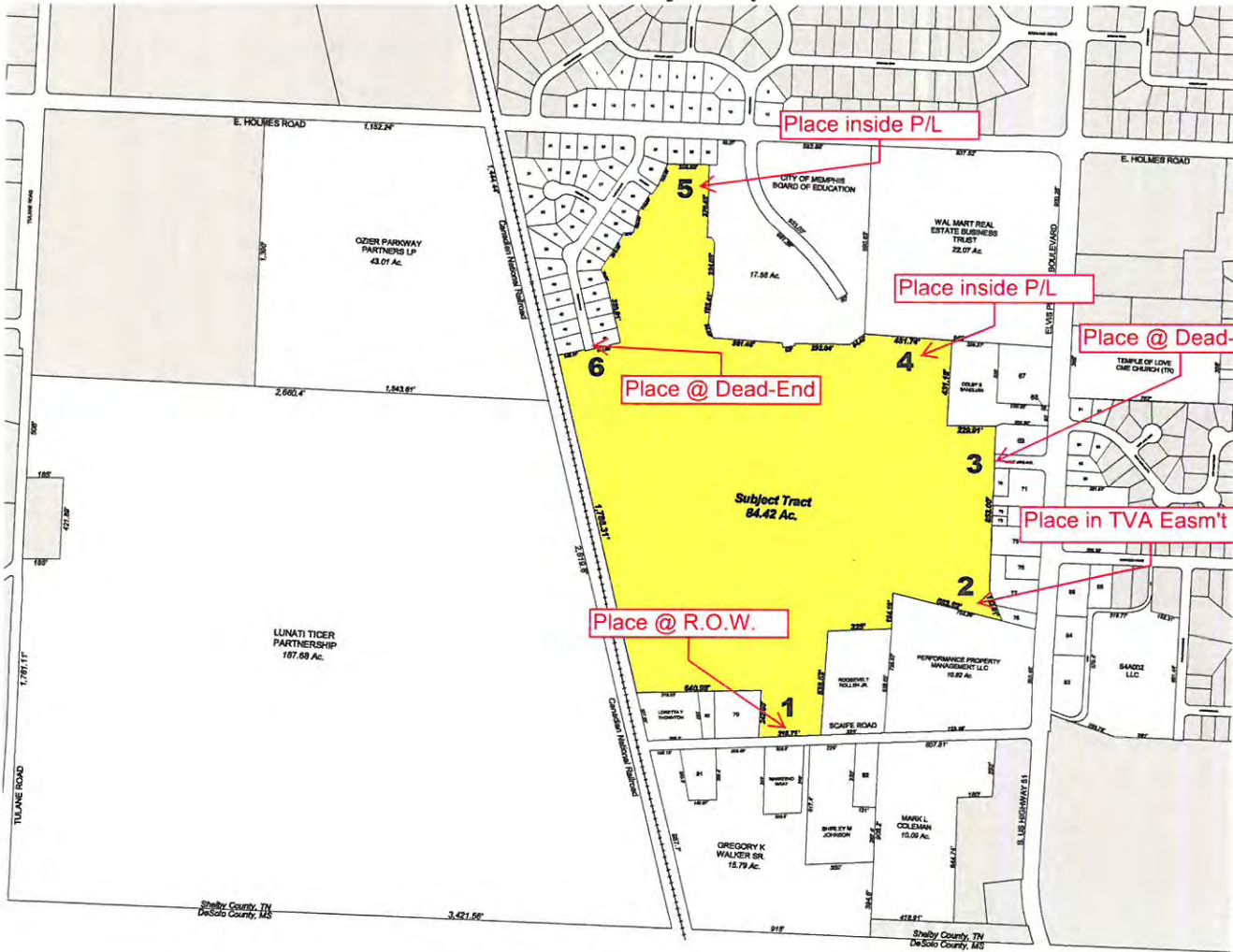
Subscribed and sworn to before me this 28 day of May, 2021.

Michelle Cortese McIVOR
Notary Public



My commission expires: 5/14/21

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025

P.D 2021-018 BLP Studios



#1 Scaife Road @ R.O.W.



#2 TVA Easement

P.D. 2021-018 BLP Studios



#3 Mary Jane Ave. @ Dead End



#4 Inside P/L - Walmart

P.D. 2021-018 BLP Studios



#5 Inside P/L - Delcrest



#6 Duelling Oaks @ Dead End

PUBLIC NOTICE

**AN APPLICATION HAS
BEEN FILED FOR A**

**PLANNED
DEVELOPMENT**

**TO ALLOW FILM STUDIOS
WITH ACCESSORY USES
ON THIS PROPERTY**

**A PUBLIC HEARING
WILL BE HELD**

**CASE NO: PD 2021-018
INFORMATION: 636-6619**

Item # 14

P.D. 21-018

BLP Film Studios

LETTERS OF SUPPORT



June 4, 2021

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus:

I am a long-term resident in the Whitehaven community. I am writing to show the community's support for the BLP Film Studios proposed planned development! The project will not only create employment opportunities it will also drive local business growth and afford new vocational options in Whitehaven and Greater Memphis Communities. The project will create an economic boon for the county as well as the State.

The Owner of the proposed studio film campus development is a life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community. Please count my voice in support of the planned development and advise me if I can be of further assistance.

Sincerely:

Angela D. Green

Angela D. Green, Esq.

5050 Poplar Ave., Suite 2416
Memphis, TN 38157
p 901-685-5840
f 901-685-5825

Bacchus, Brian

From: Moti' J Watson <motijwatson@gmail.com>
Sent: Saturday, June 05, 2021 12:04 PM
To: Bacchus, Brian
Subject: BLP Studios, Whitehaven

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am a documentary filmmaker writing in support of establishing the BLP Film Studios campus in Whitehaven. As an educator and entertainment industry veteran, I strongly support the proposed studio project because it will provide a sustainable platform for artists, technicians, directors, writers, and producers. Additionally, BLP will cultivate local entrepreneurs and youth options, anchor community-based businesses, attract celebrities, and initiate the development of a globally significant Mid-South cinema industry.

Many professionals in the film and television industry are excited to practice their craft in the uniquely talented and alluring bio-sphere of Memphis. It would be a tragedy to deny the world this opportunity to benefit from the talent, drama, creative innovation, and culture of celebration that is our good fortune. With your help, BLP Studios will become an epicenter for the future of diverse film, television, music, and social media productions that inform and inspire our nation's evolution towards greatness. I support the BLP Film Studios campus, as we stand united as a community of creatives, looking forward to this long awaited and groundbreaking achievement.

Thank You,
Moti' J. Watson
South Main ArtSpace

Bacchus, Brian

From: Pamela Pitts <pam.pitts101@gmail.com>
Sent: Monday, June 07, 2021 1:42 PM
To: Bacchus, Brian
Subject: Support for Case Number P.D. 21-018

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project in the capacity of compliance officer. I have lent my background and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Excitedly,

Pamela Pitts

Bacchus, Brian

From: Jennean Farmer <jenneanfarmer@gmail.com>
Sent: Monday, June 07, 2021 2:50 PM
To: Bacchus, Brian
Subject: Support Letter: BLP Film Studios Land Use

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

June 7, 2021

Dear Brian Bacchus,

My name is Jennean Farmer. I'm an actor, and I'm a born and raised Memphian.

In 2010, I left Memphis to pursue my dream of acting. At the time, I felt that the city was not the place to grow and develop my career as a professional artist. Yet, the proposed planned development of BLP Film Studios will give many artists who want to build their career in the entertainment industry the chance to do that in Memphis.

I grew up in Whitehaven, went to Havenview Jr. High School, graduated from THE HIGH SCHOOL (Memphis Central), am a U.S. Army Veteran, a professional actor, and I am a proud Memphian.

As a proud Memphian, I want that pride to continue to grow based on the opportunities that can help artists to pursue their dreams, gain knowledge in the entertainment field, and become successes in their own right. These successes help to make Memphis stronger and a competitor in the entertainment industry.

By saying "YES" to BLP Film Studios breaking ground in Whitehaven; you are making a decision that creates jobs, drives the growth of local businesses, allows for new educational and vocational options, and generates an economic boon for the county as well as the state.

For 15 years, I have been working as an actor. I now live and am a resident of New York City. I have worked and continue to work professionally in TV/Film and Theatre. Though, when I tell people where I'm from, I say that I represent Memphis all day, every day, and for the rest of my life.

I left Memphis because the city did not have the resources that I needed to build the type of life and career I wanted. BLP Film Studios will provide those resources and allow Memphis to not only hold on to its developing artists but also nurture them in the city they call home.

Please count my voice in support of the planned development and advise me if I can be of further assistance.

Sincerely,

--
JENNEAN FARMER
Actress
SAG/AFTRA - AEA

www.jenneanfarmer.com
jenneanfarmer@gmail.com

Bacchus, Brian

From: anthony williams <aaewilliams1@yahoo.com>
Sent: Monday, June 07, 2021 5:29 PM
To: Bacchus, Brian
Cc: anthony williams
Subject: BLP Letter of Support
Attachments: BLPLetter Of Support.pdf

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mr. Bacchus,

My name is Anthony Williams. I have attached below a letter of support for Mr. Jason Farmer regarding his company, Black Lens Productions. I can be reached at 323-767-6742 if needed.

Bests,

Anthony E. Williams

Bacchus, Brian

From: Brenda Washington <lynngray11@yahoo.com>
Sent: Monday, June 07, 2021 8:54 PM
To: Bacchus, Brian
Subject: BLP Film Studios Planned Development Support Letter 6/7/2021
Attachments: Document 1.pdf

Importance: High

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Afternoon Mr. Bacchus,

My name is Brenda Washington, a long-term resident and owner of the Whitehaven community. Please find attached a letter in support of the BLP Film Studios planned development. Thanks so much in advance for taking the time to allow my voice to be counted. If I can be of further assistance, please call me at 901-288-4002.

Grateful,
Brenda Washington

Bacchus, Brian

From: Sheila Ducksworth <ducksmile@aol.com>
Sent: Monday, June 07, 2021 9:42 PM
To: Bacchus, Brian
Subject: BLP CAMPUS

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mr. Bacchus,

My name is Sheila Ducksworth. I am a producer in Los Angeles, California with over 25 years experience in television. I am writing in support of my dear friend and colleague, Jason Farmer.

The potential for his BLP campus is enormous for the City of Memphis and surrounding communities; and, the design for the studio campus is sure to entice high interest from serious filmmakers both nationally and internationally.

It is truly an impressive project under development with unlimited growth for all parties involved. I will continue to spread the word here in Hollywood about the great things happening in Memphis as it pertains to film production. Additionally, if I can be of further assistance don't hesitate to call on me.

Sincerely,
Sheila Ducksworth

Bacchus, Brian

From: finneyjohnson@ca.rr.com
Sent: Tuesday, June 08, 2021 12:24 AM
To: Bacchus, Brian
Cc: 'BLPMemphis@gmail.com'
Subject: RE: BLP Film Studios

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mr. Bacchus:

My name is Sara Finney-Johnson. I'm an Executive Producer/Writer in television. I produced a pilot for BET Network in the fall of 2019 in Memphis. During that time, I had the pleasure of meeting and working with an amazing and talented crew, most of them from the Memphis area. I hope to return to this wonderful city and work with the local production crews again. I believe the BLP Film Studios would be a great addition to the TV/Film business in Memphis. It would certainly make shooting in the area more feasible and provide a platform for creatives, directors, producers, actors, musicians, cameramen and other professionals involved in the TV/Film industry to practice their craft in Memphis.

So, I'm writing to support the BLP Film Studios project located in the Whitehaven community. As a professional in the entertainment industry, I strongly support the proposed studio campus. The project has the potential to transform Memphis into an epicenter for film, television and music.

I'm in full support of BLP Film Studios campus. Please let me know if I may be of further assistance. Thank you for your time and consideration.

Respectfully,
Sara Finney-Johnson

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Brian,

I hope all is well with you. I appreciate the information that you shared with me last week. I will let you know how it goes. Today, I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project as a board member and serve in the capacity of strategic partnerships. I have lent my background, influence and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world! The impact on both the business community and the talent community will be tremendous, and it's humbling and exciting to be a part.

I wholeheartedly support the project and anticipate its success!

Excitedly,

Fenton E. Wright
F. E. Wright Consulting
fenton@fewrightconsulting.com
(901) 553-2179

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis TN 38103

Dear Sir. Bacchus,

I am a long-term resident owner in the Whitehaven community.

I am writing to show the community's support for the BLP Film Studios proposed planned development! The project will not only create employment opportunities it will also drive local business growth and afford new educational and vocational options in Whitehaven and Greater Memphis Communities.

The project will create an economic boon for the country as well as the State.

The Owner of the proposed studio film campus development is a life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community.

Please count my voice in support of the planned development and advise me if I can be of future assistance.

Grateful,
Brenda Washington
901-288-4002

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Re: Case Number: P.D. 21-018

Dear Mr. Bacchus,

As a native Memphian and VP of Film/TV/Streaming at BLP Film Studios, I am elated to send this letter of support for our project. I can proudly say *our project* due to the deep roots this team has in the Memphis community and the collaborative spirit in which this project was born. I can truly say, I think I have found my purpose in BLP Film Studios.

I was born at Methodist Central, lived in Midtown, Raleigh, Hickory Hill and went to Raleigh Bartlett Meadows and White Station Middle and High School. As the anchor of the WSHS news team, I leveraged my desire to work in media to become the anchor of Fast Forward, a teen program for WMC-TV 5. From there I went to Princeton and NYU, receiving my MFA in Dramatic Writing and by way of New York and Los Angeles returned home again ready to apply all I have learned to my hometown. When I returned to Memphis, I asked God to send me a tribe who aligned with my values and vision and God sent Jason Farmer. A dad, a military veteran, a community leader and a Memphian determined to help build a better Memphis. Inspired by the dreams of his son, an aspiring director, and seeing the possibilities for my son and daughter, Jagger and Chloe, I joined Jason in helping build a studio where we can retain our talent and give them hope, training and jobs right here in Memphis. My dreams have taken me far but I have never been so excited to see that God meant for me to blossom right here in Memphis. I want that for our next generation of Memphians, too. Just knowing there are children who will make their dreams come true here in the fertile soil of the 901 gives me great joy.

Help us make this dream a reality for the future of Memphis by approving the plans for BLP Film Studios. Let's grow greatness together!

With gratitude,



Tracee Comfort
BLP Film Studios
VP, Film/TV/Streaming

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Brian.Bacchus@MemphisTN.Gov

Dear Mr. Bacchus:

I am a Senior at The University of Memphis, majoring in Communications with an emphasis in Film and Video Production and a minor in American Sign Language. I've also recently been selected as an Executive Intern at BLP Film Studios. I am writing to support the BLP Film Studios project located in the Whitehaven community. As a student and soon-to-be professional in the entertainment industry, I strongly support the proposed studio campus, as it will provide a platform for creatives, directors, producers, actors, musicians, cameramen and other professionals involved in film and television industry to practice their craft in Memphis. This is important because there are so many creatives in the Memphis area who feel like they do not have a solid foundation to pursue their dreams. Most people will leave the city to work towards their goals in entertainment industry, but what BLP Film Studios is building provides a system for more employment and opportunities for those same creatives. BLP is equipping Memphis the proper tools to elevate as a force in the entertainment industry.

The project has the potential to transform Memphis into an epicenter for the film, television and music industry.

I am in full support of BLP Film Studios campus, please advise me accordingly if I may be of further assistance.

Respectfully,

Kennedy Hall

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project in the capacity of a supporter and homeowner in the Whitehaven Community. I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Respectfully,

Anthony J. Tolbert
901-270-1418

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project in the capacity of Chief Stylist for BLP, supporter and homeowner in the Whitehaven Community. I have lent my background and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Respectfully,

Barbara Farmer-Tolbert
901-833-7988

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

We are writing as a proud supporter of the BLP Film Studios proposed planned development!

We are involved with the project in the capacity a supporter. We believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

We wholeheartedly support the project and anticipate its success!

Respectfully,

T&D Consulting Services

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project in the capacity a supporter. I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Respectfully,

Erica Rhea

Dear Mr. Bacchus,

I am an Independent Filmmaker with **H2O FILMS**. I am a native resident of Memphis currently residing in Los Angeles, California. I grew up in the Whitehaven area and graduated from Whitehaven High. Jason Farmer is a good friend of mine and I stand with his vision at BLP. It is my intention to collaborate and support Jason's endeavor by producing and filming projects in the city of Memphis once this studio campus is completed.

I have shared the great news of this development with several of my colleagues here in L.A. I look forward to the groundbreaking and will be available for any additional assistance should the need arise.

Best regards,

Anthony E. Williams

June 7, 2021

Brian S. Bacchus
Principal Planner, BOA, LUCB, & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Re: Case P.D. 21-018

Dear Mr. Bacchus,

I am Audrey Chatman-Farmer, and it is with great pride and joy that I wholeheartedly endorse the proposed 85-acre lot for the building of BLP Film Studios! I am a lifelong Memphian who has served my community through the role of public-school educator. As a twenty-five-year veteran of legacy Memphis City Schools and the current Shelby County Schools, I have been blessed to touch the future of Memphis through my work with students. I have encouraged students to go for their dreams and to become good citizens who contribute to their community.

I am also the proud wife of the CEO of BLP Film Studios and the equally proud mother of the inspiration for this unique business ecosystem. I have witnessed the journey of BLP Film Studios from the dream of a 12-year-old bright and creative young man (Jason II) who wanted nothing more than to create movie magic to the vision of a bright, brilliant, and determined father who only wanted to support his son in his dream! Through sheer fortitude and a willingness to become humble and learn, Jason Farmer conceptualized a place where creatives of color could come to create and tell their stories.

I support BLP Film Studios because it will be a place where the same creatives can tell their stories, young people can learn a trade and build a better future for themselves, and the community of Whitehaven can shine as it is meant to do. Not only will Whitehaven shine, but the city of Memphis will become a hub for diversity and creativity-as this great city has always been. Memphis has contributed many wonderful art forms (Blues, Rock and Roll, and Soul music) to our world- now let's contribute the art and magic of movies!

June 7, 2021

Brian S. Bacchus
Principal Planner, BOA, LUCB, & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Re: Case P.D. 21-018

Dear Mr. Bacchus,

My name is Alison Claire Farmer and I am a fourteen year old freshman at Middle College High at CBU. It is with great excitement that I endorse the proposed 85-acre lot for the building of BLP Film Studios! I support this project because I have seen the hard work, diligence, and the thought process of my father, Jason A. Farmer and his partners, Ms. Carolyn Nelson-Henry and Ms. Cecelia S. Barnes as they embarked upon a journey to create an amazing space for diverse storytelling through film.

BLP Film Studios will bring projects (big and small) to the Memphis area and will give everyone an opportunity to grow and bring their visions to life. The Whitehaven community has a special place in my family's heart. It is where my dad and my aunts and uncles grew up and went to high school. I have several family members who have put roots into the Whitehaven community and are proud residents. BLP represents hope and change for Memphis and the Whitehaven community!

I am happy to know that BLP will bring jobs to the city, help young people to flourish, and create excitement in the city of Memphis!



MEMPHIS SYMPHONY ORCHESTRA

Robert Moody, MUSIC DIRECTOR

June 8, 2021

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

The Memphis Symphony Orchestra would like to emphatically support rezoning the affected parcels in Whitehaven as laid out in the vision for the Black Lens Productions campus. This trailblazing project has the potential to truly lift all boats with its rising tides.

As key members on any film project, musicians bring life to television and movies through precise playing of a dramatic musical score. Many current members of the Memphis Symphony already take place in this type of business, but most of the work is in Nashville. When this project moves right into our backyard, hundreds of local musicians will be needed to add the musical element to a project.

To see the dramatic effect of this type of investment, you need not look past our friends 200 miles to the East. In part because of the high quality of the Nashville Symphony, many video game soundtracks are recorded live right there in Nashville. Film score projects not only pay well, but they also contribute higher amounts to musician pensions and help generate a stable living for the artistic class.

It is easy to see how direct payroll contributions to local musicians from even a modest amount of film work could top hundreds of thousands of dollars a year. Let us be clear, this would be good for everyone, and it would be great for artists.

I would be available to answer or speak to any specific issues or topics related to the role of musicians in this wonderful concept. Like many who have heard about this, we are truly excited about what the BLP Studios project could become.

Warmly,

Peter Abell
President and CEO
Memphis Symphony Orchestra
(901) 779-7831
peter.abell@memphissymphony.org

June 8, 2021

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development! As a member of BLP, I have lent my background and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Excitedly,
Cecilia S. Barnes

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project as Strategic Partner and Music Sync Liaison. I have given my time and experience to the project because I believe in the positive economic and social impact of the project to the Greater Memphis community and the State of Tennessee.

BLP Film Studios will provide countless employment and educational opportunities in various capacities with major production companies, as well as extend the Memphis brand around the world! This project will allow Memphis to compete on the national stage in the film and entertainment space and showcase the many attributes of the city.

I have every confidence that this project will be successful, and wholeheartedly support the efforts of BLP Studios!

Sincerely,

Lawrence E. Hall, Jr.
BLP Film Studios
Strategic Partner and Music Sync Liaison
L.Halljr@comcast.net
(615)974-1378

Bacchus, Brian

From: TheScriptPolishers <thescriptpolishers@gmail.com>
Sent: Wednesday, June 09, 2021 1:02 AM
To: Bacchus, Brian
Subject: Case Number: P.D. 21-018 (BLP Film Studios)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as an avid supporter of the BLP Film Studios proposed planned development in Whitehaven.

I am involved with the project in the capacity of screenwriter and script consultant. I have lent my extensive background and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community, the State of Tennessee, and the entire Midsouth region. On a personal level, it will afford me an opportunity to work in this global billion-dollar film industry from my home city.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world. I have friends and colleagues, across the country, who are looking forward to bringing their visual and film projects to Memphis, because of its legendary creative energy.

As you consider this case, know that as one who works within the entertainment industry, I wholeheartedly support the project and anticipate its success!

Excitedly,



Christie B. Taylor

Screenwriter/Script Consultant | **The Script Polishers**

P: (901) 468-3858 **M:** 323-893-2280

E: thescriptpolishers@gmail.com **W:** www.thescriptpolishers.com



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Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus,

I am writing as a proud supporter of the BLP Film Studios proposed planned development!

I am involved with the project as an Advisory Board Member. I extend my background and experience to the project because I believe in the project's ability to positively impact the Greater Memphis community and the State overall.

BLP Film Studios will afford countless opportunities to work in various capacities with major production companies, creating new employment and educational-opportunities locally and extending the Memphis brand around the world!

I wholeheartedly support the project and anticipate its success!

Excitedly,

Gina M. Brewer

EDWARD STANTON, JR.

9104 Huntington Oak Drive, Cordova TN 38016 · 901.371.9656
1949er@comcast.net

June 8, 2021

Via E-mail: Brian.Bacchus@MemphisTN.Gov

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development

Dear Mr. Bacchus,


I am writing to show our support and elation for Jason Farmer and the BLP Film Studios proposed planned development! A project of this magnitude will impact and elevate Memphis for years to come, delivering new economic opportunities, new educational opportunities and new momentum for one of Memphis' most storied communities!

I'm proud to have known and watched Jason Farmer grow in his commitment to God, his Family and his Community. Over the years he's been a valued employee to my office, worked tirelessly on my campaign elections and I've had the honor to serve as one of his Advisor's.

My family and I pledge our full support to Jason and his professional endeavor, as a life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community, he embodies the spirit in his daily walk necessary to lead this vision!

Please feel free to contact me if I can be of further assistance.

Sincerely,



Edward Stanton, Jr.
Retired Shelby County General Sessions Court Clerk

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC

Land Use and Development Services

Division of Planning and Development

Dear Mr. Bacchus,

Hope all is well with you and your family!!!! My name is Derrick D Payne and I am a 20+ year dental business owner in the Whitehaven community.

I am writing to show my FULL support as well as the community's support for the BLP Film Studios proposed planned development! I met with Mr. Farmer a few weeks ago after hearing of his project and I left the meeting even MORE EXCITED about what he's bringing to Memphis and more importantly what he's bringing to the Whitehaven Community. The project will not only create employment opportunities but it will also drive local business growth, national business opportunities and afford new educational and vocational options in Whitehaven and Greater Memphis Communities.

The project will create an economic boom for the county as well as the State and this is what our economy needs during these recent trying but optimistic times.

The Owner of the proposed studio film campus development is life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community.

Please count my voice and my entire staff's voice in support of the planned development and advise me if I can be of further assistance.

Sincerely,

Derrick D. Payne, DDS

901-396-7097 office

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

June 9, 2021

Dear Mr. Bacchus,

My name is James Henry, and I am a native Memphian. I am writing this letter in support of expressing how important it is that BLP Film Studios, LLC (BLP) be allowed to build their facility in the City of Memphis. I graduated from Whitehaven High School and attended the University of Memphis, where I obtained my bachelor's degree and later an MBA from the University of Phoenix.

To me, this city is home. These days, this is a rarity because people such as me leave to pursue better opportunities elsewhere. We are the home of FedEx and St. Jude Children's Research Hospital, which are pinnacle institutions in their own right, to name a few. And now we have the opportunity to add to our growing metropolis a business that will fulfill a need enhancing our overall appeal in the nation.

It is being publicized that Memphis is on the rise as becoming a re-energized city due to the many redevelopment projects occurring across the city. In logistics, all roads lead to Memphis (e.g., runway, rail, road, and river). But Memphis is also a creative, vibrant city void of specific opportunities for those who pursue a career in the arts. We are well known for creating talented and gifted people, but many leave to pursue their passion elsewhere because we lack the necessary infrastructure to support their talent at home. And the idea of building such a facility in the Whitehaven community will only strengthen the revitalization efforts that are taking place. And on top of that, this company is minority-owned; being established in a city whose population is more than 64% African American is just another plus.

For many, this opportunity is a dream come true for the City of Memphis. In the past, we have had major film productions such as Hustle and Flow, The Firm, and others, but we fail to embrace or engage in such an opportunity fully. The economic impact of such an addition to the business community in the City of Memphis would expose people to more opportunities; thus, driving economic progress and growth. In the past, we've created opportunities to retain talent but often without having the necessary infrastructure to support it. Therefore, in my opinion, I firmly believe that allowing BLP to build in the City of Memphis would be a positive for its overall pro-business initiative, the attraction of diverse talent, and future economic growth.

Sincerely,

James Henry, BS, MBA, RBP
7735 Clover Run Cove
Cordova, TN 38016

Bacchus, Brian

From: Tosh Gilbert <toshgilbert@gmail.com>
Sent: Wednesday, June 09, 2021 3:48 PM
To: Bacchus, Brian
Subject: BLP Studios Project (Whitehaven)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development

Mr. Bacchus,

I am a long -term resident of the Whitehaven community. Whitehaven High School graduate class of 1988.

I am writing to show the community's support of the BLP Film studio project! We are excited, not only about the project itself, but for all of the ancillary and economic benefits it will bring to this community and to the Mid-South area as a whole.

This project would enhance Tennessee's appeal to a growing entertainment industry in our state.

Being a fellow graduate of Whitehaven High School, Marine Veteran, and respected member of the Whitehaven Community, the owner, Jason Farmer, has always shown vision and leadership, and we look forward to seeing this much needed project come to fruition. I am in full support and please feel free to contact me if I can be of further assistance.

Sincerely,

Tosh Gilbert
148 Fairway Cove
Memphis, TN
615-818-6686

Brian S. Bacchus

Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development

Dear Mr. Bacchus,

I am a long-term resident and supporter in the Whitehaven community. I am a graduate of Whitehaven High and both of my sons are currently attending Whitehaven High School. I am writing to show the community's support for the BLP Film Studios proposed planned development! The project will not only create employment opportunities it will also drive local business growth and afford new educational and vocational options in Whitehaven and Greater Memphis Communities. It will also create an economic boom for Shelby County as well as the State of Tennessee.

The Owner of the proposed studio film campus development is life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community. I have personally known him and his family for over 40 years.

Please count my voice in support of the planned development and advise me if I can be of further assistance.

Sincerely,



Frank Gilbert



THE MEMPHIS & SHELBY COUNTY FILM AND TELEVISION COMMISSION
"Top 10 Big City to Live and Work as a Moviemaker" Designated by *Movie Maker Magazine*
In 2006, 2007, 2008, 2009, 2014, 2015, 2016, 2017, 2018, 2019, and 2020!
496 South Main Street, Suite 101 Memphis, TN 38103 T 901.527.8300 filmmemphis.org

June 9, 2021

Mr. Brian S. Bacchus
Principal Planner
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Mr. Bacchus:

I am writing this letter in support of Jason Farmer's plans to create **BLP Film Studios** in Whitehaven. For over 30 years now, bigger productions in Memphis have always been able to "make do" with such existing spaces as empty warehouses and factories -- or various other empty spaces which fit the specifications for a soundstage space. The minimum specifications have always been the same: 28'-30' tall ceilings, clear span, no windows, and non-metal roofs. Our clients look for a space which would also provide an overall quiet outside environment with lots of parking and nearby offices. Our clients also need multiple restroom facilities and quiet a/c and heat.

However, we had to search high and low to locate such a space for our recent client, the NBC-TV series, *Bluff City Law*. Only at the last possible moment was a former skating rink located which did meet the minimum soundstage requirements. The offices were still miles away. The traffic noises of Summer Avenue were right outside the space, but it was the best we could offer.

With the new state production incentive effective July 1st, we hope to work with our partners in Nashville to recruit many bigger-budgeted productions to Memphis/Shelby County. With that in mind, more suitable, plentiful soundstage spaces are a priority.

I've found Jason Farmer to be very knowledgeable about the various incentives **BLP Film Studios** will be able to use in creating the studios. These, in turn, could greatly reduce what he must charge for the soundstage rentals, which would make them even more attractive to our film/TV clients.

Know that we have already met several times -- both over the telephone and in person -- and plan on partnering together on an extensive training program in order to better equip our community for well-paying production jobs.

I look forward to working with Jason Farmer and his colleagues at **BLP Film Studios** for the benefit of all.

Please feel free to contact me at 901.461.0695 if you have any questions.

Sincerely,
Linn
Linn Sitler
Film Commissioner
Memphis & Shelby County
filmmemphis.org

cc: Jim Strickland, Mayor of Memphis
Gale Carson, Chairman of the Board
Members of the Memphis City Council
Bob Raines, TN Film Commissioner

Bacchus, Brian

From: Jason Farmer <theofficeofj.a.farmer@gmail.com>
Sent: Wednesday, June 09, 2021 7:15 PM
To: Bacchus, Brian
Subject: BLP Support Letter

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development

Mr. Bacchus,

Please accept this note as my expression of support.

One of the reasons while serving as County Mayor I successfully fought for major infrastructure funding for the Graceland-Whitehaven area.

BLP Film Studios is the epitome of what I felt improved infrastructure would attract. It is environmentally friendly and, most importantly, would provide jobs with immense potential for personal growth.

Time permitting I will gladly submit a more detailed basis for my unqualified support.

Sincerely,

A C Wharton.

Bacchus, Brian

From: Jason Farmer <theofficeofj.a.farmer@gmail.com>
Sent: Wednesday, June 09, 2021 7:15 PM
To: Bacchus, Brian
Subject: BLP Support Letter

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Brian S. Bacchus
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Sincerely,

A C Wharton.

Bacchus, Brian

From: Prime Stone Media Consulting and Productions <primestonemedia@gmail.com>
Sent: Thursday, June 10, 2021 10:49 AM
To: Bacchus, Brian
Subject: BLP STUDIOS

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Mr. Bacchus,

I am Dreka Shevon an experienced writer, producer, director. I am writing to support the BLP Film Studios project located in the Whitehaven community. As a professional in the entertainment industry, I know first hand the impact this studio will have on the Mid-South.

The project has the potential to transform Memphis into an epicenter for the film, television and music industry.

I am in full support of BLP Film Studios campus, please advise me accordingly if I may be of further assistance.

Respectfully,
Dreka

--
Thanks,

Dreka Shevon
Producer/Director
Prime Stone Media, LLC
678.720.8977 (w)
601.451.9611 (c)
www.primestonemedia.com

GALE JONES CARSON

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Sir,

I am a native Memphian and I care greatly about Memphis and Shelby County. I understand the need and value for strong economic development which requires the need for new businesses, growing and maintaining current businesses and making jobs available to those who live in our community.

That said, I hope that you will join me, and others, in supporting the BLP Film Studios proposed planned development in the Whitehaven area. The project will not only create employment opportunities it will also drive local business growth and afford new educational and vocational options in Whitehaven and Greater Memphis Communities.

The project will create an economic boon for the county as well as the State.

The Owner of the proposed studio film campus development is life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community.

I humbly ask that you support this planned development, Memphis and Shelby County with your vote.

Regards,



Gale Jones Carson



CARE ONE MEDICAL SOLUTIONS

1331 Union Ave Suite 1000
Memphis, TN 38104
901-289-2582
Care1Medicalsolutions.com

June 10, 2021

Mr. Brian Bacchus
Principal Planner
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

I am a long-term Memphis resident and business owner. I am a strong supporter of initiatives in the Whitehaven community.

I am writing to show the community's support for the BLP Film Studios proposed planned development! The project will not only create employment opportunities it will also drive local business growth and afford new educational and vocational options in Whitehaven and Greater Memphis Communities.

The project will create an economic boon for the county as well as the State.

The Owner of the proposed studio film campus development is a life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community.

Please count my voice in support of the planned development and advise me if I can be of further assistance.

Sincerely,
Robert Farmer

Robert Farmer, MHA RCP
Chief Strategy Officer
Care One Medical Solutions
RFarmer@Care1MedicalSolutions.com



CARE ONE MEDICAL SOLUTIONS

1331 Union Ave Suite 1000
Memphis, TN 38104
901-289-2582
Care1Medicalsolutions.com

June 10, 2021

Mr. Brian Bacchus
Principal Planner
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

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I am writing to show the community's support for the BLP Film Studios proposed planned development! The project will not only create employment opportunities it will also drive local business growth and afford new educational and vocational options in Whitehaven and Greater Memphis Communities.

The project will create an economic boon for the county as well as the State.

The Owner of the proposed studio film campus development is a life-long Memphis resident, graduate of Whitehaven High School, Veteran and well-respected member of the community.

Please count my voice in support of the planned development and advise me if I can be of further assistance.

Sincerely,
Jacqueline Brown, MSN RN

Jacqueline Brown, MSN RN
Chief Executive Officer
Care One Medical Solutions
Jbrown@Care1MedicalSolutions.com

Brian S. Bacchus
Principal Planner, BOA, LUCB & MLC
Land Use and Development Services
Division of Planning and Development
125 N. Main Street Suite 468
Memphis, TN 38103

Dear Brian S. Bacchus:

Jessica Chaney and Amanda Willoughby, filmmakers in the Memphis, TN area, support the important efforts of BLP Film Studios. We are the owners of Not Your Ordinary Films Production Company, based in Memphis, TN. We are deeply entrenched in the Memphis Film Community, and we know this studio will further our filmmaking efforts and other creative ventures. We are writing to support the BLP Film Studios project located in the Whitehaven community. This is especially important to us as co-owner Amanda Willoughby is from the Whitehaven community. As a professional in the entertainment industry, we strongly support the proposed studio campus, as it will provide a platform for creatives, directors, producers, actors, musicians, cameramen and other professionals involved in film and television industry to practice their craft in Memphis.

The project has the potential to transform Memphis into an epicenter for the film, television and music industry.

We are in full support of BLP Film Studios campus; please advise me accordingly if we may be of further assistance.

Respectfully,

Jessica R. Chaney and Amanda Willoughby

Filmmakers, Not Your Ordinary Films Production Company



Memphis and Shelby County Office of Planning and Development

CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

APPLICATION FOR PLANNED DEVELOPMENT APPROVAL (OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)

Date: May 6, 2021

Case #: P.D. 21-018

PLEASE TYPE OR PRINT

Name of Development: BLP Film Studios Planned Development

Property Owner of Record: BLP Film Studios, LLC Phone #: 901-634-7017

Mailing Address: 254 Court Avenue, Suite 213 City/State: Memphis, TN Zip 38103

Property Owner E-Mail Address: blpmemphis@gmail.com

Applicant: SAME Phone # _____

Mailing Address: _____ City/State: _____ Zip _____

Applicant E- Mail Address: _____

Representative: Dedrick Brittenum, Jr.- Brittenum Law, PLLC Phone #: 901-347-3978

Mailing Address: 3385 Airways Blvd. Suite 229 City/State: Memphis, TN Zip 38116

Representative E-Mail Address: db@brittenumlaw.com

Engineer/Surveyor: The Reaves Firm, Inc. - Mike Davis Phone # 901-761-2016

Mailing Address: 6800 Poplar Avenue, Suite 101 City/State: Memphis, TN Zip 38101

Engineer/Surveyor E-Mail Address: mdavis@reavesfirm.com

Street Address Location: west side of Elvis Presley Blvd. between Holmes Rd. & Scaife Rd.

Distance to nearest intersecting street: (+/-) 330 west of the intersection of Mary Jane Ave.
and Elvis Presley Blvd.

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>84.7 (+/-)</u>	_____	_____
Existing Zoning:	<u>R-8</u>	_____	_____
Existing Use of Property	<u>Vacant</u>	_____	_____
Requested Use of Property	<u>Mixed Use</u>	_____	_____

Medical Overlay District: Per Section 8.2.2D of the UDC, no Planned Developments are permitted in the Medical Overlay District.

Unincorporated Areas: For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: NA Bedrooms: NA

Expected Appraised Value per Unit: NA or Total Project: NA

Amendment(s): Is the applicant applying for an amendment to an existing Planned Development?

Yes _____ No X

The following modifications to existing planned developments are considered amendments: 1) a change to the permitted uses in a planned development, except in situations where a use of a higher classification is proposed to be changed to a use of a lower classification; 2) a modification to conditions that phases the uses, and 3) a conversion of public streets. See Section 9.6.11E(1) of the UDC for further details.

4.10.3 Planned Development General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations to the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in section 4.10.3:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

Correct. The project complies with Memphis 3.0: "Building up, not out, means reinvesting in existing places. ... underutilized land will need to be repurposed for higher and better uses that improve the quality of life in Memphis." This development meets that standard.

- An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.

The subject site is within an area that has well developed infrastructure sufficient to accommodate these needs and on site connection will be provided with the completion of the development.

- The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C)

Outline plan considers pedestrian/ vehicle circulation, lighting respects residential uses at northwest border, institutional use on north and commercial uses to east. Controlled site access from Mary Jane Avenue ensures surrounding uses compatibility.

- Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.

The proposed limited modifications of the district standards are core necessities for the success of the proposed use and the outline/ site plan design recognizes a campus like setting that acknowledges the effort to be consistent with the public interest.

- Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.

Agreed

- Lots of records are created with the recording of a planned development final plan.

Agreed

REQUIREMENTS PRIOR TO APPLICATION SUBMISSION

PRE-APPLICATION CONFERENCE - Not more than six (6) months nor less than five (5) working days prior to filing an application, the applicant shall arrange for a mandatory pre-application conference with OPD.

Pre-Application Conference held on: 3/31/2021 with Chip Saliba, DPD

NEIGHBORHOOD MEETING – At least ten (10) days, but not more than 120 days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site (Section 9.3.2).

Neighborhood Meeting Requirement Met: Yes or **Not Yet (Circle one)**
(If yes, documentation must be included with application materials)

SIGN POSTING – A sign or signs shall be erected on-site no more than 30 days or less than 10 days prior to the date of the Land Use Control Board hearing. See Sub-Section 9.3.4C of the UDC for further details on sign posting.

I (we) hereby make application for the Planned Development described above and on the accompanying materials. I (we) accept responsibility for any errors or omissions which may result in the postponement of the application being reviewed by the Memphis & Shelby County Land Use Control Board at the next available hearing date. I (We), owner(s) of the above described property hereby authorize the filing of this application and the above named persons to act on my behalf.

 04 May 21

Property Owner of Record _____ Date _____ Applicant _____ Date _____
Jason A. Farmer , Managing Member

**GUIDE FOR SUBMITTING
PLANNED DEVELOPMENT APPLICATION
(OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

- A. **THE APPLICATION** - Two (2) collated sets of this application in accordance with the requirements of the Unified Development Code and as outlined below shall be submitted to OPD. The following information is required to be submitted for consideration as a complete application, and except for copies of the Outline and/or Site/Concept Plan, shall be provided on sheets of 8.5"x11" in size. The application with original signatures shall be completed either with legible print or typewritten. Each application set shall be compiled in the following order:
 - 1) This application, 8.5"x11" Outline and/or Site/Concept Plan, Legal Description, Vicinity Map, 2-3 sets of gummed-backed Mailing Labels, 2 sets of paper copied Mailing Labels, Letter of Intent, 20"x24" Outline and/or Site/Concept Plan (folded), copy of Deed(s).
 - 2) A compact disc with all submittal documents in "PDF" and any proposed conditions in "WORD".

- B. **LETTER OF INTENT** - The letter shall include the following:
 - a) A brief narrative statement generally describing the nature, location and extent of the development and the market it is intended to serve.
 - b) A list of any professional consultants associated with the proposed development.
 - c) A written statement generally describing the relationship of the proposed development to the current policies and plans of the City and County. The statement shall include how the proposed

Brittenum

Law pllc

ATTORNEY AT LAW
Airways Professional Center – Aerropolis
3385 Airways Boulevard, Suite 229
Memphis, Tennessee 38116 USA
Telephone 901.347.3978
Facsimile 901.800.1927
db@brittenumlaw.com

6 May 2021

Via Hand Delivery

Josh Whitehead, AICP
Planning Director / Administrator
Memphis & Shelby County Office of Planning and Development
City Hall
125 North Main Street, Suite 476
Memphis, TN 38103

RE: BLP Film Studios
Formerly Forest Village P.D. 92-335 Site
South of Holmes Road & West of Elvis Presley

Dear Administrator Whitehead:

I represent Mr. Jason Farmer with BLP Film Studios (BLP) for a planned development application approval of approximately 85 acres of the above tract for use as a dedicated film studio lot. BLP is a Memphis based, award-winning multimedia company formed in response to emerging trends in the audio and visual arts sector. The development plan calls for construction of sound stages for film/TV media platforms; a commissary; editing suites for post-production work; a recording studio for sound tracks and project music scores; an executive office building; a mill shop warehouse for building sets and storage; a hotel to house out of town production crews; a security building operating 24 hours to monitor campus grounds; a gift shop; private housing for production companies staff teams; and a multi-purpose event center to host special occasions associated with conclusion and launch of lot created productions. This will be the first such development in the Memphis metropolitan area. The concept will meet the unprecedented demand for content by having final productions created on the BLP campus including commercials, full length films, episodic series and videos. According to the Permitted Use Table of the UDC, most of these use categories are allowed under the UDC zoning classification of Commercial Mixed Use – 3 (CMU-3) District. A movie production facility use is also requested for the site.

The site location (85 acres) is a part of a larger tract approved as a planned development in 1993 for residential uses. The original concept was to develop a community of single family detached homes. Over the years most of the original PD tract remains vacant except for a parcel fronting Holmes Road sold to Memphis City School. The subject parcel of the undeveloped approved tract of the original PD contains the last acreage and stretches to near Holmes Road on

the north to Scaife Road on the south. The site is bounded on the west by the I.C.RR track and commercial uses on the east fronting Elvis Presley Boulevard. DPD staff has determined that the 1993 PD approval has expired because of the absence of filing a final plan. Therefore, this application is for a new Planned Development on the 85 acres site incorporating the uses described above.

Considering the Planned Development General Provisions of the UDC, the applicant offers the following information. The proposed development is oriented to the east with access a short distance from Elvis Presley Boulevard at the west end of Mary Jane Avenue. The application site plan incorporates the retention of existing heavy foliage which will achieve a maximum effort to enhance screening from the residential and the school in the northwest area of the subject site. Situated in an area of commercial uses to the west, this is a great location for the proposed use as a dedicated film studio lot. As you shall see on the enclosed Outline Plan, the various uses are arranged in a collection of "pods" to organize the flow of the related activities on the site. The proposed development is consistent with the Memphis 3.0 Plan finding for the Whitehaven area. Considering the compelling need for additional commercial/ office activity providing good paying jobs using Memphis talent, this campus will be a big boast to the Whitehaven and Memphis community. Upon completion, the BLP multimedia facility will be one of the most advanced state of the art facilities any where in the world, rivaling Hollywood, Atlanta and London.

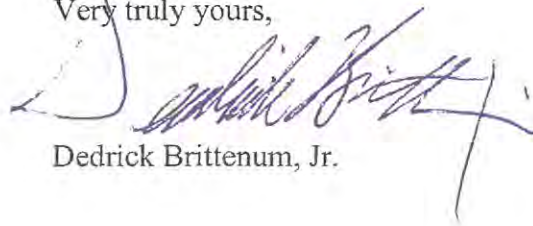
The professional consultants associated with the project are:

Mark Weaver – architect, HBG
Danny Valle – architect, HBG
Greg Bartlett – Civil Engineer, The Reaves Firm
Mike Davis – Landscape Architect, The Reaves Firm
Matt Marzolf – Development Consultant, NuDev
Montgomery Martin – Development Consultant, Montgomery Martin Contractors

Please find enclosed the completed Application for Planned Development Approval form with the required attachments for your review. All proposed conditions are included as a part of the application packet. Your favorable consideration for approval is requested for this project which will bring a high level of activity, opportunity and creative commerce to Whitehaven.

Thank you for your attention and should you have questions or comments, please advise.
I remain,

Very truly yours,



Dedrick Brittenum, Jr.

enclosure

BLP Film Studios Planned Development

Outline Plan Conditions:

I. Uses Permitted:

- A. Any use permitted by right in the Commercial Mixed Use – 3 (CMU-3) District. Additionally, the following uses are allowed:
 - 1. Movie production facility
 - 2. Event/convention center
 - 3. Hotel
 - 4. Multifamily
 - 5. Neighborhood arts center (or similar community facility)
 - 6. Dormitory
 - 7. Solar farm
 - 8. Campground (travel trailer park, recreational vehicle park)
 - 9. Sheet metal shop
 - 10. Warehouse (not distribution)

- B. The following uses are not allowed:
 - 1. Convenience store with or without gas pumps
 - 2. Boarding house, single room occupancy, or rooming house
 - 3. Cleaning establishment, pick up station
 - 4. Outdoor advertising sign
 - 5. Tattoo, palmist, psychic, or medium
 - 6. Outdoor recreation
 - 7. Vehicle parts and accessories
 - 8. Any vehicle sales, service, and repair
 - 9. Hourly Rate Hotel or Motels

II. Bulk Regulations:

- A. The Bulk Regulations of the CMU-3 shall apply except for the following:
 - 1. Maximum height for buildings shall be fifty (50) feet for buildings in “Areas A and C” and eighty-five (85) feet for buildings in “Area B” with the exception that building #10 in Area A shall not exceed thirty-five (35) feet in height.

2. Building shall be set back a minimum of thirty-five (35) feet from Duelling Oaks subdivision.
3. Location of structures shown on the concept plan may be repositioned on the site by as much as one hundred fifty (150) feet on the final plan in keeping with these conditions.

III. Access, Circulation and Parking:

- A. All internal roads shall be private drives and have a minimum width of twenty-two (22) feet.
- B. One (1) curb cut shall be allowed along Mary Jane Avenue cul-de-sac frontage as indicated on the concept plan. The design of the curb cut shall be subject to the approval of the City Engineer. Dedicate a permanent 50' radius cul-de-sac at the existing terminus of Mary Jane Avenue as indicated on the concept plan and improve with a 40' curb radius.
- C. One (1) curb cut shall be allowed along Duelling Oaks but will serve only as an emergency exit. Dedicate and improve a permanent cul-de-sac (43' radius) at the south terminus of Duelling Oaks as indicated on the on the concept plan.
- D. One (1) point of access shall be allowed along the Scaife Road frontage as indicated on the concept plan.
- E. All gated entrances shall meet the requirements of Unified Development Code (UDC) (4.4.8).
- F. Parking shall be in accordance with the CMU-3 requirements of the UDC.

IV. Landscaping and Screening:

- A. The outdoor filming zone (+/- 9 acres) adjacent to the Duelling Oaks Subdivision shall be preserved and maintained as generally depicted and illustrated on the concept plan. In addition, there shall be a minimum buffer width of twenty-five (25) feet between any proposed buildings and the subdivision.
- B. Site shall be surrounded by a 10-12 foot high fence, opaque where adjacent to existing residential uses.
- C. Preserve existing trees along Scaife Road to the extent possible. Supplement as needed to provide adequate streetscape.
- D. Preserve a fifty (50) foot minimum natural buffer adjacent to the single-family homes on Scaife Road except for the north boundary of the Rollen tract (known as 1064 Scaife Road) which shall have the required ten (10) foot buffer.
- E. The internal private drive connecting to Mary Jane Avenue shall be landscaped with street trees.
- F. Internal parking lot landscaping for the hotel and executive office cluster shall be provided in accordance with the requirements of the UDC. Landscaped areas shall not conflict with, wherever feasible, drainage, sewer, utility easements, including overhead wires.
- G. The internal parking lot for all other buildings will not be required to have landscape islands.
- H. All heating and air conditioning equipment, refuse dumpsters, and loading facilities shall be screened from adjacent properties and public view.

V. Signs:

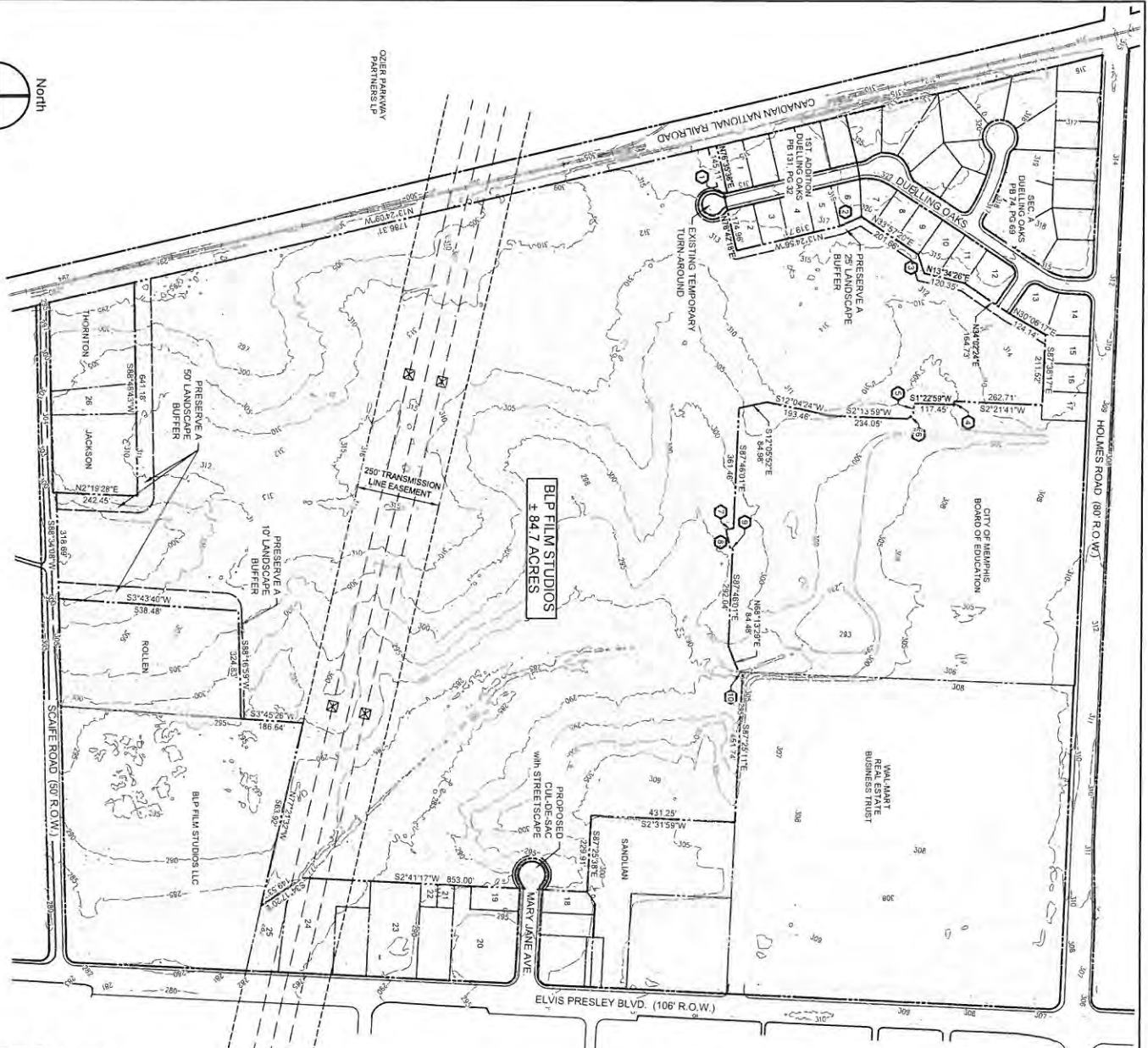
- A. One monument style sign at the Mary Jane Avenue entrance having a maximum sign area of eighty (80) square feet per face and a maximum height of ten (10) feet.
- B. Attached building signs shall be in accordance with the requirements of the UDC for the CMU-3.

VI. Outdoor Site Lighting:

- A. Site lighting and parking lot lighting shall be designed to direct lighting away from all residential properties. Parking lot light standards shall be a maximum of twenty-five (25) feet in height within 200 feet of adjacent residential and a maximum of 35 feet otherwise.

VII. Final Plans: Any final plan shall include the following

- A. The concept plan conditions;
- B. A standard subdivision contract as required by the Unified Development Code for any required public improvements;
- C. The exact locations and dimensions including height of buildings, parking areas, utility easement drives and required landscaping and screening for this development;
- D. The location and ownership, whether public or private, of any easement;
- E. All common open areas, drainage detention facilities, private streets, private sewers and private drainage systems shall be owned and maintained by the applicant property owner. A statement to this effect shall be shown on the final plan;
- F. The areas denoted by "Reserved for Storm water Detention" shall not be used as a building site or filled without first obtaining written permission from the City Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by property owner. Such maintenance shall be performed so to ensure that the system operates in accordance with the approved plan located in the City Engineer's Office. Such maintenance shall include but not be limited to removal of sedimentation, fallen objects, debris and trash; mowing; outlet cleaning and repair of drainage structures;
- G. The property owner will be responsible for the ownership and maintenance requirements of any common open space areas; and
- H. A final plan shall be filed within five years of approval of the concept plan. The Land Use Control Board may grant extensions at the request of the applicant.
- I. The Land Use Control Board may modify the bulk, access, parking, landscaping, loading, screening, signs and other site design requirements if equivalent alternatives are presented for project review.



BLP FILM STUDIOS
± 84.7 ACRES

PROPERTY LINE DATA

NO	BEARING	LENGTH
1	S13°17'42"E	11.17'
2	N23°51'16"W	70.07'
3	N72°22'19"E	60.18'
4	S88°02'14"E	10.08'
5	S87°46'01"E	31.40'
6	S42°46'01"E	21.21'
7	S17°46'01"E	23.04'
8	N77°13'59"E	69.00'
9	N17°46'01"W	6.96'
10	N02°14'13"E	12.05'

ADJACENT OWNER LIST

1	University Hardware LLC
2	University Hardware LLC
3	University Hardware LLC
4	University Hardware LLC
5	University Hardware LLC
6	University Hardware LLC
7	University Hardware LLC
8	University Hardware LLC
9	University Hardware LLC
10	University Hardware LLC
11	University Hardware LLC
12	University Hardware LLC
13	University Hardware LLC
14	University Hardware LLC
15	University Hardware LLC
16	University Hardware LLC
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18	University Hardware LLC
19	University Hardware LLC
20	University Hardware LLC
21	University Hardware LLC
22	University Hardware LLC
23	University Hardware LLC
24	University Hardware LLC
25	University Hardware LLC
26	University Hardware LLC



100 YEAR FLOOD NOTE
THIS PROPERTY DOES NOT LIE WITHIN THE 100-YEAR FLOOD PLAIN AS SHOWN ON FEMA PANELS 4757C Q420F AND 0580F DATED SEPTEMBER 28, 2007 FOR MEMPHIS, TENNESSEE. NEAREST BASE FLOOD ELEV. 427.10

OUTLINE PLAN

BLP FILM STUDIOS PLANNED DEVELOPMENT

CASE NUMBER:	PD 21-
MEMPHIS, TENNESSEE	
NUMBER OF LOTS:	N/A
DEVELOPER:	BLP FILM STUDIOS LLC
ENGINEER:	THE REAVES FIRM
100-YEAR FLOOD ELEV.:	427.10
FEMA MAP PANELS:	Q420F & 0580F
DATE:	SEPT. 28, 2007
SCALE:	1" = 200'
SHEET:	1 OF 1



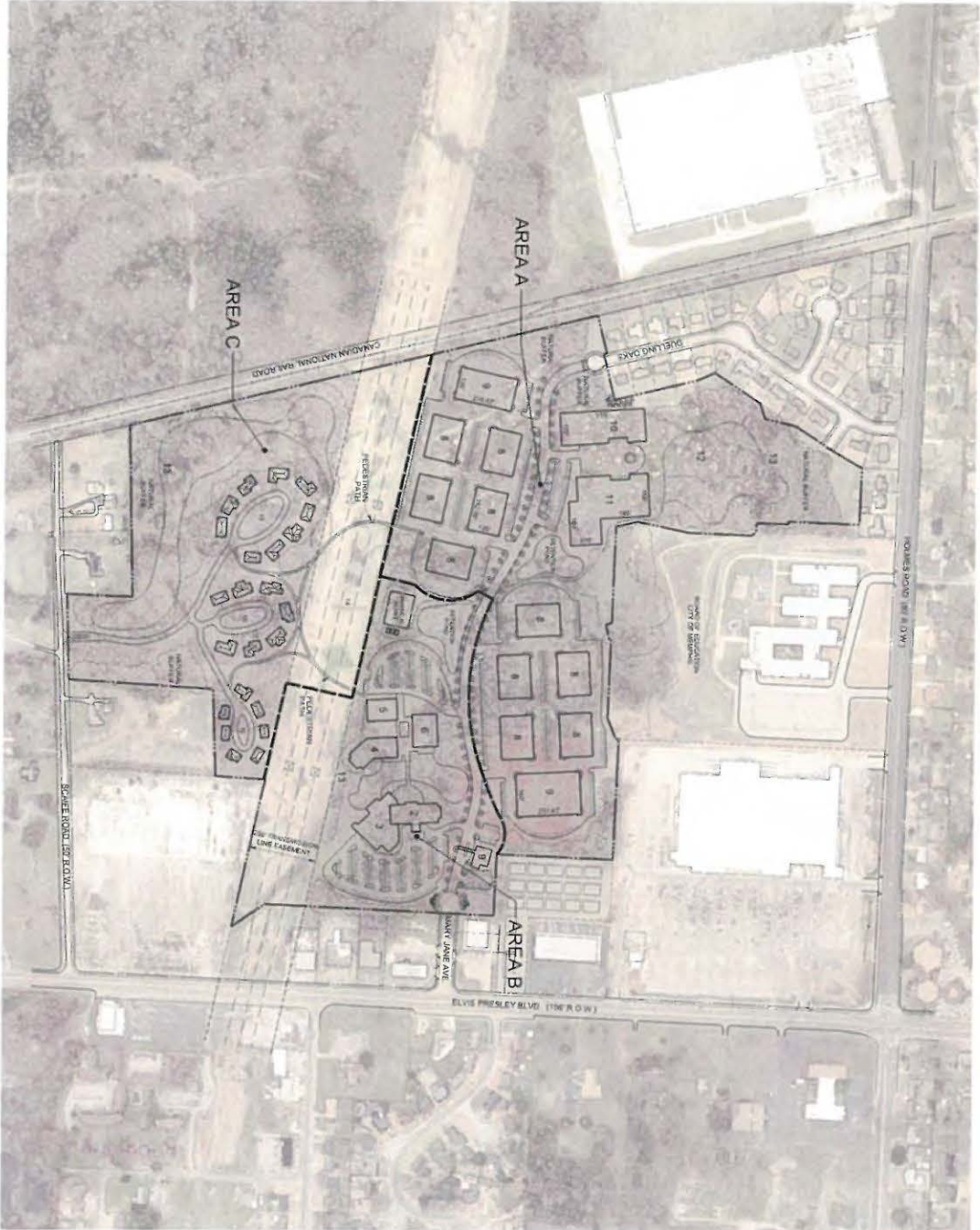
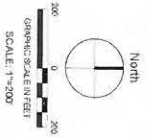


- LEGEND**
- 1 SECURITY / ENTRY SIGN
 - 2 RECEPTION
 - 3 EVENT CENTER
 - 4 ADMINISTRATION OFFICE
 - 5 ADMINISTRATION OFFICE
 - 6 COMMON STAIRS
 - 7 SOUND STAGE - 38,000 S.F.
 - 8 SOUND STAGE - 18,500 S.F.
 - 9 SOUND STAGE - 28,000 S.F.
 - 10 SOUND STAGE - 28,000 S.F.
 - 11 MILLWORKS / SPECIAL EFFECTS
 - 12 OUTDOOR FILMING ZONE
 - 13 M/G/VE ASSESSMENT
 - 14 M/G/VE ASSESSMENT
 - 15 STUDIO HOUSING



BLP
FILM STUDIOS

CONCEPT PLAN
BLP FILM STUDIOS
OWNER: JASON A. FARMER
MEMPHIS, TN MAY 2021

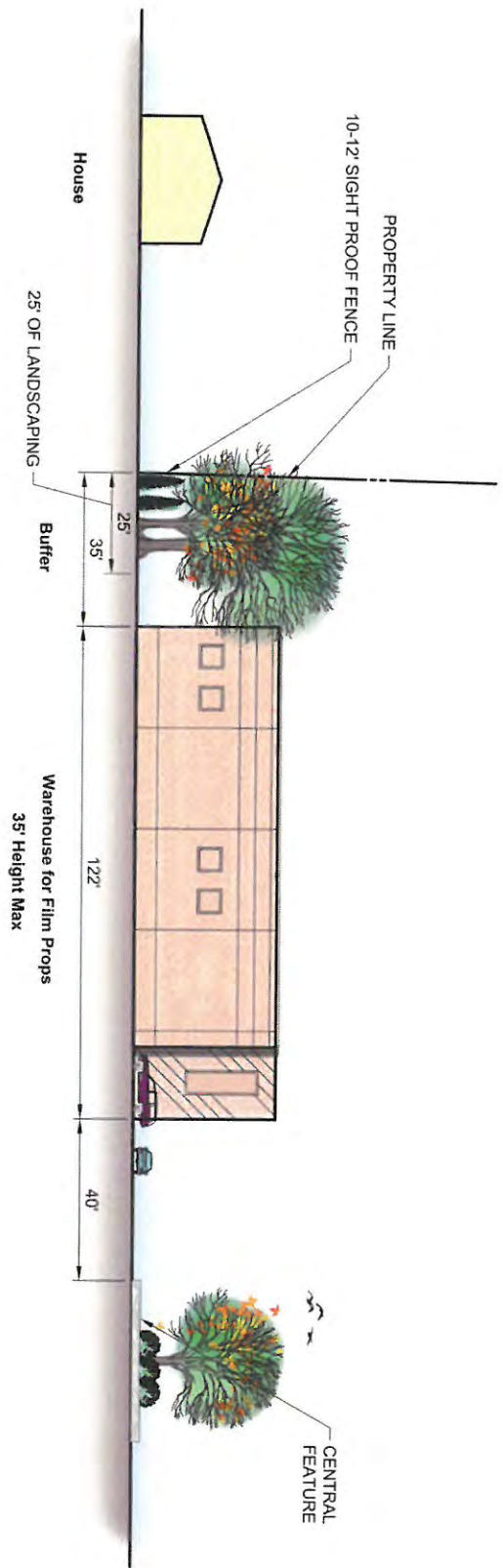


- LEGEND**
- 1 SECURITY / ENTRY SIGN
 - 2 EXERCISE PATH
 - 3 EVENT CENTER
 - 4 ADMINISTRATION OFFICE
 - 5 EXHIBIT SUITES
 - 6 EXHIBIT SUITES
 - 7 SOUND STAGE - 38,000 S.F.
 - 8 SOUND STAGE - 18,500 S.F.
 - 9 SOUND STAGE - 18,500 S.F.
 - 10 SOUND STAGE - 18,500 S.F.
 - 11 MULTIPURPOSE / SPECIAL EFFECTS
 - 12 OUTDOOR FILMING ZONE
 - 13 MOVIE SEQUEST
 - 14 MOVIE SEQUEST
 - 15 STUDIO HOUSING



BLP
FILM STUDIOS

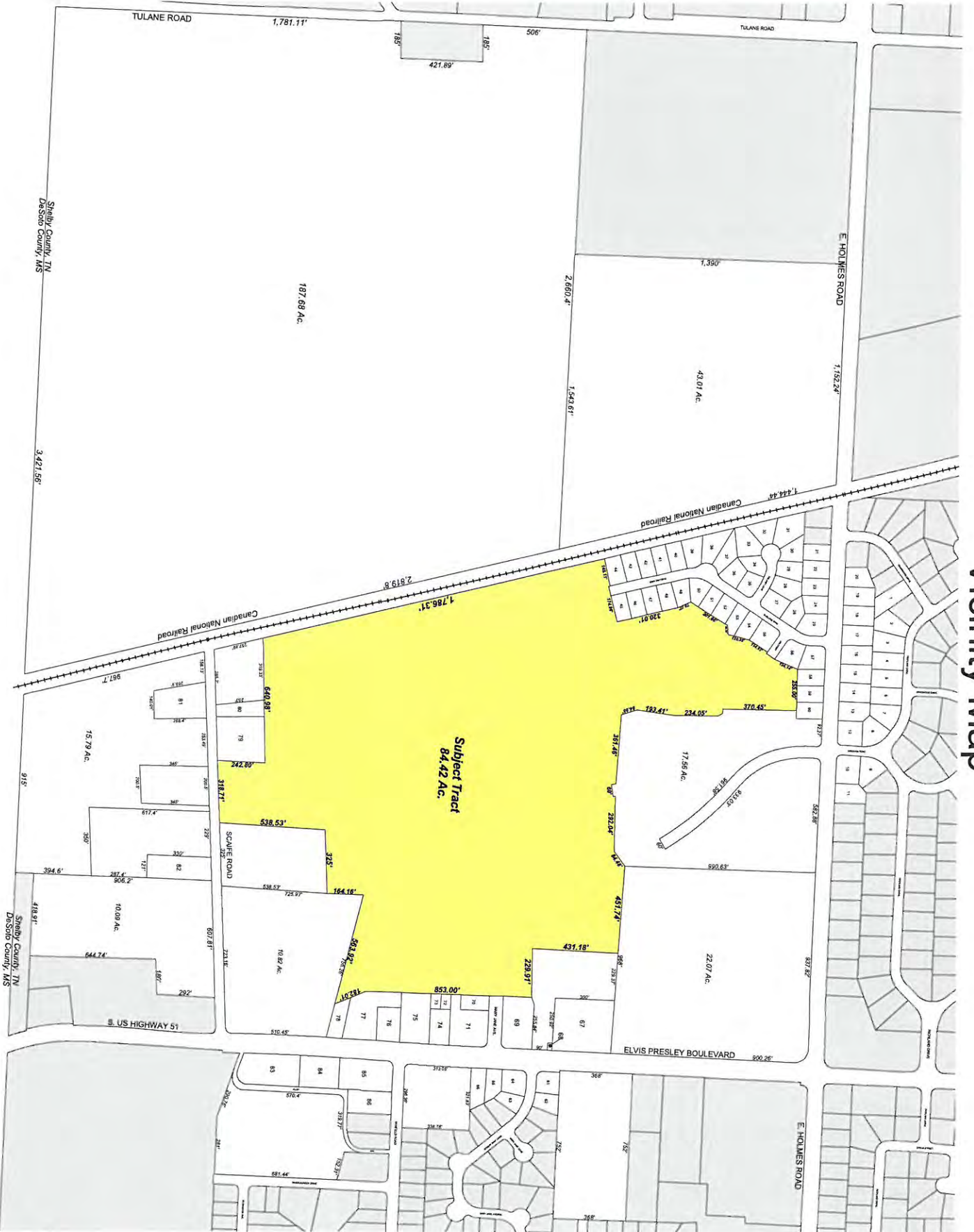
CONCEPT PLAN
BLP FILM STUDIOS
OWNER: JASON A. FARMER
MEMPHIS, TN MAY 2021



SCALE: 1" = 30'

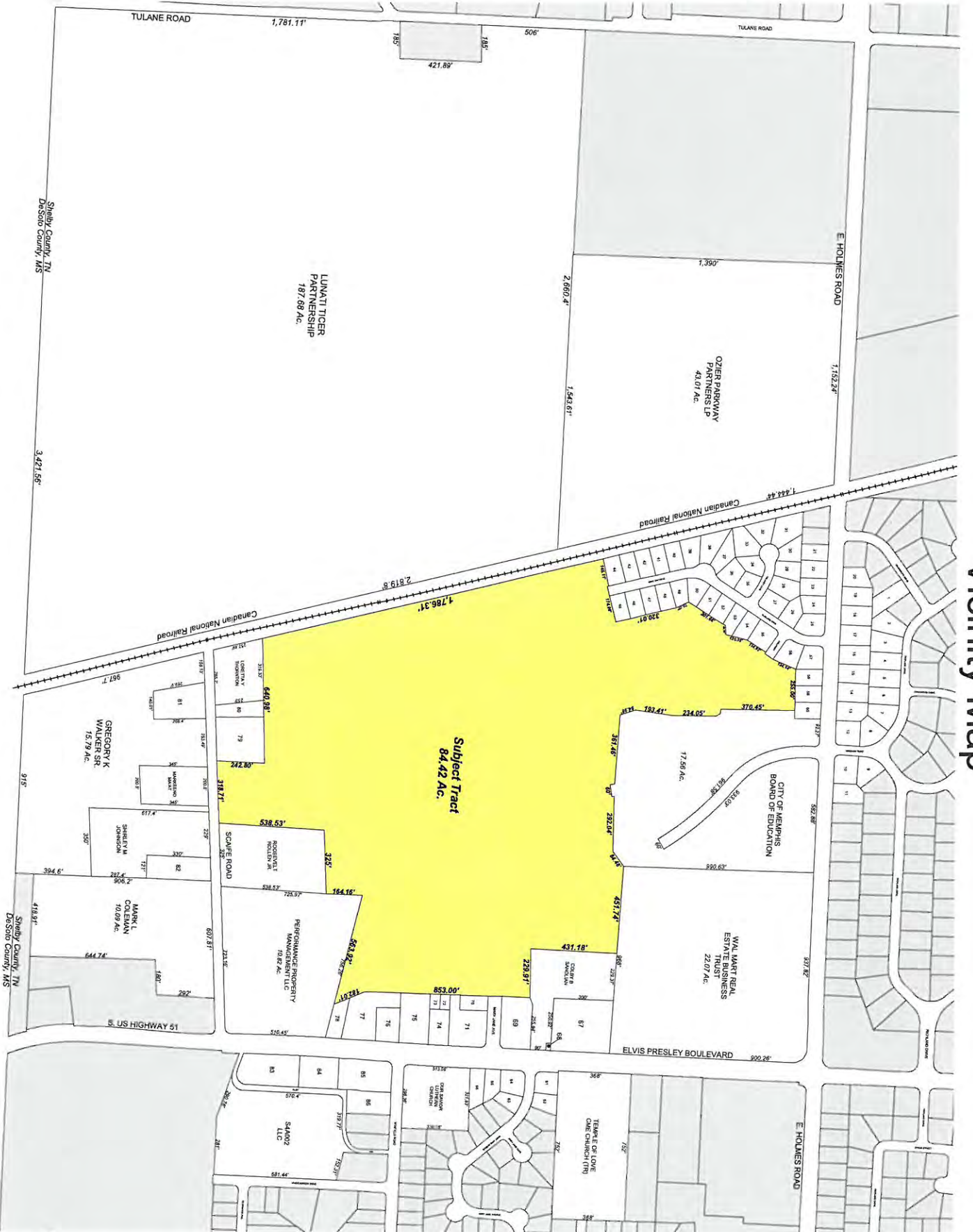
CROSS SECTIONS ADJACENT TO RESIDENTIAL
BLP FILM STUDIOS
 OWNER: BLP FILM STUDIOS
 MEMPHIS, TN MAY 2021

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025

Lot #	Owners Name
1	Mormon Patricia A
2	Mills William And Versie Harris
3	Poag Elroy Jr.
4	Dandridge Damita J
5	Middlebrook Walter T Jr.
6	Chandler Robert L Sr. And Marva L
7	Johnson Samuel E
8	Bittar Living Trust
9	Norwood Sheretal C
10	McKinney Robert III
11	Dorsey John R And Pearlie M Hardaway
12	Smith Robbie F
13	Parker Patty G
14	Earl Ionia
15	Sivarajan Sujal
16	McNeal Susie And Dinah R McNeal
17	ALD Capital Holdings LLC
18	Kinchelow Dorothy S
19	Ward Samuel
20	Welch Rhonda S
21	Downs Dorothy N
22	Richardson William C Jr.
23	Martin Johnnie L & Glory F
24	Parham Tasha And Collis Parham III
25	O'Rourke Family Trust
26	Boyd Mary
27	Smith Joe J
28	Washington Arthur L Jr.
29	Jones James C Sr. & Shirley Y
30	Danner Raney And Liberty Priceless
31	Saulny Gwendolyn M
32	Catron Johnnie & Gloria J
33	Smith Claudia M
34	Percy Property LLC
35	Taylor Denise A And Joyce A Taylor
36	Adams Annetta
37	Pierson Harold
38	Burton Tory
39	Miller Shirley
40	O'Neal Rafael
41	Dishmon Leon Jr.
42	Taylor Marvell
43	Lawal Motoani
44	Visionary Homebuyers LLC
45	Brown Anne
46	Thomas Reginald K
47	Gilmore Marschia C
48	Ellis Elwin F & Tracle R
49	Hill Frank & Teresa
50	Benson Revita M

Lot #	Owners Name
51	Harrison Antoine
52	Faulkner Alice M
53	Garrison Fredrick & Rolinda
54	Lemons Daniel & Thedora
55	Ford Allyson
56	Smith William H Jr & Melissa R
57	Sow Amadou & Aminita
58	Threatt Milton
59	Oler Elvin R & Deloise D
60	Hardaway Phyllis A
61	Barley Gloria M
62	Green Reginald A & Andrea D
63	Ezell Elijah H & Bobbie R
64	Gibson Douglas E & Kim P
65	Tyler Sherman
66	Tyler Construction Company LLC
67	5339 Elvis Presley Boulevard Memphis TN
68	Banana Tree Investments LLC
69	Spirit Master Funding X LLC
70	Holmes And Elvis LLC
71	Holmes And Elvis LLC
72	Holmes And Elvis LLC
73	Holmes And Elvis LLC
74	Couloubaritsis George And Jerry
75	Investments Incorporated
76	Bryant Investment Group LLC
77	Farmer Jason
78	Banana Tree Investments LLC
79	Jackson Amos L & Linda L
80	Ivie Gwendolyn R And Donna K Jenkins
81	Coleman Mark L
82	Johnson Shirley M
83	Whitehaven Funeral Chapel Incorporated
84	M J Edwards-Whitehaven Funeral Chapel
85	M J Edwards-Whitehaven Funeral Chapel
86	Ozrail Ziad S

Tom Leatherwood, Shelby County Register of Deeds: Instr #184547

JS 4547

EXHIBIT ALEGAL DESCRIPTION

LOCATED IN SHELBY COUNTY, TENNESSEE:

BEGINNING AT A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF SCAPE ROAD (60.00 FT. R.O.H.) A DISTANCE OF 100.41 FEET NORTHWESTWARDLY FROM ITS TANGENT INTERSECTION WITH THE CENTERLINE OF U.S. HIGHWAY 51 (206.00 FT. R.O.H.), THENCE ON A BEARING OF NORTH 78 DEGREES 46 MINUTES 13 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID SCAPE ROAD A DISTANCE OF 310.93 FEET (6130.71 FEET) TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE AMOS AND LINDA JACKSON TRACT (874903);

THENCE ON A BEARING OF NORTH 15 DEGREES 23 MINUTES 00 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT A DISTANCE OF 24111 FEET (61242.00 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE SAID AMOS AND LINDA JACKSON TRACT;

THENCE ON A BEARING OF NORTH 10 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT, THE JOHN PERSON TRACT (85-1212), AND THE JOHN JR. AND PATRICIA PERSON TRACT (85-2482) A DISTANCE OF 64038 FEET TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE ILLINOIS CENTRAL RAILROAD (000.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 00 DEGREES 20 MINUTES 31 SECONDS WEST ALONG THE EASTERLY LINE OF SAID ILLINOIS CENTRAL RAILROAD A DISTANCE OF 1706.71 FEET TO A 1 INCH PIPE FOUND AT THE SOUTHWESTERLY CORNER OF LOT 33 OF THE FIRST ADDITION OF THE DUELLING OAKS SUBDIVISION (P.B. 131, P.G. 32A);

THENCE ON A BEARING OF NORTH 64 DEGREES 34 MINUTES 11 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 33 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 145.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF DUELLING OAKS DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF SOUTH 00 DEGREES 14 MINUTES 07 SECONDS EAST ALONG THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE A DISTANCE OF 8111 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE;

THENCE ON A BEARING OF NORTH 04 DEGREES 45 MINUTES 51 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 114.96 FEET TO A 3/8 INCH PIPE FOUND AT THE SOUTHEASTERLY CORNER OF LOT 42 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 23 SECONDS WEST ALONG THE EASTERLY LINE OF LOTS 42, 41, 40, AND 34 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 300.04 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 30 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 10 DEGREES 11 MINUTES 21 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 30 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 72.50 FEET (6170.07 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 23 OF SECTION 04A OF THE DUELLING OAKS SUBDIVISION (P.B. 74, P.G. 6A);

THENCE ON A BEARING OF NORTH 41 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF LOTS 22, 23, AND 24 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 202.00 FEET (61204.66 FEET) TO A 3/8 INCH PIPE FOUND AT THE SOUTHEASTERLY CORNER OF LOT 25 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 25 DEGREES 23 MINUTES 05 SECONDS EAST ALONG AN INTERIOR LINE OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 603.0 FEET (61460.18 FEET) TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 26 DEGREES 32 MINUTES 00 SECONDS EAST ALONG AN INTERIOR LINE OF LOTS 25 AND 26 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 120.44 FEET (61120.23 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 27 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 50 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 27 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 185.00 FEET (61412.47 FEET) TO A 1/2 INCH REBAR SET IN THE SOUTHERLY LINE OF DELCREST DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 41 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 50.00 FEET (61442.50 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHEASTERLY CORNER OF LOT 28 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 43 DEGREES 23 MINUTES 07 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 28 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 123.54 FEET (61424.14 FEET) TO A 1/2 INCH REBAR FOUND AT THE SOUTHEASTERLY CORNER OF LOT 24 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF SOUTH 13 DEGREES 51 MINUTES 32 SECONDS EAST ALONG THE SOUTHERLY LINE OF LOTS 30, 31, AND 32 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 211.4 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR LINE OF THE EVANS HOUSING GROUP, INC. TRACT (81-6184);

THENCE ON A BEARING OF SOUTH 15 DEGREES 26 MINUTES 44 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.71 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 465.50 FEET, A CENTRAL ANGLE OF 01 DEGREES 14 MINUTES 26 SECONDS, A CHORD BEARING OF SOUTH 15 DEGREES 07 MINUTES 16 SECONDS WEST AND DISTANCE OF 10.00 FEET, AN ARC DISTANCE OF 100.00 FEET TO A 1/2 INCH REBAR SET AT A POINT OF TANGENCY;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 111.45 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 31.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 24 DEGREES 38 MINUTES 50 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 21.21 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 15 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 234.05 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

Tom Leatherwood, Shelby County Register of Deeds: Inst# JS4547

JS 4547

THENCE ON A BEARING OF SOUTH 25 DEGREES 11 MINUTES 27 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 143.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 01 DEGREES 01 MINUTES 11 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 84.90 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 301.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 00 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 23.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 24 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 60.00 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 02 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 8.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 242.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

THENCE ON A BEARING OF NORTH 60 DEGREES 40 MINUTES 07 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 1000.11 FEET (2+84.40 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE FABAS L.L.C. TRACT (20-3048).

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID FABAS L.L.C. TRACT A DISTANCE OF 451.64 FEET (2+49.14 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE COLBY AND GENEVIEVE SANDLIAN TRACT (24-2144).

THENCE ON A BEARING OF SOUTH 15 DEGREES 45 MINUTES 30 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 431.10 FEET (431.25 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID COLBY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 224.37 FEET (224.41 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF LOT 3 OF THE HANEY OAKS COMMERCIAL SUBDIVISION (78-15-PB-30).

THENCE ON A BEARING OF SOUTH 15 DEGREES 11 MINUTES 50 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 650.26 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF LOT 14 OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION.

THENCE ON A BEARING OF NORTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 14 OF THE HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 84.21 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE LARRY YOUNG TRACT (L-5002).

THENCE ON A BEARING OF SOUTH 16 DEGREES 04 MINUTES 14 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 120.00 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID LARRY YOUNG TRACT.

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 200.00 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF U.S. HIGHWAY 51 (100.00 FT. R.O.W.).

THENCE ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY 51 AND ALSO BEING A CURVE TO THE RIGHT, HAVING A RADIUS OF 4127.01 FEET, A CENTRAL ANGLE OF 00 DEGREES 10 MINUTES 4 SECONDS, A CHORD BEARING OF SOUTH 16 DEGREES 11 MINUTES 55 SECONDS WEST AND DISTANCE OF 201.04 FEET, AN ARC DISTANCE OF 201.04 FEET TO A 1/2 INCH REBAR SET.

THENCE ON A BEARING OF NORTH 63 MINUTES 55 SECONDS WEST A DISTANCE OF 231.04 FEET TO A 1/2 INCH REBAR SET.

THENCE ON A BEARING OF SOUTH 20 DEGREES 21 MINUTES 15 SECONDS EAST A DISTANCE OF 72.54 FEET TO A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF THE AMERICAN PROPERTIES CO., L.P. TRACT (89-1228).

THENCE ON A BEARING OF NORTH 63 DEGREES 53 MINUTES 07 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 564.67 FEET (2+563.42 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT.

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 174.56 FEET (2+164.10 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE ROOSEVELT, JR. AND LILLIE ROLLEN TRACT (24-4122).

THENCE ON A BEARING OF NORTH 10 DEGREES 50 MINUTES 15 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 325.00 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT.

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 530.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 85.540 ACRES OR 3,728,444.400 SQUARE FEET.

SEARCHED	INDEXED	SERIALIZED	FILED
SEP 13 2010	SEP 13 2010	SEP 13 2010	SEP 13 2010
SHELBY COUNTY REGISTER OF DEEDS			
GUY R. SALES			

JS4547

SHELBY COUNTY REGISTER OF DEEDS 99 SEP 13 AM 9:25



Shelby County Tennessee

Shelandra Y Ford

Shelby County Register

As evidenced by the instrument number shown below, this document has been recorded as a permanent record in the archives of the Office of the Shelby County Register.

20108391

10/05/2020 - 03:39:30 PM

9 PGS

TAMMY 2099261-20108391

VALUE	125000.00
MORTGAGE TAX	0.00
TRANSFER TAX	462.50
RECORDING FEE	45.00
DP FEE	2.00
REGISTER'S FEE	1.00
EFILE FEE	2.00
TOTAL AMOUNT	512.50

SHELANDRA Y FORD

REGISTER OF DEEDS SHELBY COUNTY TENNESSEE

Prepared by:
Wyatt, Tarrant & Combs, LLP (JGML)
6070 Poplar Avenue, Ste. 300
Memphis, Tennessee 38119
(901) 537-1000

After recording, return to:
The Green Law Firm
5050 Poplar Avenue, Suite 2416
Memphis, TN 38157
901-685-5840 ext 103

QUIT CLAIM DEED

KNOW ALL MEN BY THESE PRESENTS, that on this the 21 day of Sept., 2020, Shelby County Board of Education, successor-in-interest to the Board of Education of the Memphis City Schools (herein "**Grantor**") for and in consideration of the sum of TEN DOLLARS (\$10.00) cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, does hereby quit claim unto Jason Farmer, an adult resident of Shelby County, Tennessee, all of Grantor's interest in and to the following described real estate located in the City of Memphis, County of Shelby, State of Tennessee (the "**Land**"), to wit:

See property description at **Exhibit A** attached hereto and incorporated herein by this reference

Being the same property conveyed to Grantor by Board of Education of the Memphis City Schools pursuant to the instruments recorded in the Register's Office of Shelby County, Tennessee as instruments number JS 4544, JS 4545, JS 4546, and JS 4547.

The Land was owned by the Board of Education of the Memphis City Schools, which entity is one and the same as the Memphis City Board of Education. By virtue of that Order, dated August 8, 2011 (the "**Federal Court Order**"), in the U.S. District Court, Western District of Tennessee, Western Division, Cause No. 11-2101, 2011 WL 34444059, styled: *Board of Education of Shelby County, Tennessee, et al. v. Memphis City Board of Education, et al.*, a copy of which is recorded in the Register's Office of Shelby County, Tennessee, as Instrument No. 14093250, all the assets, both real and personal, of the Memphis City Board of Education, including the Land, became the property of the Shelby County Board of Education (see Conclusion #6 in the Federal Court Order). The Memphis City Board of Education surrendered its Charter on or about December 20, 2010, which decision was ratified by the voters of the City of Memphis on or about March 7, 2011. Pursuant to the Federal Court Order, the Memphis City Board of Education ceased to exist at the beginning of the school year in 2013 (see Conclusion #7 in the Federal Court Order). As the successor in interest to the Memphis City Board of Education, and in furtherance of the transactions contemplated by the Federal Court Order, the Shelby County Board of Education executes this quitclaim deed as successor in interest to, and on behalf of, the Memphis City Board of Education in order to complete and effectuate the conveyance and transfer of the Land.

The Grantor does not convey, and Grantee does not accept, any portion of the real property comprising the Holmes Elementary School described in Instrument KG 7914 of record in the Register's Office of Shelby County, Tennessee.

[SIGNATURE AND ACKNOWLEDGMENT PAGE FOLLOW]

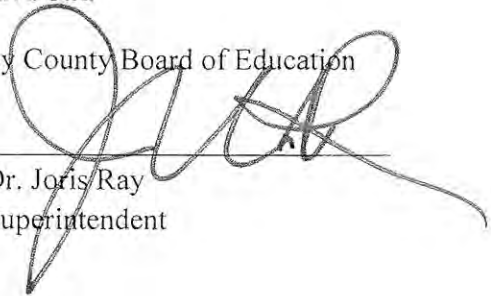
QUIT CLAIM DEED

IN TESTIMONY WHEREOF, Grantor has executed this Quit Claim Deed as of the date first written above.

GRANTOR:

Shelby County Board of Education

By: _____
Dr. Joris Ray
Superintendent



STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared Dr. Joris Ray, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who, upon oath, acknowledged himself to be the Superintendent of the Shelby County Board of Education, the within named bargainor, and that he as such Superintendent, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Shelby County Board of Education by himself as such Superintendent.

WITNESS my hand and Notarial Seal at office this the 21 day of September, 2020.



Notary Public

My Commission Expires: 12/13/2023

[affix seal]



QUIT CLAIM DEED

IN TESTIMONY WHEREOF, Grantor has executed this Quit Claim Deed as of the date first written above.

GRANTOR:

Shelby County Board of Education

By: Miska Clay Bibbs
Miska Clay-Bibbs
Board Chair

STATE OF TENNESSEE
COUNTY OF SHELBY

Before me, a Notary Public in and for said State and County, duly commissioned and qualified, personally appeared Miska Clay-Bibbs, with whom I am personally acquainted (or proved to me on the basis of satisfactory evidence) and who, upon oath, acknowledged herself to be the Board Chair of the Shelby County Board of Education, the within named bargainor, and that she as such Board Chair, being authorized so to do, executed the foregoing instrument for the purposes therein contained, by signing the name of the Shelby County Board of Education by herself as such Board Chair.

WITNESS my hand and Notarial Seal at office this the 21 day of September, 2020.

Crystal C Neal
Notary Public

My Commission Expires: 12/13/2023


[affix seal]



QUIT CLAIM DEED

Seller's General Counsel's Approval of Form

Approved as to legal form:



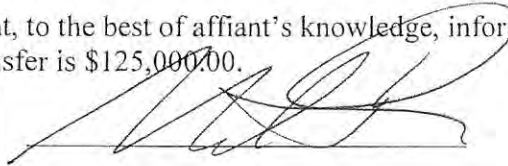
Associate General Counsel

QUIT CLAIM DEED

Consideration Affidavit

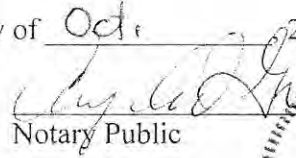
STATE OF TENNESSEE
COUNTY OF SHELBY

I, or we, hereby swear or affirm that, to the best of affiant's knowledge, information, and belief, the actual consideration for this transfer is \$125,000.00.



Subscribed and sworn to before me this the 2nd day of Oct, 2020.

My Commission Expires: 12-13-23



Notary Public



[affix seal]

Recording Information

Property Address:	Tax Parcel ID No.:	Owner:	Mail Tax Bills To:
0 Scaife Rd vacant land	077083-00028	Jason A. Farmer 254 Court Avenue Suite 213 Memphis, TN 38103	Jason A. Farmer 254 Court Avenue Suite 213 Memphis, TN 38103

QUIT CLAIM DEED

Exhibit A

Legal Description

See Attached

Tom Leatherwood, Shelby County Register of Deeds: Instr #194547

JS 4547

EXHIBIT A

LEGAL DESCRIPTION

LOCATED IN SHELBY COUNTY, TENNESSEE:

BEGINNING AT A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF SCAFE ROAD (60.00 FT. R.O.H.) A DISTANCE OF 150.44 FEET NORTH-EASTWARDLY FROM ITS TANGENT INTERSECTION WITH THE CENTERLINE OF U.S. HIGHWAY 51 (200.00 FT. R.O.H.) THENCE ON A BEARING OF NORTH 78 DEGREES 46 MINUTES 13 SECONDS WEST ALONG THE NORTHERLY LINE OF SAID SCAFE ROAD A DISTANCE OF 310.93 FEET (6*38.71 FEET) TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE AMOS AND LINDA JACKSON TRACT (P.F. 2003);

THENCE ON A BEARING OF NORTH 15 DEGREES 23 MINUTES 00 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT A DISTANCE OF 2411 FEET (6*242.00 FEET) TO A 1/2 INCH REBAR SET AT THE NORTH-EASTERLY CORNER OF THE SAID AMOS AND LINDA JACKSON TRACT;

THENCE ON A BEARING OF NORTH 10 DEGREES 07 MINUTES 44 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMOS AND LINDA JACKSON TRACT, THE JOHN PERSON TRACT (P.F. 1212), AND THE JOHN JR. AND PATRICIA PERSON TRACT (P.F. 2482) A DISTANCE OF 640.30 FEET TO A 1 INCH PIPE FOUND IN THE EASTERLY LINE OF THE ILLINOIS CENTRAL RAILROAD (200.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 00 DEGREES 20 MINUTES 31 SECONDS WEST ALONG THE EASTERLY LINE OF SAID ILLINOIS CENTRAL RAILROAD A DISTANCE OF 1706.31 FEET TO A 1 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 33 OF THE FIRST ADDITION OF THE DUELLING OAKS SUBDIVISION (P.D. 131, P.G. 32A);

THENCE ON A BEARING OF NORTH 64 DEGREES 34 MINUTES 11 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 33 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 145.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF DUELLING OAKS DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF SOUTH 00 DEGREES 14 MINUTES 07 SECONDS EAST ALONG THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE A DISTANCE OF 81.11 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF SAID DUELLING OAKS DRIVE;

THENCE ON A BEARING OF NORTH 24 DEGREES 45 MINUTES 51 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 114.90 FEET TO A 3/8 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 42 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 23 SECONDS WEST ALONG THE EASTERLY LINE OF LOTS 42, 41, 40, AND 34 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 300.01 FEET TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 30 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 10 DEGREES 11 MINUTES 21 SECONDS WEST ALONG THE EASTERLY LINE OF SAID LOT 30 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 70.00 FEET (6*70.07 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 23 OF SECTION 6AA OF THE DUELLING OAKS SUBDIVISION (P.F. 74, P.G. 64);

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF LOTS 22, 23, AND 24 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 202.00 FEET (6*202.66 FEET) TO A 3/8 INCH PIPE FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 25 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 25 DEGREES 23 MINUTES 05 SECONDS EAST ALONG AN INTERIOR LINE OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 60.00 FEET (6*60.04 FEET) TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF SAID LOT 25 OF THE DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 20 DEGREES 32 MINUTES 00 SECONDS EAST ALONG AN INTERIOR LINE OF LOTS 25 AND 26 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 120.44 FEET (6*120.35 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 21 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 21 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 115.00 FEET (6*115.41 FEET) TO A 1/2 INCH REBAR SET IN THE SOUTHERLY LINE OF DELCREST DRIVE (50.00 FT. R.O.H.);

THENCE ON A BEARING OF NORTH 47 DEGREES 05 MINUTES 30 SECONDS EAST ALONG THE EASTERLY LINE OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 50.00 FEET (6*49.80 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTH-EASTERLY CORNER OF LOT 20 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF NORTH 43 DEGREES 23 MINUTES 07 SECONDS EAST ALONG THE EASTERLY LINE OF SAID LOT 20 OF THE DUELLING OAKS SUBDIVISION A DISTANCE OF 123.94 FEET (6*124.14 FEET) TO A 1/2 INCH REBAR FOUND AT THE SOUTH-EASTERLY CORNER OF LOT 20 OF THE SAID DUELLING OAKS SUBDIVISION;

THENCE ON A BEARING OF SOUTH 73 DEGREES 51 MINUTES 32 SECONDS EAST ALONG THE SOUTHERLY LINE OF LOTS 30, 31, AND 32 OF THE SAID DUELLING OAKS SUBDIVISION A DISTANCE OF 211.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR LINE OF THE EVANS HOUSING GROUP, INC. TRACT (P.L. 6164);

THENCE ON A BEARING OF SOUTH 15 DEGREES 28 MINUTES 44 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.71 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 465.50 FEET, A CENTRAL ANGLE OF 01 DEGREES 14 MINUTES 26 SECONDS, A CHORD BEARING OF SOUTH 15 DEGREES 07 MINUTES 10 SECONDS WEST AND DISTANCE OF 10.08 FEET, AN ARC DISTANCE OF 100.08 FEET TO A 1/2 INCH REBAR SET AT A POINT OF TANGENCY;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 111.45 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 74 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 21.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 24 DEGREES 38 MINUTES 50 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 21.21 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 15 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 234.05 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT.

Tom Leatherwood, Shelby County Register of Deeds: (615) 4254547

JS 4547

THENCE ON A BEARING OF SOUTH 25 DEGREES 11 MINUTES 21 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 183.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 01 DEGREES 01 MINUTES 11 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 84.40 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 361.46 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 00 DEGREES 21 MINUTES 02 SECONDS WEST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 23.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 04 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 60.00 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF NORTH 00 DEGREES 21 MINUTES 02 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 61.80 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 30 MINUTES 30 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 282.04 FEET TO A 1/2 INCH REBAR SET AT AN INTERIOR CORNER OF THE SAID EVANS HOUSING GROUP, INC. TRACT;

THENCE ON A BEARING OF NORTH 60 DEGREES 40 MINUTES 07 SECONDS EAST ALONG AN INTERIOR LINE OF THE SAID EVANS HOUSING GROUP, INC. TRACT A DISTANCE OF 100.11 FEET (C=24.48 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE FABAS, L.L.C. TRACT (21-504);

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID FABAS, L.L.C. TRACT A DISTANCE OF 451.64 FEET (C=451.74 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE COLDY AND GENEVIEVE SANDLIAN TRACT (21-221A);

THENCE ON A BEARING OF SOUTH 15 DEGREES 45 MINUTES 30 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 431.10 FEET (431.25 FEET) TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 14 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID COLDY AND GENEVIEVE SANDLIAN TRACT A DISTANCE OF 224.37 FEET (224.48 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF LOT 5 OF THE HANEY OAKS COMMERCIAL SUBDIVISION (FD. 15, PG. 30);

THENCE ON A BEARING OF SOUTH 10 DEGREES 11 MINUTES 54 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 650.20 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF LOT 14 OF THE SAID HANEY OAKS COMMERCIAL SUBDIVISION;

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF SAID LOT 14 OF THE HANEY OAKS COMMERCIAL SUBDIVISION A DISTANCE OF 84.21 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE LARRY YOUNG TRACT (1-1-502);

THENCE ON A BEARING OF SOUTH 10 DEGREES 04 MINUTES 14 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 120.00 FEET TO A 1/2 INCH REBAR SET AT THE SOUTHWESTERLY CORNER OF THE SAID LARRY YOUNG TRACT;

THENCE ON A BEARING OF SOUTH 14 DEGREES 40 MINUTES 30 SECONDS EAST ALONG THE SOUTHERLY LINE OF THE SAID LARRY YOUNG TRACT A DISTANCE OF 200.00 FEET TO A 1/2 INCH REBAR SET IN THE WESTERLY LINE OF U.S. HIGHWAY 51 (100.00 FT. R.O.M.);

THENCE ALONG THE WESTERLY LINE OF SAID U.S. HIGHWAY 51 AND ALSO BEARS A CURVE TO THE RIGHT, HAVING A RADIUS OF 4127.01 FEET, A CENTRAL ANGLE OF 00 DEGREES 10 MINUTES 40 SECONDS, A CHORD BEARING OF SOUTH 16 DEGREES 11 MINUTES 55 SECONDS WEST AND DISTANCE OF 201.04 FEET, AN ARC DISTANCE OF 201.04 FEET TO A 1/2 INCH REBAR SET;

THENCE ON A BEARING OF NORTH 63 MINUTES 53 SECONDS WEST A DISTANCE OF 231.09 FEET TO A 1/2 INCH REBAR SET;

THENCE ON A BEARING OF SOUTH 20 DEGREES 21 MINUTES 15 SECONDS EAST A DISTANCE OF 72.54 FEET TO A 1/2 INCH REBAR SET IN THE NORTHERLY LINE OF THE AMERICAN PROPERTIES CO., L.P. TRACT (18-1225);

THENCE ON A BEARING OF NORTH 63 DEGREES 53 MINUTES 07 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 564.67 FEET (C=563.12 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT;

THENCE ON A BEARING OF SOUTH 16 DEGREES 30 MINUTES 45 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID AMERICAN PROPERTIES CO., L.P. TRACT A DISTANCE OF 174.56 FEET (C=184.10 FEET) TO A 1/2 INCH REBAR SET AT THE NORTHEASTERLY CORNER OF THE ROOSEVELT, JR. AND LILLIE ROLLEN TRACT (18-4120);

THENCE ON A BEARING OF NORTH 10 DEGREES 10 MINUTES 15 SECONDS WEST ALONG THE NORTHERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 325.00 FEET TO A 1/2 INCH REBAR SET AT THE NORTHWESTERLY CORNER OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT;

THENCE ON A BEARING OF SOUTH 10 DEGREES 10 MINUTES 15 SECONDS WEST ALONG THE WESTERLY LINE OF THE SAID ROOSEVELT, JR. AND LILLIE ROLLEN TRACT A DISTANCE OF 530.53 FEET TO THE POINT OF BEGINNING AND CONTAINING 85540 ACRES OR 8,728,444.605 SQUARE FEET.


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SHIRLEY R. SALES
REGISTER OF DEEDS

JS4547

SHELBY COUNTY REGISTER OF DEEDS
99 SEP 13 AM 9:25

I, Angela D. Green, do hereby make oath that I am a licensed attorney and/or the custodian of the electronic version of the attached document tendered for registration herewith and that this is a true and correct copy of the original document executed and authenticated according to law.

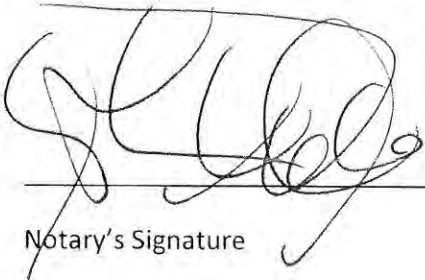


Angela D. Green

State of Tennessee

County of Shelby

Personally appeared before me, John Thomas a notary public for the above county and state, Angela D. Green, who acknowledges that this certification of an electronic document is true and correct and whose signature I have witnessed.



Notary's Signature

MY COMMISSION EXPIRES: _____

Notary's Seal



My Commission Expires
May 8, 2023

The Reaves Firm, Inc.
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm, Inc.
ATTN: Kay Maynard
6800 Poplar Avenue, Suite 101
Memphis TN 38138

The Reaves Firm, Inc.
ATTN: Kay Maynard
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6800 Poplar Avenue, Suite 101
Memphis TN 38138

Dedrick Brittenum
Brittenum Law PLLC
Airways Professional Center
3385 Airways Blvd., #229
Memphis, TN 38116

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3385 Airways Blvd., #229
Memphis, TN 38116

Dedrick Brittenum
Brittenum Law PLLC
Airways Professional Center
3385 Airways Blvd., #229
Memphis, TN 38116

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Jason Farmer
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

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Memphis, TN 38103-2361

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Memphis, TN 38103-2361

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254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Councilman JB Smiley
Memphis City Council
Super District 8-1
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilman Cheyenne Johnson
Memphis City Council
Super District 8-2
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilman Martavius Jones
Memphis City Council
Super District 8-3
125 N. Main St., Rm. 514
Memphis, TN 38103

Councilwoman Patrice Robinson
Memphis City Council
District 3
125 N. Main St., Rm. 514
Memphis, TN 38103

Commissioner Eddie Jones
Shelby County Government
District 11
160 N. Main Street
Memphis, TN 38103

May 17, 2021

You are invited to a neighborhood meeting to discuss the BLP FILM STUDIOS PLANNED DEVELOPMENT application filed with the Memphis and Shelby County Division of Planning and Development. The site is on the west side of Elvis Presley Blvd. between Holmes Rd. & Scaife Rd. The request is for a film studio development consisting of a hotel, conference center, sound stages, residential for film staff, and film prop storage.

The complete application can be found at:

<https://shelbycountyttn.gov/ArchiveCenter/ViewFile/Item/10324>

P.D. 21-018

NEIGHBORHOOD MEETING NOTICE

ONLINE ONLY

Date: Thursday, May 27, 2021

Time: 6:00 – 7:00 pm

Via Zoom: <https://tinyurl.com/3zvhesku> (type this Zoom link into your browser OR download the zoom app on your device and type in the numbers below)

Meeting ID: 841 2531 1858

Passcode: 825282

Audio Only: To join without video dial 1-929-205-6099, follow the prompts for participants and use the meeting ID and passcode from above.

The Planned Development application will also be heard at the Land Use Control Board meeting:

Date: Thursday, June 10, 2021

Time: 9:00 a.m.

Place: <https://www.youtube.com/c/divisionofplanninganddevelopment>

If you have questions regarding this application, you may contact Mr. Brian Bacchus with the Division of Planning and Development at 901.636.6619 or by email at Brian.bacchus@memphistn.gov

Thank you,
BLP Film Studios



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street-Suite 468 – Memphis, Tennessee 38103 – (901) 636-7120

NOTICE OF PUBLIC HEARING

You are receiving this Notice of Public Hearing because you own a property near the location of a land use case filed with the Office of Planning and Development. The **MEMPHIS & SHELBY COUNTY LAND USE CONTROL BOARD** will hold a **Public Hearing** on the following Planned Development application, pursuant to Sub-Section 9.3.4A of the Memphis & Shelby County Unified Development Code:

CASE NUMBER: P.D. 21-018

DEVELOPMENT NAME: BLP Film Studios Planned Development

LOCATION: West side of Elvis Presley Boulevard between Holmes Road and Scaife Road
(SEE CONCEPT PLAN ON REVERSE SIDE)

APPLICANT(S): BLP Film Studios, LLC

REQUEST: Planned development to allow a film studios mixed-use plan with associated accessory structures and uses within the Outline Plan

THE PUBLIC HEARING WILL BE HELD:

DATE: Thursday, June 10th, 2021
TIME: 9:00 A.M. (No Executive Session)
LOCATION: 125 N. Main Street-Lobby
 City Council Chambers

During the **Public Hearing**, the Board may approve with conditions, deny or continue the item until the next regularly scheduled monthly meeting of the Board. After recommendation by the Land Use Control Board, the application will require a public hearing by the Memphis City Council. This legislative body shall make the final decision to approve or deny the request for planned development to allow film studios.

Note: The Land Use Control Board may place this item on the Consent Agenda, which is considered at the beginning of the Board meeting. No individual public hearing will be held, nor will the Board debate items on the Consent Agenda unless a request was made by a property owner, staff or a Board member requesting the item be removed from the Consent Agenda. If you have questions concerning this Planned Development application, call **Brian Bacchus @ (901) 636-7120** or via email brian.bacchus@memphistn.gov

5339 Elvis Presley Blvd. Memphis TN
2701 E. Camelback Road, Ste. 150
Phoenix, AZ 85016-4324

Adams Annetta
5265 Duelling Oaks
Memphis, TN 38116-8228

ALD Capital Holdings LLC
5008 Meadowview Street
Tipp City, OH 45371-8380

Banana Tree Investments LLC
341 Henry Russell Street
Franklin, TN 37064-1524

Barley Gloria M
1166 Mary Jane Avenue
Memphis, TN 38116-8935

Benson Revita M
5276 Duelling Oaks
Memphis, TN 38116-8227

Bittar Living Trust
17967 Mayerling Street
Granada Hills, CA 91344

Boyd Mary
5233 Duelling Oaks
Memphis, TN 38116-8226

Brown Anne
5318 Duelling Oaks
Memphis, TN 38116-8227

Bryant Investment Group LLC
7700 Chapel Ridge Drive
Cordova, TN 38016-7896

Burton Tory
5275 Duelling Oaks
Memphis, TN 38116-8228

Catron Johnnie & Gloria J
889 Delaney Cove
Memphis, TN 38116-8225

Chandler Robert L Sr.
965 Richland Drive
Memphis, TN 38116-8253

City Of Memphis Board Of Education
2597 Avery Avenue
Memphis, TN 38112-4818

Coleman Mark L
5555 Elvis Presley Boulevard
Memphis, TN 38116-8231

Couloubaritsis George And Jerry
756 E. Brookhaven Circle
Memphis, TN 38117

Dandridge Damita J
947 Richland Drive
Memphis, TN 38116-8253

Danner Raney And Liberty Priceless
894 Delaney Cove
Memphis, TN 38116-8225

Dishmon Leon Jr.
5293 Duelling Oaks
Memphis, TN 38116-8228

Dorsey John R And Pearlie M Hardaway
1016 E. Holmes Road
Memphis, TN 38116-8246

Downs Dorothy N
893 E. Holmes Road
Memphis, TN 38116-8239

Earl Ionia
P O Box 16535
Memphis, TN 38186-0535

Ellis Elwin F & Tracle R
5294 Duelling Oaks
Memphis, TN 38116-8227

Ezell Elijah H & Bobbie R
1177 Mary Jane Avenue
Memphis, TN 38116-8934

Farmer Jason
254 Court Avenue, Ste. 213
Memphis, TN 38103-2361

Faulkner Alice M
5260 Duelling Oaks
Memphis, TN 38116-8227

Ford Allyson
5240 Duelling Oaks
Memphis, TN 38116-8227

Garrison Fredrick & Rolinda
5252 Duelling Oaks
Memphis, TN 38116-8227

Gibson Douglas E & Kim P
1165 Mary Jane Avenue
Memphis, TN 38116-8934

Gilmore Marschia C
5302 Duelling Oaks
Memphis, TN 38116

Green Reginald A & Andrea D
1170 Mary Jane Avenue
Memphis, TN 38116-8935

Hardaway Phyllis A
975 E. Holmes Road
Memphis, TN 38116-8241

Harrison Antoine
5266 Duelling Oaks
Memphis, TN 38116-8227

Hill Frank & Teresa
5286 Duelling Oaks
Memphis, TN 38116-8227

Holmes And Elvis LLC
465 Itawamba Road
Collierville, TN 38017

Investments Incorporated
P O Box 500
Memphis, TN 38101-0500

Ivie Gwendolyn R And Donna K Jenkins
5137 Darlington Drive
Memphis, TN 38118-2522

Jackson Amos L & Linda L
996 Scaife Road
Memphis, TN 38116-8258

Johnson Samuel E
979 Richland Drive
Memphis, TN 38116-8253

Johnson Shirley M
1069 Scaife Road
Memphis, TN 38116-8257

Jones James C Sr. & Shirley Y
P O Box 241936
Memphis, TN 38124

Kinchelow Dorothy S
924 E. Holmes Road
Memphis, TN 38116

Lawal Motoani
5309 Duelling Oaks
Memphis, TN 38116

Lemons Daniel & Thedora
5246 Duelling Oaks
Memphis, TN 38116-8227

Lunati Ticer Partnership
7170 Stout Road
Germantown, TN 38138

M J Edwards-Whitehaven Funeral Chapel
1929 Allen Parkway
Houston, TX 77019-2506

Ma'at Markeeno
1025 Scaife Road
Memphis, TN 38116-8257

Martin Johnnie L & Glory F
911 E. Holmes Road
Memphis, TN 38116-8239

McKinney Robert III
1002 E. Holmes Road
Memphis, TN 38116-8246

McNeal Susie And Dinah R McNeal
944 E. Holmes Road
Memphis, TN 38116-8242

Middlebrook Walter T Jr.
957 Richland Drive
Memphis, TN 38116-8253

Miller Shirley
14039 Weddington Street
Van Nuys, CA 91401

Mills William And Versie Harris
933 Richland Drive
Memphis, TN 38116-8253

Mormon Patricia A
909 Craigwood Drive
Memphis, TN 38116

Norwood Sheretal C
999 Richland Drive
Memphis, TN 38116-8253

Oler Elvin R & Deloise D
967 E. Holmes Road
Memphis, TN 38116-8241

O'neal Rafael
5285 Duelling Oaks
Memphis, TN 38116-8228

O'rourke Family Trust
1152 Kriebel Mill Road
Collegetown, PA 19426-1527

Our Savior Luthern Church
5400 Elvis Presley Boulevard
Memphis, TN 38116-8236

Ozier Parkway Partners LP
823 E. Holmes Road
Memphis, TN 38116-8239

Ozrail Ziad S
3588 Poplar Avenue
Memphis, TN 38111-6006

Parham Tasha And Collis Parham III
919 E. Holmes Road
Memphis, TN 38116-8239

Parker Patty G
974 E. Holmes Road
Memphis, TN 38116

Percy Property LLC
1 Williambury Station
Carnarvon, W. Australia 6701

Performance Property Management LLC
P O Box 1992
Olive Branch, MS 38654-2104

Pierson Harold
5271 Duelling Oaks
Memphis, TN 38116-8228

Poag Elroy Jr.
939 Richland Drive
Memphis, TN 38116-8253

Richardson William C Jr.
901 E. Holmes Road
Memphis, TN 38116

Rollen Roosevelt Jr. & Lillie B
1064 Scaife Road
Memphis, TN 38116-8258

S4A002 LLC
2 Hartford Drive, Ste. 206
Tinton Falls, NJ 07701-4939

Sandlian Colby B
P O Box 612
Fishers, IN 46038-0612

Saulny Gwendolyn M
890 Delaney Cove
Memphis, TN 38116-8225

Sivarajan Sujal
18677 NE 56th Court
Redmond, WA 98052-6129

Smith Claudia M
893 Delaney Cove
Memphis, TN 38116-8225

Smith Joe J
5243 Duelling Oaks
Memphis, TN 38116-8226

Smith Robbie F
986 E. Holmes Road
Memphis, TN 38116

Smith William H Jr & Melissa R
5226 Duelling Oaks
Memphis, TN 38116-8265

Sow Amadou & Aminita
947 E. Holmes Road
Memphis, TN 38116-8241

Spirit Master Funding X LLC
500 Volvo Parkway
Chesapeake, VA 23320-1604

Taylor Denise A And Joyce A Taylor
5257 Duelling Oaks
Memphis, TN 38116-8228

Taylor Marvell
5301 Duelling Oaks
Memphis, TN 38116

Temple Of Love Cme Church (TR)
P O Box 16920
Memphis, TN 38186-0920

Thomas Reginald K
5310 Duelling Oaks
Memphis, TN 38116-8227

Thornton Loretta Y
974 Scaife Road
Memphis, TN 38116-8258

Threatt Milton
957 E. Holmes Road
Memphis, TN 38116-8241

Tyler Construction Company LLC
5366 Elvis Presley Boulevard
Memphis, TN 38116-8236

Tyler Sherman
5366 Elvis Presley Boulevard
Memphis, TN 38116-8236

Visionary Homebuyers LLC
8266 Post Creek Cove
Memphis, TN 38125-3258

Wal Mart Real Estate Business Trust
P O Box 8050
Bentonville, AR 72712-8050

Walker Gregory K Sr. & Sherrill Q
4328 Marguerite Drive
Memphis, TN 38109-5506

Ward Samuel
914 E. Holmes Road
Memphis, TN 38116-8242

Washington Arthur L Jr.
7614 Parkmont Drive
Memphis, TN 38125-4781

Welch Rhonda S
1391 Ridgewood Park Road
Memphis, TN 38116-7213

Whitehaven Funeral Chapel Incorporated
P O Box 130548
Houston, TX 77219

AFFIDAVIT

Shelby County
State of Tennessee

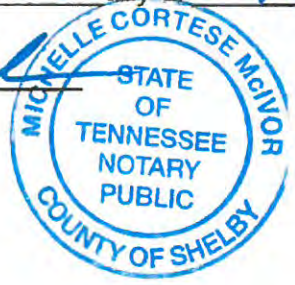
I, Thomas Hughes, being duly sworn, depose and say that at 10:00 am on the 28th day of May, 2021, I posted 6 Public Notice Sign(s) pertaining to Case No. 2021-018 at (see attached map) providing notice of a Public Hearing before the X Land Use Control Board, Memphis City Council, Shelby County Board of Commissioners for consideration of a proposed Land Use Action (X Planned Development, Special Use Permit, Zoning District Map Amendment, Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

Thomas Hughes
Owner, Applicant or Representative

5/28/21
Date

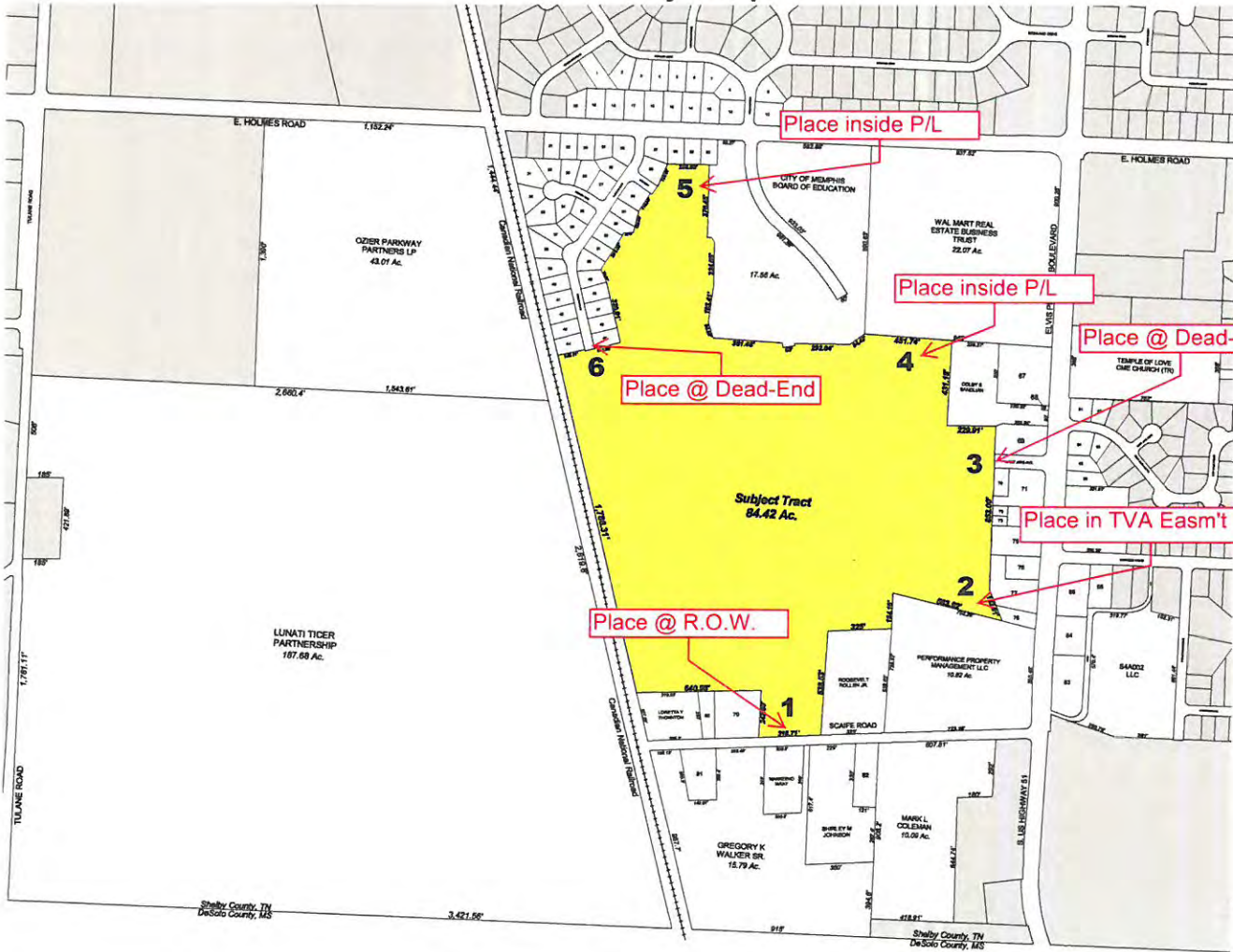
Subscribed and sworn to before me this 28 day of May, 2021.

Michelle Cortese McIVOR
Notary Public



My commission expires: 5/14/21

Vicinity Map



Date: 04/05/21
 Prepared By:
 Property Research Data
 PRD Job #21-025

P.D 2021-018 BLP Studios



#1 Scaife Road @ R.O.W.



#2 TVA Easement

P.D. 2021-018 BLP Studios



#3 Mary Jane Ave. @ Dead End



#4 Inside P/L - Walmart

P.D. 2021-018 BLP Studios



#5 Inside P/L - Delcrest



#6 Duelling Oaks @ Dead End

PUBLIC NOTICE

**AN APPLICATION HAS
BEEN FILED FOR A**

**PLANNED
DEVELOPMENT**

**TO ALLOW FILM STUDIOS
WITH ACCESSORY USES
ON THIS PROPERTY**

**A PUBLIC HEARING
WILL BE HELD**

**CASE NO: PD 2021-018
INFORMATION: 636-6619**

**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 07/20/2021

DATE

PUBLIC SESSION: 07/20/2021

DATE

ITEM (CHECK ONE)

ORDINANCE CONDEMNATIONS GRANT ACCEPTANCE / AMENDMENT
 RESOLUTION GRANT APPLICATION REQUEST FOR PUBLIC HEARING

OTHER: _____

ITEM DESCRIPTION: A resolution approving a planned development for a commercial cleaning business

CASE NUMBER: PD 21-13

DEVELOPMENT: Vasquez Clean Up, LLC. Planned Development

LOCATION: 3969 and 3975 Geraldus Avenue

COUNCIL DISTRICTS: District 4 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Guadalupe Vasquez

REPRESENTATIVE: Varonica Cooper / Brandi Price – Cooper Law Firm

EXISTING ZONING: Residential Single-Family – 6 (R-6)

REQUEST: Commercial cleaning business planned development

AREA: +/-0.877 acres

RECOMMENDATION: The Division of Planning and Development recommended *Approval with conditions*
The Land Use Control Board recommended *Approval with conditions*

RECOMMENDED COUNCIL ACTION: Public Hearing Not Required

PRIOR ACTION ON ITEM:

(1) _____	APPROVAL - (1) APPROVED (2) DENIED
06/10/2021 _____	DATE
(1) Land Use Control Board _____	ORGANIZATION - (1) BOARD / COMMISSION (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

(2) _____	REQUIRES CITY EXPENDITURE - (1) YES (2) NO
\$ _____	AMOUNT OF EXPENDITURE
\$ _____	REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

\$ _____	OPERATING BUDGET
\$ _____	CIP PROJECT # _____
\$ _____	FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

	<u>DATE</u>	<u>POSITION</u>
_____ <i>Lucas Skinner</i> _____	06/29/2021	MUNICIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPTROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	CHIEF ADMINISTRATIVE OFFICER
_____	_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

PD 21-13 – Vasquez Clean Up, LLC. Planned Development

Resolution requesting a commercial cleaning business planned development at 3969 and 3975 Geraldus Avenue:

- This item is a resolution with conditions for a planned development to allow the above; and
- The Division of Planning & Development at the request of the Owner(s): Guadalupe Vazquez; Applicant(s): Guadalupe Vazquez; and Representative(s): Varonica Cooper and Brandi Price – Cooper Law Firm; and
- This resolution, if approved with conditions, will supersede the existing zoning for this property; and
- The item may require future public improvement contracts.

RESOLUTION APPROVING THE VASQUEZ CLEAN UP, LLC. PLANNED DEVELOPMENT AT THE SUBJECT PROPERTY LOCATED AT 3969 AND 3975 GERALDUS AVENUE, KNOWN AS CASE NUMBER PD 21-13.

WHEREAS, Chapter 9.6 of the Memphis and Shelby County Unified Development Code, being a section of the Joint Ordinance Resolution No. 5367, dated August 10, 2010, authorizes the Council of the City of Memphis to grant a planned development for certain stated purposes in the various zoning districts; and

WHEREAS, Guadalupe Vazquez filed an application with the Memphis and Shelby County Division of Planning and Development to allow a commercial cleaning business planned development; and

WHEREAS, the Division of Planning and Development has received and reviewed the application in accordance with procedures, objectives and standards for planned developments as set forth in Chapter 9.6 with regard to the proposed development's impacts upon surrounding properties, availability of public facilities, both external and internal circulation, land use compatibility, and that the design and amenities are consistent with the public interest; and has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Memphis and Shelby County Land Use Control Board; and

WHEREAS, a public hearing in relation thereto was held before the Memphis and Shelby County Land Use Control Board on June 10, 2021, and said Board has submitted its findings and recommendation subject to outline plan conditions concerning the above considerations to the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned application pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said development is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the Council of the City of Memphis has reviewed the recommendation of the Land Use Control Board and the report and recommendation of the Division of Planning and Development and has determined that said development meets the objectives, standards and criteria for a special use permit, and said development is consistent with the public interests.

NOW, THEREFORE, BE IT RESOLVED, BY THE COUNCIL OF THE CITY OF MEMPHIS, that, pursuant to Chapter 9.6 of the Memphis and Shelby County Unified Development Code, a planned development is hereby granted in accordance with the attached outline plan conditions.

BE IT FURTHER RESOLVED, that the requirements of said aforementioned clause of the Unified Development Code shall be deemed to have been complied with; that the outline plan shall bind the applicant, owner, mortgagee, if any, and the legislative body with respect to the contents of said plan; and the applicant and/or owner may file a final plan in accordance with said outline plan and the provisions of Section 9.6.11 of the Unified Development Code.

ATTEST:

**CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Enforcement**

OUTLINE PLAN CONDITIONS

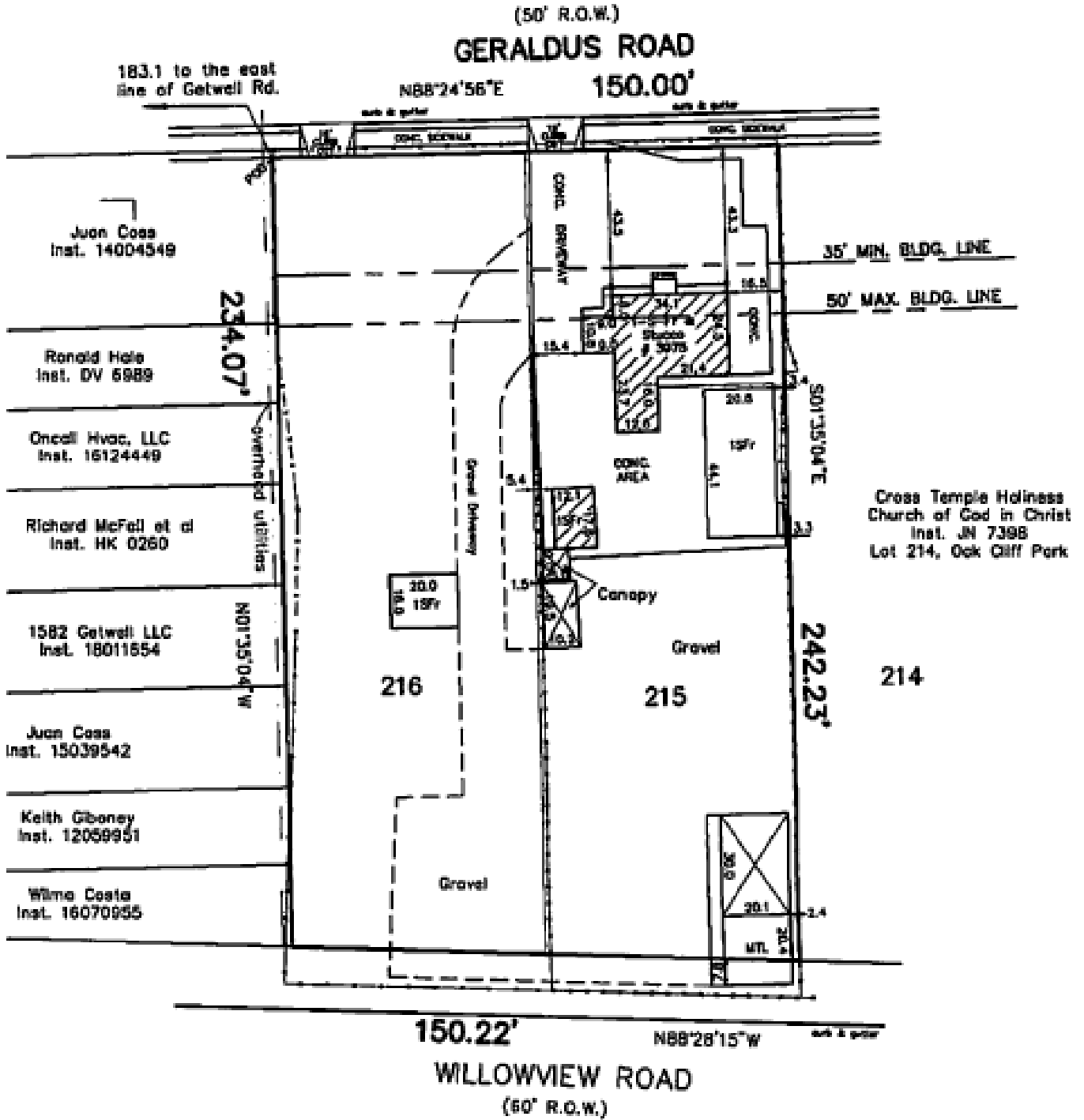
- I. Uses Permitted:
 - A. Any use permitted by right or by administrative site plan review in the Office General (OG) District, including a commercial cleaning business.
- II. Bulk Regulations:
 - A. Bulk regulations shall be in conformance with those established for the Office General (OG) District.
 - B. Maximum Building Height – 40 feet.
- III. Access, Parking, and Circulation:
 - A. The City Engineer shall approve the design, number and location of curb cuts.
 - B. Any existing nonconforming curb cuts shall be modified to meet current City standards or closed with curb, gutter and sidewalk.
- IV. Signs
 - A. Signs shall be in conformance with regulations established for the Office General (OG) District.
- V. Landscaping
 - A. Required landscaping shall not be placed over sewer or drain easements.
- VI. The Land Use Control Board may modify the bulk, access, parking, landscaping and sign requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator, to have such action reviewed by the Memphis City Council.
- VII. A final plat shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.
- VIII. Any final plan shall include the following:
 - A. The outline plan conditions.
 - B. A standard subdivision contract as defined by the Unified Development Code for any needed public improvements.
 - C. The exact location and dimensions including lots, buildable areas, parking areas,

and drives.

- D. The location and ownership, whether public or private of any easement.
- E. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
- F. The 100-year flood elevation.

- G. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City Engineer's Office. Such maintenance shall include, but not be limited to: removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

CONCEPT PLAN



LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, June 10, 2021**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: PD 21-13

DEVELOPMENT: Vasquez Clean Up, LLC. Planned Development

LOCATION: 3969 and 3975 Geraldus Avenue

COUNCIL DISTRICT(S): District 4 and Super District 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Guadalupe Vazquez

REPRESENTATIVE: Varonica Cooper and Brandi Price – Cooper Law Firm

REQUEST: Commercial cleaning business planned development

EXISTING ZONING: Residential Single-Family – 6 (R-6)

AREA: +/-0.877 acres

The following spoke in support of the application: None

The following spoke in opposition the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval with conditions.

The motion passed by a unanimous vote of 8-0 on the consent agenda.

Respectfully,



Lucas Skinner
Municipal Planner
Land Use and Development Services
Division of Planning and Development

Cc: Committee Members
File

**PD 21-13
CONDITIONS**

Outline Plan Conditions

- I. Uses Permitted:
 - A. Any use permitted by right or by administrative site plan review in the Office General (OG) District, including a commercial cleaning business.

- II. Bulk Regulations:
 - A. Bulk regulations shall be in conformance with those established for the Office General (OG) District.
 - B. Building Height – 40 feet.

- III. Access, Parking, and Circulation:
 - A. The City Engineer shall approve the design, number and location of curb cuts.
 - B. The existing residential curb cut on Geraldus shall be removed and replaced with a standard 40-foot-long curb cut that matches the existing gate opening.
 - C. Any curb cuts not being used along Geraldus shall be removed and replaced with curb, gutter, and sidewalk.
 - D. Any curb cuts not being used along Willowview shall be removed and replaced with curb and gutter.

- IV. Signs
 - A. Signs shall be in conformance with regulations established for the Office General (OG) District.

- V. Landscaping
 - A. Required landscaping shall not be placed over sewer or drain easements.
 - B. A Class III, Type B landscape buffer shall be placed along the southern and eastern boundaries of the site.

- VI. The Land Use Control Board may modify the bulk, access, parking, landscaping and sign

requirements if equivalent alternatives are presented; provided, however, any adjacent property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator, to have such action reviewed by the Memphis City Council.

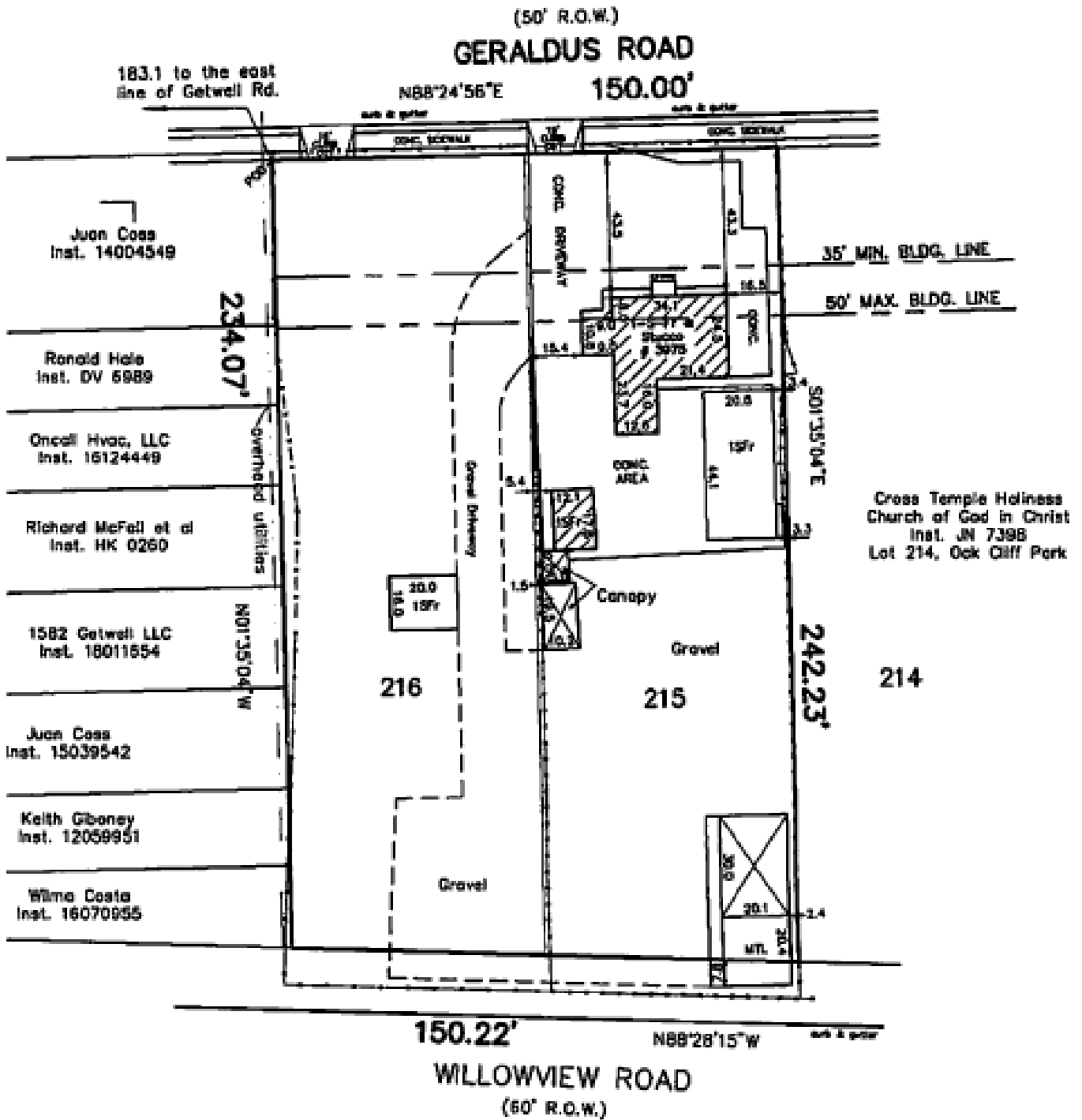
VII. A final plat shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.

VIII. Any final plan shall include the following:

- A. The outline plan conditions.
- B. A standard subdivision contract as defined by the Unified Development Code for any needed public improvements.
- C. The exact location and dimensions including lots, buildable areas, parking areas, and drives.
- D. The location and ownership, whether public or private of any easement.
- E. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
- F. The 100-year flood elevation.

G. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City Engineer's Office. Such maintenance shall include, but not be limited to: removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

CONCEPT PLAN



AGENDA ITEM: 11

CASE NUMBER: PD 21-013 **L.U.C.B. MEETING:** June 10, 2021
DEVELOPMENT: Geraldus Planned Development
LOCATION: 3969 and 3975 Geraldus Road
COUNCIL DISTRICT: District 4 and Super District 9 – Positions 1, 2, and 3
OWNER/APPLICANT: Guadalupe Vazquez
REPRESENTATIVE: Varonica Cooper – Cooper Law Firm, PLLC
REQUEST: Commercial planned development for a cleaning business
AREA: +/-0.877 acres
EXISTING ZONING: Residential Single-Family – 6 (R-6)

CONCLUSIONS

1. The applicant is requesting a new planned development for a commercial cleaning business.
2. The subject properties have other commercial and nonresidential uses nearby, and therefore this business will provide a light commercial buffer from the neighborhood to other businesses along Getwell Road.
3. The proposed addition of a landscaping buffer and improved curb cuts, curb and gutter, and sidewalk will provide a more pleasing look for the neighborhood.
4. The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.
5. The location and arrangement of the structures, parking areas, walks, lighting and other service facilities are compatible with the surrounding land uses.

CONSISTENCY WITH MEMPHIS 3.0

This proposal is consistent with the Memphis 3.0 General Plan per the land use decision criteria. See further analysis on pages 15-18 of this report.

RECOMMENDATION

Approval with conditions

GENERAL INFORMATION

Street Frontage:	Geraldus Road	+/-150 linear feet
	Willowview Avenue	+/-150 linear feet
Zoning Atlas Page:	2240	
Parcel ID:	058155 00002 & 058155 00003	
Existing Zoning:	Residential Single-Family – 6 (R-6)	

NEIGHBORHOOD MEETING

The meeting was held at 6:00 PM on Tuesday, May 25, 2021, telephonically over Zoom.

PUBLIC NOTICE

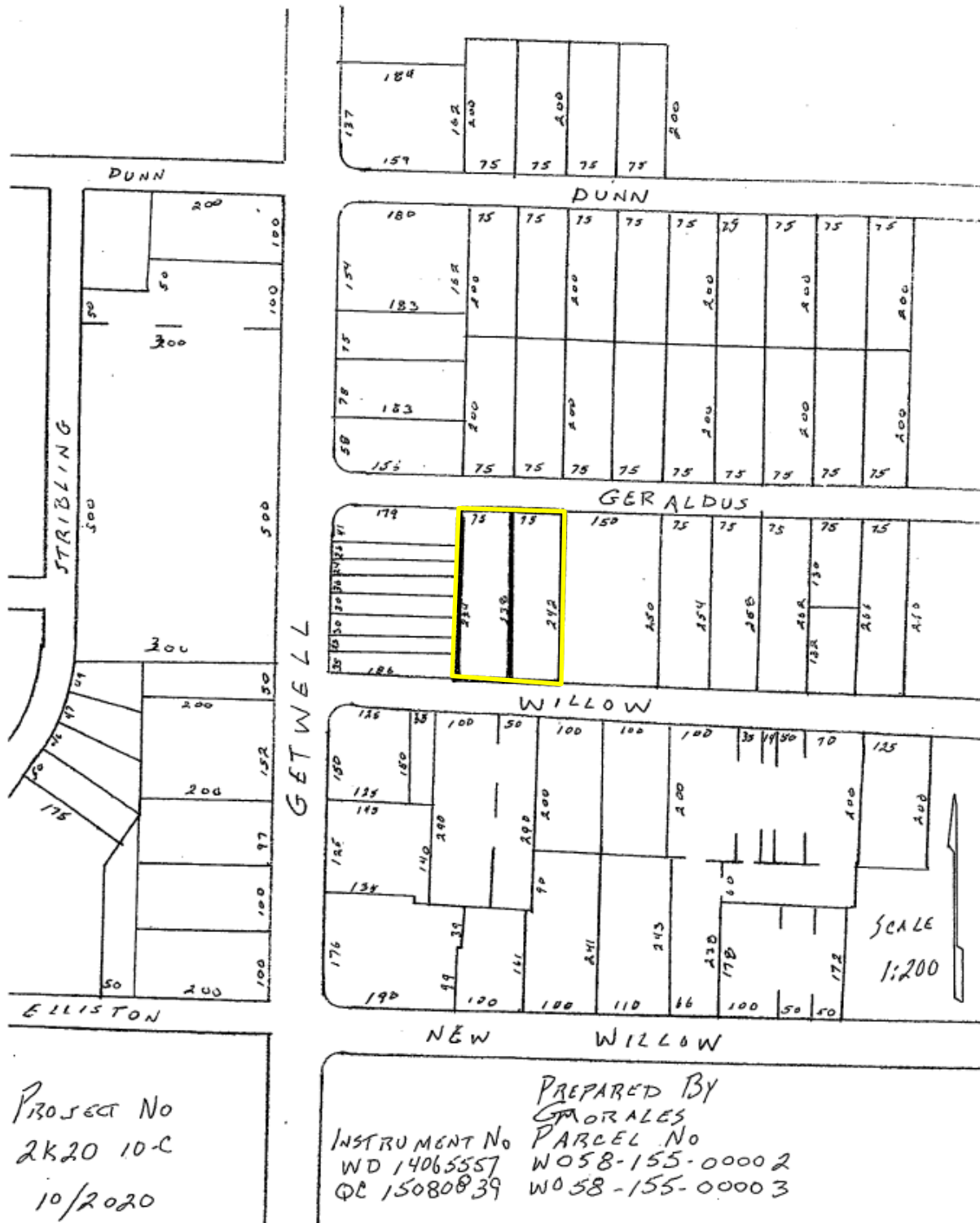
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 72 notices were mailed on May 27, 2021, and a total of 2 signs posted at the subject property. The sign affidavit has been added to this report.

LOCATION MAP



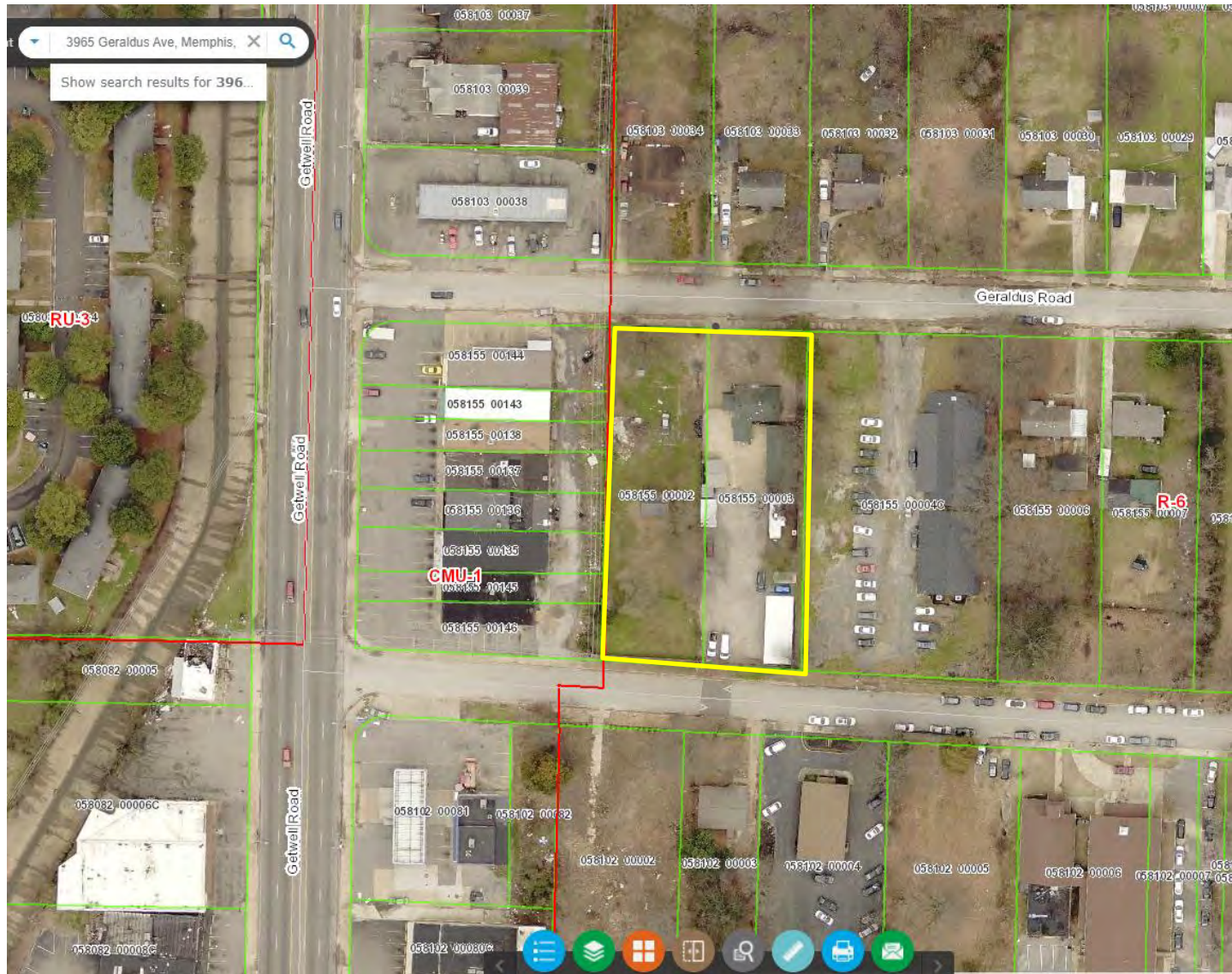
Subject property located within the pink circle, Willow Oaks neighborhood

VICINITY MAP



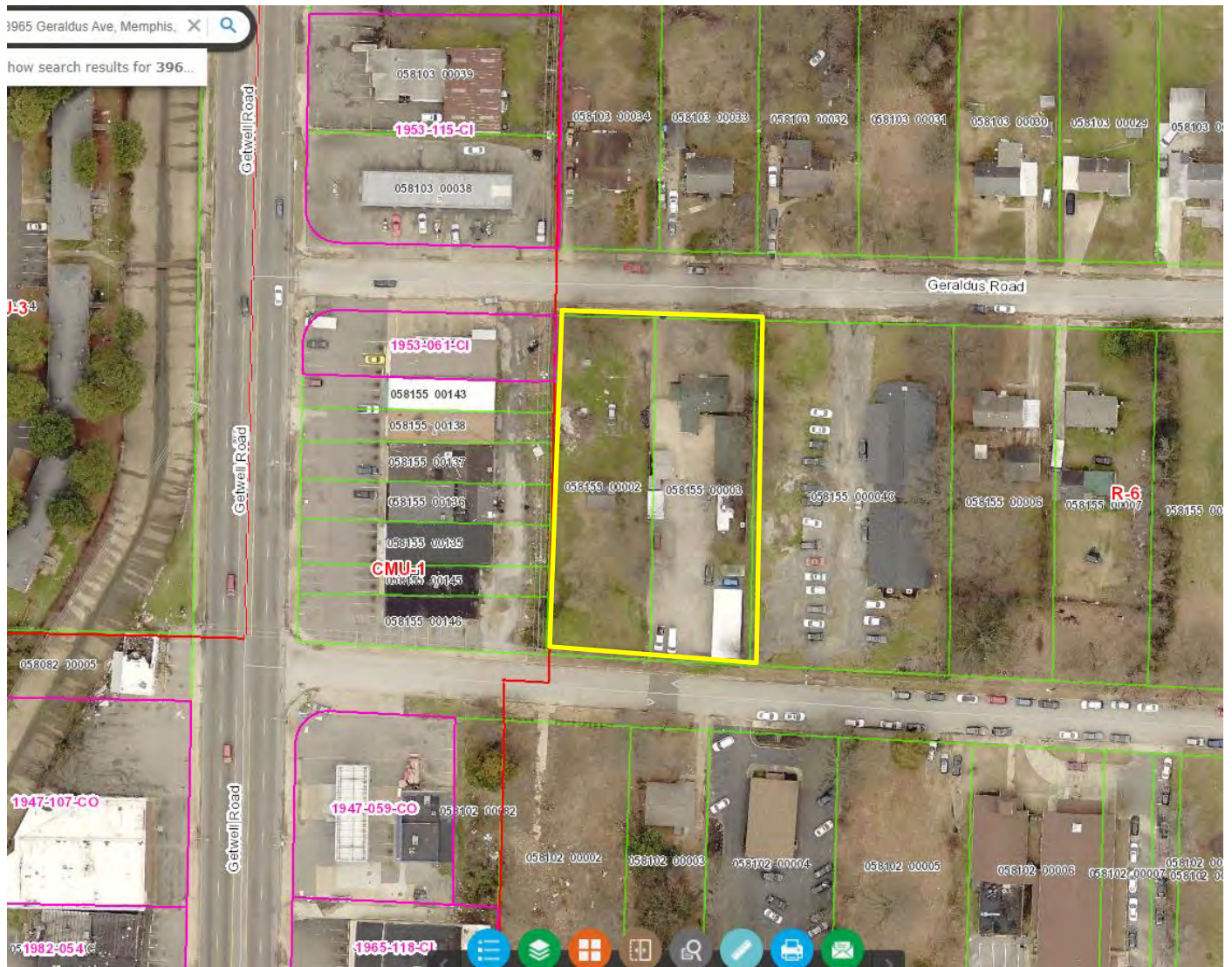
Subject property highlighted in yellow

AERIAL



Subject property outlined in yellow

ZONING MAP



Subject property highlighted in yellow

Existing Zoning: Residential Single-Family – 6 (R-6)

Surrounding Zoning

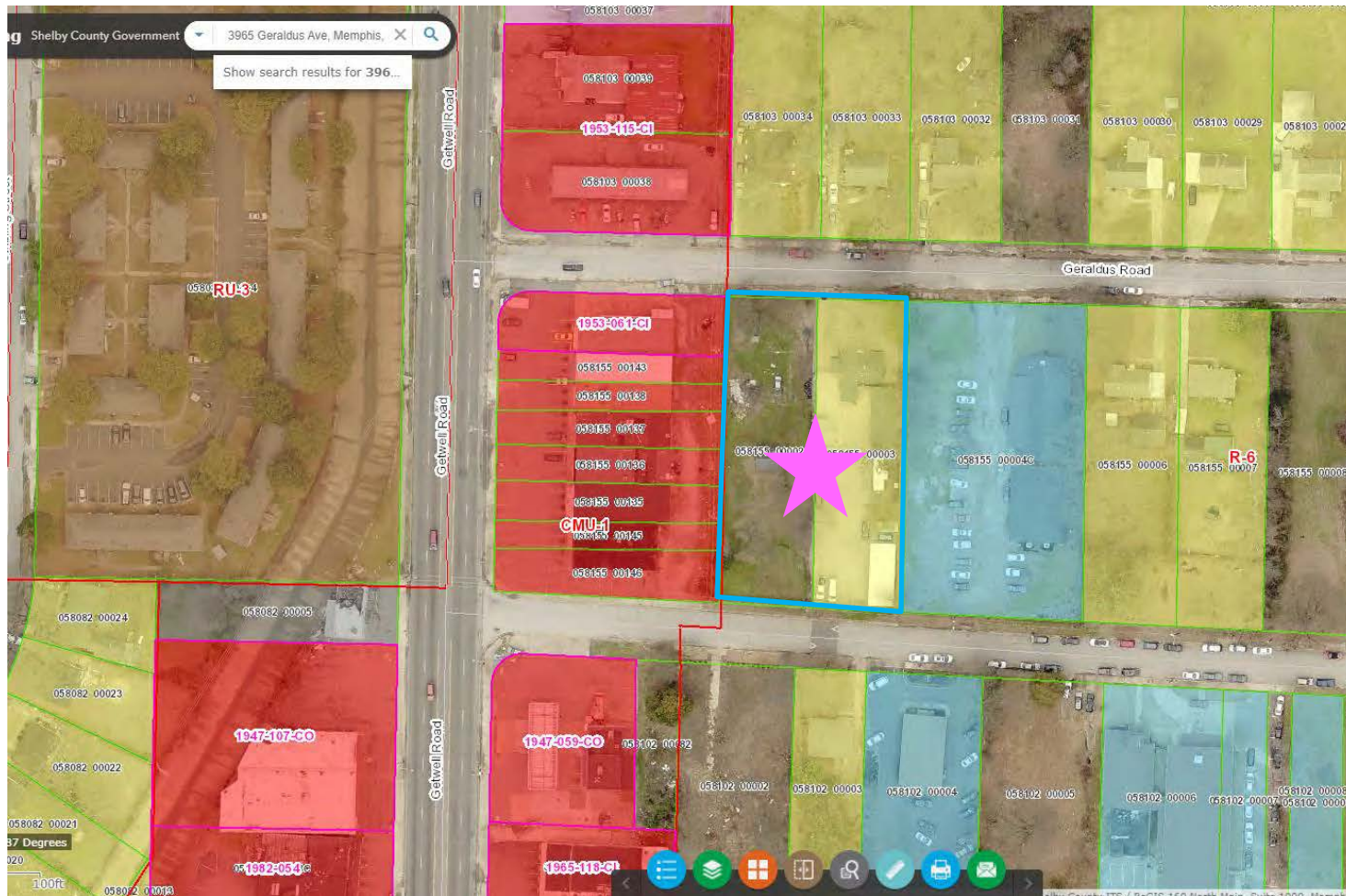
North: R-6

East: R-6

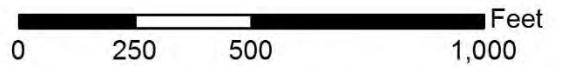
South: R-6










West: CMU-1

LAND USE MAP



LandUse



 SINGLE-FAMILY	 OFFICE
 MULTI-FAMILY	 INDUSTRIAL
 INSTITUTIONAL	 PARKING
 COMMERCIAL	 VACANT
 RECREATIONAL / OPEN SPACE	



Subject property outlined in electric blue indicated by a pink star

SITE PHOTOS



View of the subject property from Geraldus Avenue looking southeast

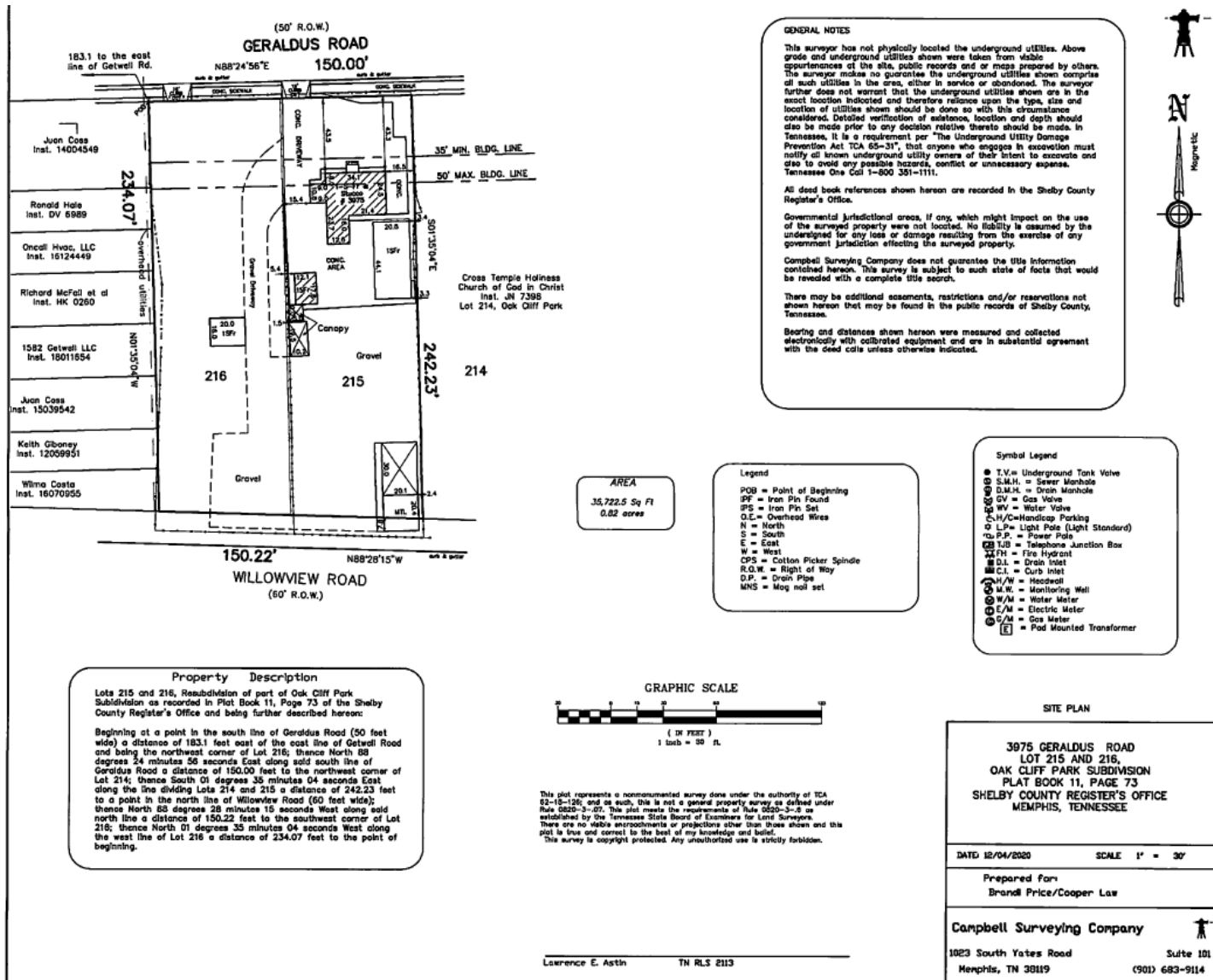


View of the subject property from Geraldus Avenue looking southwest

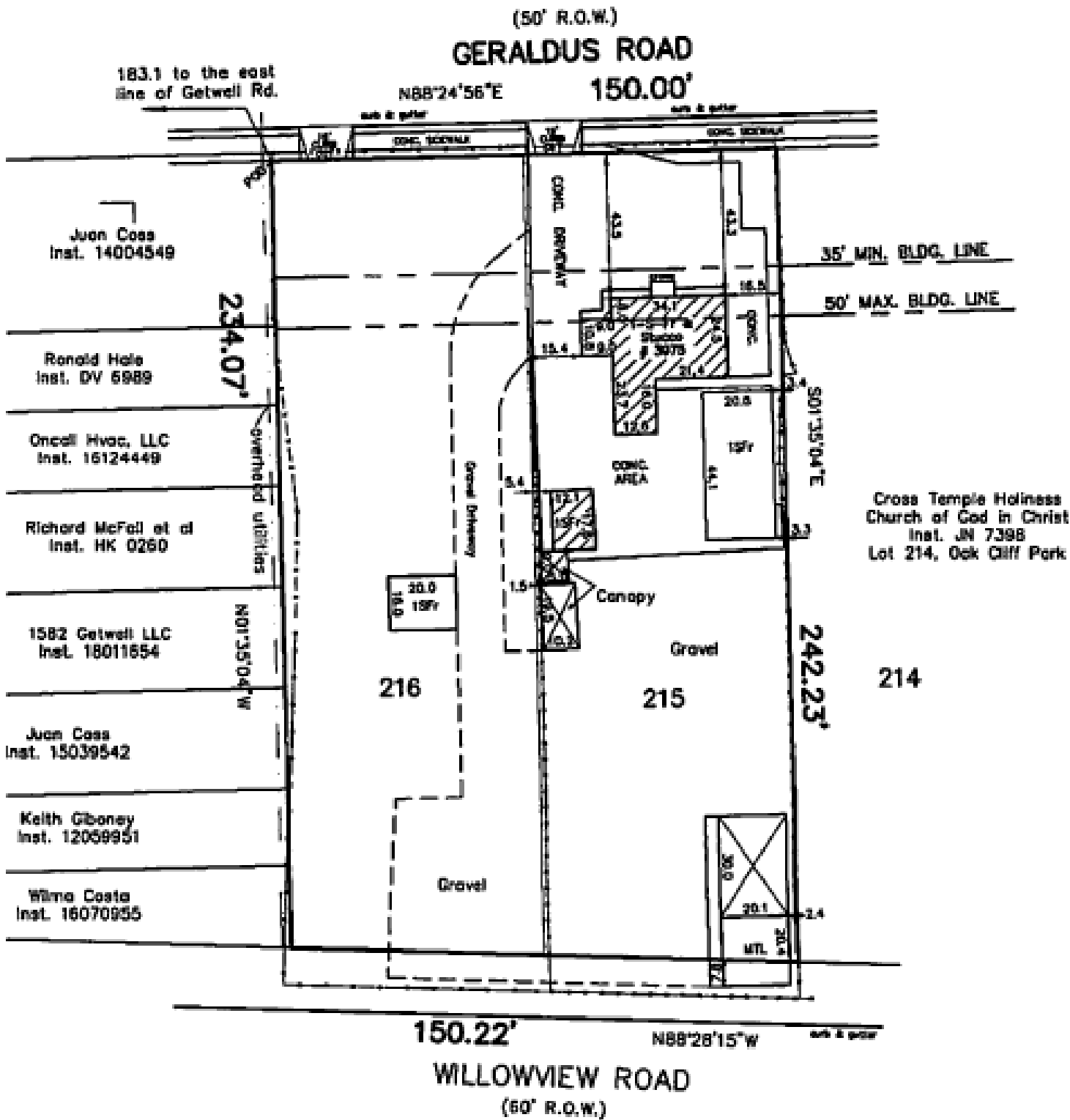


View of the rear of the subject property from Willowview Avenue looking northeast

OUTLINE PLAN



OUTLINE PLAN (ZOOMED FOR CLARITY)



STAFF ANALYSIS

Request

The application, planned development general provisions, and letter of intent have been added to this report.

The request is for a commercial planned development, specifically for a commercial cleaning business located in a residential zoning district.

Applicability

Staff agrees the applicability standards and criteria as set out in Section 4.10.2 of the Unified Development Code are or will be met.

4.10.2 Applicability

The governing bodies may, upon proper application, grant a special use permit for a planned development (see Chapter 9.6) for a tract of any size within the City or for tracts of at least three acres in unincorporated Shelby County to facilitate the use of flexible techniques of land development and site design, by providing relief from district requirements designed for conventional developments, and may establish standards and procedures for planned developments in order to obtain one or more of the following objectives:

- A. Environmental design in the development of land that is of a higher quality than is possible under the regulations otherwise applicable to the property.*
- B. Diversification in the uses permitted and variation in the relationship of uses, structures, open space and height of structures in developments intended as cohesive, unified projects.*
- C. Functional and beneficial uses of open space areas.*
- D. Preservation of natural features of a development site.*
- E. Creation of a safe and desirable living environment for residential areas characterized by a unified building and site development program.*
- F. Rational and economic development in relation to public services.*
- G. Efficient and effective traffic circulation, both within and adjacent to the development site, that supports or enhances the approved transportation network.*
- H. Creation of a variety of housing compatible with surrounding neighborhoods to provide a greater choice of types of environment and living units.*
- I. Revitalization of established commercial centers of integrated design to order to encourage the rehabilitation of such centers in order to meet current market preferences.*
- J. Provision in attractive and appropriate locations for business and manufacturing uses in well-designed buildings and provision of opportunities for employment closer to residence with a reduction in travel time from home to work.*
- K. Consistency with the Memphis 3.0 General Plan.*

General Provisions

Staff agrees the general provisions standards and criteria as set out in Section 4.10.3 of the Unified Development Code are or will be met.

4.10.3 General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations of the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in this Chapter.

- A. The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.*
- B. An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.*
- C. The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses, and any part of the proposed development not used for structures, parking and loading areas or access way shall be landscaped or otherwise improved except where natural features are such as to justify preservation.*
- D. Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.*
- E. Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.*
- F. Lots of record are created with the recording of a planned development final plan.*

Commercial or Industrial Criteria

Staff agrees the additional planned commercial or industrial development criteria as set out in Section 4.10.5 of the Unified Development Code are or will be met.

4.10.5 Planned Commercial or Industrial Developments

Approval of a planned commercial or industrial development may be issued by the governing bodies for buildings or premises to be used for the retail sale of merchandise and services, parking areas, office buildings, hotels and motels and similar facilities ordinarily accepted as commercial center uses and those industrial uses which can be reasonably be expected to function in a compatible manner with the other permitted uses in the area. In addition to the applicable standards and criteria set forth in Section 4.10.3, planned commercial or industrial developments shall comply with the following standards:

- A. Screening*

When commercial or industrial structures or uses in a planned commercial or industrial development abut a residential district or permitted residential buildings in the same development, screening may be required by the governing bodies.
- B. Display of Merchandise*

All business, manufacturing and processing shall be conducted, and all merchandise and materials shall be displayed and stored, within a completely enclosed building or within an open area which is completely screened from the view of adjacent properties and public rights-of-way, provided, however, that when an automobile service station

or gasoline sales are permitted in a planned commercial development, gasoline may be sold from pumps outside of a structure.

C. Accessibility

The site shall be accessible from the proposed street network in the vicinity which will be adequate to carry the anticipated traffic of the proposed development. The streets and driveways on the site of the proposed development shall be adequate to serve the enterprises located in the proposed development.

D. Landscaping

Landscaping shall be required to provide screening of objectionable views of uses and the reduction of noise. High-rise buildings shall be located within the development in such a way as to minimize any adverse impact on adjoining low-rise buildings.

Approval Criteria

Staff agrees the approval criteria as set out in Section 9.6.9 of the Unified Development Code are being met.

9.6.9 Approval Criteria

No special use permit or planned development shall be approved unless the following findings are made concerning the application:

- A. The project will not have a substantial or undue adverse effect upon adjacent property, the character of the neighborhood, traffic conditions, parking, utility facilities and other matters affecting the public health, safety, and general welfare.*
- B. The project will be constructed, arranged and operated so as to be compatible with the immediate vicinity and not interfere with the development and use of adjacent property in accordance with the applicable district regulations.*
- C. The project will be served adequately by essential public facilities and services such as streets, parking, drainage, refuse disposal, fire protection and emergency services, water and sewers; or that the applicant will provide adequately for such services.*
- D. The project will not result in the destruction, loss or damage of any feature determined by the governing bodies to be of significant natural, scenic or historic importance.*
- E. The project complies with all additional standards imposed on it by any particular provisions authorizing such use.*
- F. The request will not adversely affect any plans to be considered (see Chapter 1.9), or violate the character of existing standards for development of the adjacent properties.*
- G. The governing bodies may impose conditions to minimize adverse effects on the neighborhood or on public facilities, and to insure compatibility of the proposed development with surrounding properties, uses, and the purpose and intent of this development code.*
- H. Any decision to deny a special use permit request to place, construct, or modify personal wireless service facilities shall be in writing and supported by substantial evidence contained in a written record, per the Telecommunications Act of 1996, 47 USC 332(c)(7)(B)(iii). The review body may not take into account any environmental or health concerns.*

Site Description

The subject property is comprised of two adjacent parcels located at 3969 and 3975 Geraldus Avenue. Combined, the parcels are +/-0.877 acres in size. The site has an existing structure, which is to be used as the office for the business. Along with residential homes to the north and south, the house has commercial structures to the west, which front Getwell Road, and then a church to the east.

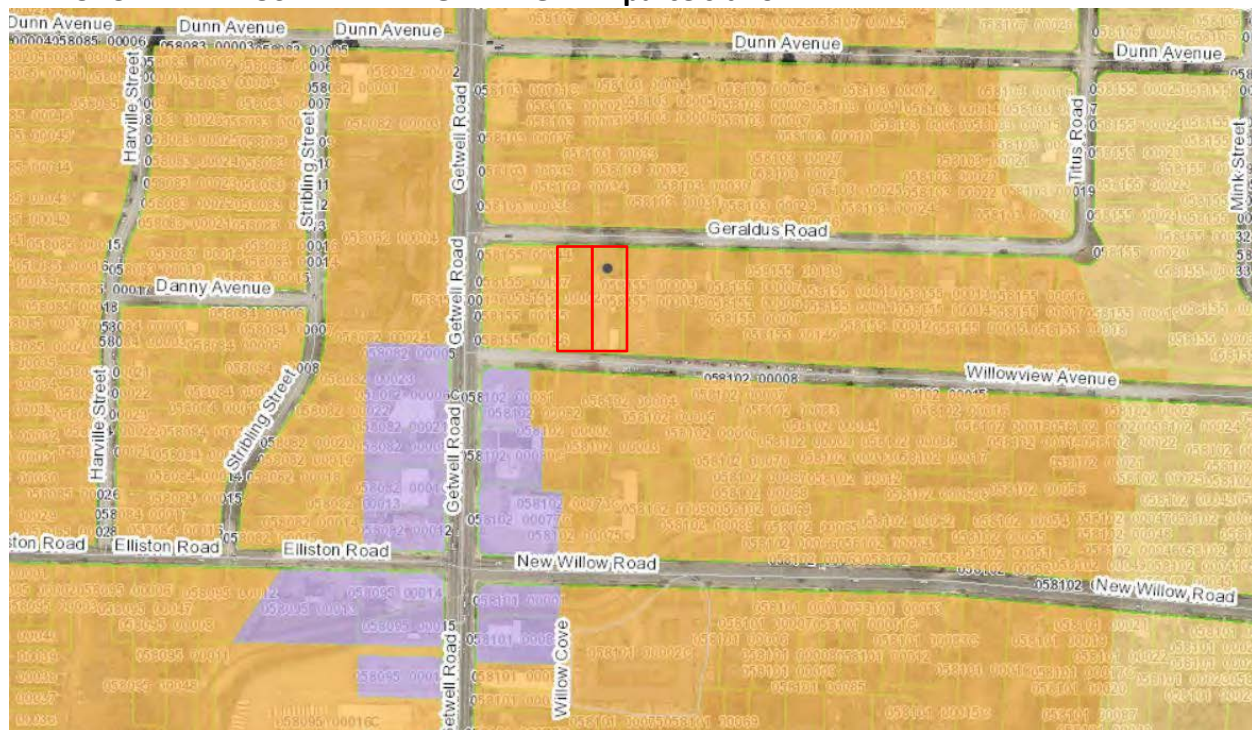
Consistency with Memphis 3.0

Site Address/location: Willow Oaks 3969 Geraldus Ave. & 3975 Geraldus Ave.
Land Use Designation: Anchor Neighborhood - Mix of Building Types

Based on the future land use, the existing adjacent land uses, and zoning districts the proposal IS CONSISTENT with the Memphis 3.0 Comprehensive Plan.

The following information about the land use designation can be found on pages 76 – 122:

1. FUTURE LAND USE PLANNING MAP GET in parcels two



Red polygon indicates the application sites on the Future Land Use Map.

2. Land use description & applicability:

Mix of Building Types Anchor Neighborhoods are a combination of one to three-story house-scale buildings with building scale large home and apartments of up to four stories close to anchors and along corridors. In these neighborhoods is a mix of attached, semi-detached, and detached residential, all located within a 10-minute walk from the anchor destination. Any mixed-use is along corridors, allowing shopping destinations to connect between mixed-use and residential neighborhoods.



“AN-M” Goals/Objectives:

Preservation, stabilization, and/or intensification of neighborhoods, focusing investment toward areas that support plan goals and objectives, locating housing near services, jobs, transit, building up not out.

“AN-M” Form & Location Characteristics:

NURTURE: Primarily detached, single-family residences. Attached single-family, duplexes, triplexes and quadplexes permitted on parcels within 100 feet of an anchor and at intersections where the presence of such housing type currently exists; Other housing and commercial types along avenues, boulevards and parkways as identified in the Street Types Map where same types exist on two or more adjacent parcels. Height: 1-3 stories. Scale: house-scale.

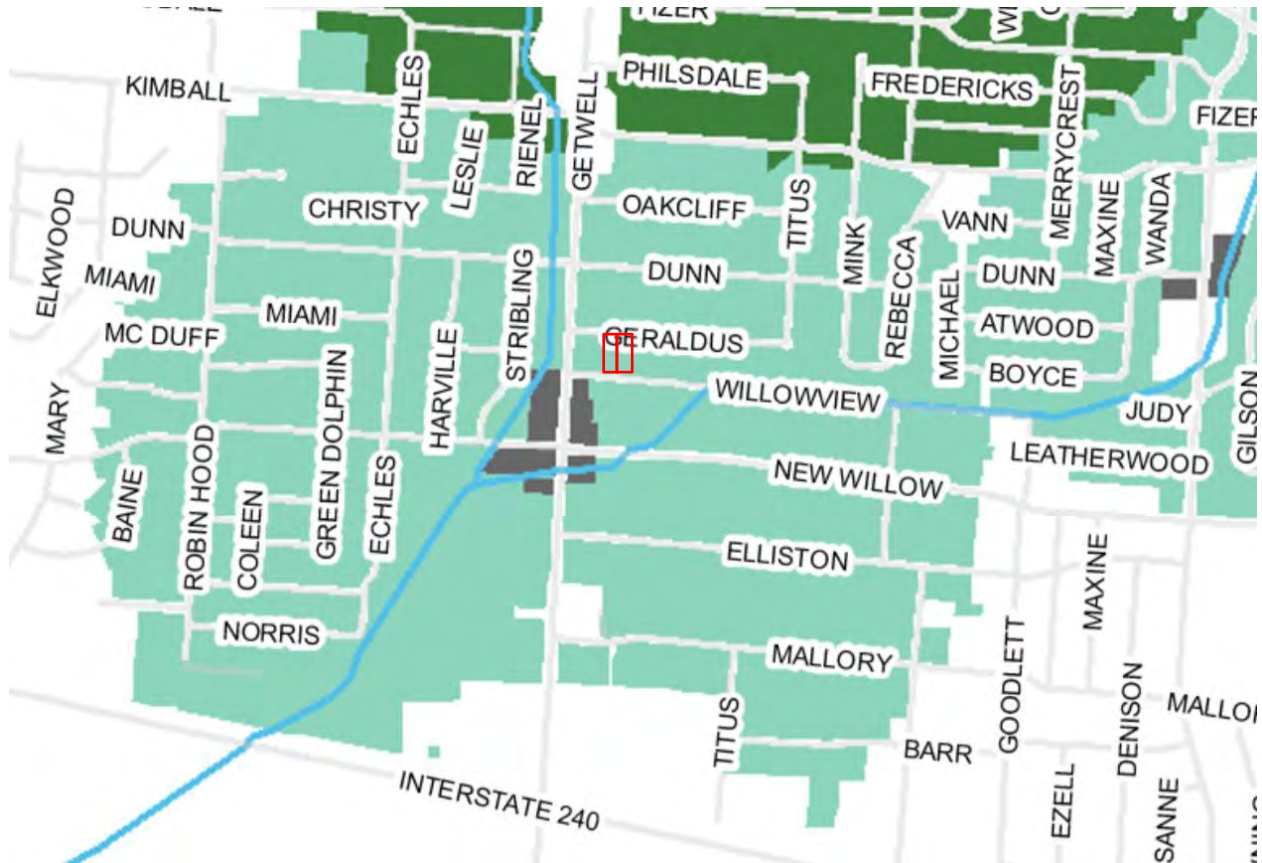
The applicant is requesting and approval for a planned development that consists of turning two existing lots into a commercial cleaning business.

The request meets the criteria as residential uses are permitted in AN-M.

Existing, Adjacent Land Use and Zoning

The subject sites are surrounded by the following land use: Single-family, Commercial and Institutional. The subject site is surrounded by the following zoning districts: Residential (RU-3), Commercial Mixed use (CMU-1) and CMU-2. *The proposal is consistent as the application is compatible with surrounding zoning districts.*

3. Degree of Change map



Red polygon denotes the proposed site in Degree of Change area.

4. Degree of Change Descriptions

The degree of change is to Nurture meaning:

Nurture areas rely primarily on public and philanthropic resources to stabilize the existing pattern of a place.

Actions for Nurture anchors and anchor neighborhoods are meant to:

- Stabilize the community
- Protect and support community assets
- Protect and stabilize existing affordable housing
- Promote activities that will stimulate market activity

Ways to Nurture:

- "Road diets" — reduce the number of lanes to make room for wider sidewalks, bike lanes, and/or on-street parking
- Improve pedestrian realm (sidewalks, crosswalks, planting buffer and street trees, street lights, street furniture)
- Repurpose vacant land as temporary civic space
- Grants for small business frontage improvement

- Reduce number of curb cuts to improve pedestrian and cyclist safety (access management)
- Enhance connectivity to transit network
- Introduce or improve bike lanes and sidewalks
- Improve public access points (covered bus stops, benches)
- Improve public services (trash cleanup and collection)
- Control scale and frequency of signage
- Plan community programs on streets or vacant lots (markets, festivals)
- Upgrade infrastructure to improve flood control and internet access
- Improve existing parks and civic buildings and spaces
- Allow increased density and building height
- Allow a broader mix of uses

Based on the information provided, the proposal IS CONSISTENT with the Memphis 3.0 Comprehensive Plan.

Summary Compiled by: Andrea Jimenez, Comprehensive Planning.

Conclusions

The applicant is requesting a new planned development for a commercial cleaning business.

The site is already being used for a nonresidential use per the Google Street View.

The subject properties have other commercial and nonresidential uses nearby, and therefore this business will provide a light commercial buffer from the neighborhood to other businesses along Getwell Road.

The proposed addition of a landscaping buffer and improved curb cuts, curb and gutter, and sidewalk will provide a more pleasing look for the neighborhood.

The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

The location and arrangement of the structures, parking areas, walks, lighting and other service facilities are compatible with the surrounding land uses.

RECOMMENDATION

Staff recommends approval with outline plan conditions.

Outline Plan Conditions

**Vasquez Clean Up, LLC. Planned
Development**

Outline Plan Conditions

- I. Uses Permitted:
 - A. Any use permitted by right or by administrative site plan review in the Office General (OG) District, including a commercial cleaning business.
- II. Bulk Regulations:
 - A. Bulk regulations shall be in conformance with those established for the Office General (OG) District.
 - B. Building Height – 40 feet.
- III. Access, Parking, and Circulation:
 - A. The City Engineer shall approve the design, number and location of curb cuts.
 - B. The existing residential curb cut on Geraldus shall be removed and replaced with a standard 40-foot-long curb cut that matches the existing gate opening.
 - C. Any curb cuts not being used along Geraldus shall be removed and replaced with curb, gutter, and sidewalk.
 - D. Any curb cuts not being used along Willowview shall be removed and replaced with curb and gutter.
- IV. Signs
 - A. Signs shall be in conformance with regulations established for the Office General (OG) District.
- V. Landscaping
 - A. Required landscaping shall not be placed over sewer or drain easements.
 - B. A Class III, Type B landscape buffer shall be placed along the southern and eastern boundaries of the site.
- VI. The Land Use Control Board may modify the bulk, access, parking, landscaping and sign requirements if equivalent alternatives are presented; provided, however, any adjacent

property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator, to have such action reviewed by the Memphis City Council.

VII. A final plat shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.

VIII. Any final plan shall include the following:

- A. The outline plan conditions.
- B. A standard subdivision contract as defined by the Unified Development Code for any needed public improvements.
- C. The exact location and dimensions including lots, buildable areas, parking areas, and drives.
- D. The location and ownership, whether public or private of any easement.
- E. A statement conveying all common facilities and areas to a property owner's association or other entity, for ownership and maintenance purposes.
- F. The 100-year flood elevation.

G. The following note shall be placed on the final plat of any development requiring on-site storm water detention facilities: The areas denoted by "Reserved for Storm Water Detention" shall not be used as a building site or filled without first obtaining written permission from the City Engineer. The storm water detention systems located in these areas, except for those parts located in a public drainage easement, shall be owned and maintained by the property owner and/or property owners' association. Such maintenance shall be performed so as to ensure that the system operates in accordance with the approved plan on file in the City Engineer's Office. Such maintenance shall include, but not be limited to: removal of sedimentation, fallen objects, debris and trash, mowing, outlet cleaning, and repair of drainage structures.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer:

CASE: PD-21-013 NAME: Vasquez Clean Up, LLC PD

1. Standard Subdivision Contract or Street Cut Permit as required in Section 5.5.5 of the Unified Development Code.

Sewers:

2. The availability of City sanitary sewer is unknown at this time. Once the developer has submitted proposed sewer discharge rates to the City's Sewer Design Dept, a determination can be made as to available sewer capacity.

Roads:

3. The Developer shall be responsible for the repair and/or replacement of all existing curb and gutter along the frontage of this site as necessary.

4. All existing sidewalks and curb openings along the frontage of this site shall be inspected for ADA compliance. The developer shall be responsible for any reconstruction or repair necessary to meet City standards.

Traffic Control Provisions:

5. The developer shall provide a traffic control plan to the city engineer that shows the phasing for each street frontage during demolition and construction of curb gutter and sidewalk. Upon completion of sidewalk and curb and gutter improvements, a minimum 5 foot wide pedestrian pathway shall be provided throughout the remainder of the project. In the event that the existing right of way width does not allow for a 5 foot clear pedestrian path, an exception may be considered.

6. Any closure of the right of way shall be time limited to the active demolition and construction of sidewalks and curb and gutter. Continuous unwarranted closure of the right of way shall not be allowed for the duration of the project. The developer shall provide on the traffic control plan, the time needed per phase to complete that portion of the work. Time limits will begin on the day of closure and will be monitored by the Engineering construction inspectors on the job.

7. The developer's engineer shall submit a Trip Generation Report that documents the proposed land use, scope and anticipated traffic demand associated with the proposed development. A detailed Traffic Impact Study will be required when the accepted Trip Generation Report indicates that the number for projected trips meets or exceeds the criteria listed in Section 210-Traffic Impact Policy for Land Development of the City of

Memphis Division of Engineering Design and Policy Review Manual. Any required Traffic Impact Study will need to be formally approved by the City of Memphis, Traffic Engineering Department.

Curb Cuts/Access:

8. The City Engineer shall approve the design, number and location of curb cuts.
9. Any existing nonconforming curb cuts shall be modified to meet current City Standards or closed with curb, gutter and sidewalk.
10. The existing residential curb cut on Geraldus shall be removed and replaced with a standard 40-foot-long curb cut that matches the existing gate opening.
11. The existing curb lay-down on Willowview Rd. shall be removed and replace with curb, gutter and sidewalk.

Drainage:

12. This development is located within a sensitive drainage basing (Black Bayou). A grading and drainage plan for the site shall be submitted to the City Engineer for review and approval prior to recording of the final plat.

Site Plan Notes:

13. Adequate queuing spaces in accordance with the current ordinance shall be provided between the street right-of-way line and any proposed gate/guardhouse/card reader.
14. Adequate maneuvering room shall be provided between the right-of-way and the gate/guardhouse/card reader for vehicles to exit by forward motion.

City/County Fire Division:

Address or Site Reference: 3969 Geraldus

- All design and construction shall comply with the 2015 edition of the International Fire Code (as locally amended) and referenced standards.
- Fire apparatus access shall comply with section 503. Where security gates are installed that affect required fire apparatus access roads, they shall comply with section 503.6 (as amended).
- Fire protection water supplies (including fire hydrants) shall comply with section 507.

- Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternate methods of protection are provided.
- A detailed plans review will be conducted by the Memphis Fire Prevention Bureau upon receipt of complete construction documents. Plans shall be submitted to the Shelby County Office of Code Enforcement.

City Real Estate: No comments received.

City/County Health Department:
Water Quality Branch & Septic Tank Program:

- No comments.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water:
MLGW has reviewed the referenced application, and has no objection, subject to the following conditions:

Land and Mapping-Address Assignment:

Office of Sustainability and Resilience:

- No comments at this time.

APPLICATION



Memphis and Shelby County
Office of Planning and Development
CITY HALL 125 NORTH MAIN STREET-SUITE 468 MEMPHIS, TENNESSEE 38103-2084 (901) 576-6601

**APPLICATION FOR PLANNED DEVELOPMENT APPROVAL
(OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

Date: _____ Case #: _____

PLEASE TYPE OR PRINT

Name of Development: Vasquez Clean Up, LLC

Property Owner of Record: Guadalupe Vazquez Phone #: 901-491-2006

Mailing Address: 3975 Geraldus Ave. City/State: Memphis Zip 38111

Property Owner E-Mail Address: None

Applicant: Guadalupe Vazquez Phone # 901-491-2006

Mailing Address: 3975 Geraldus Ave. City/State: Memphis Zip 38111

Applicant E- Mail Address: None

Representative: Varonica Cooper, Cooper Law Firm, PLLC Phone #: 901-310-9060

Mailing Address: 5744 Rayben Cir. City/State: Memphis Zip 38115

Representative E-Mail Address: varonica@clfsite.com

Engineer/Surveyor: Charles Campbell Phone # 901-683-9114

Mailing Address: 1023 S. Yates Rd City/State: Memphis, TN Zip 38119

Engineer/Surveyor E-Mail Address: charles@campbellsurveying.net

Street Address Location: 1023 S. Yates Rd. Memphis, TN 38119

Distance to nearest intersecting street: The distance to the nearest intersecting street to 3969 Geraldus Ave is 256 feet.
The distance to the nearest intersecting street to 3975 Geraldus Ave is 335 feet.

	Parcel 1	Parcel 2	Parcel 3
Area in Acres:	<u>.4369</u>	<u>.4399</u>	<u></u>
Existing Zoning:	<u>R</u>	<u>R</u>	<u></u>
Existing Use of Property	<u></u>	<u></u>	<u></u>
Requested Use of Property	<u>OG</u>	<u>OG</u>	<u></u>

Medical Overlay District: Per Section 8.2.2D of the UDC, no Planned Developments are permitted in the Medical Overlay District.

Unincorporated Areas: For residential projects in unincorporated Shelby County, please provide the following information:

Number of Residential Units: N/A Bedrooms: N/A

Expected Appraised Value per Unit: N/A or Total Project: N/A

Amendment(s): Is the applicant applying for an amendment to an existing Planned Development?
Yes _____ No _____

The following modifications to existing planned developments are considered amendments: 1) a change to the permitted uses in a planned development, except in situations where a use of a higher classification is proposed to be changed to a use of a lower classification; 2) a modification to conditions that phases the uses, and 3) a conversion of public streets. See Section 9.6.11E(1) of the UDC for further details.

4.10.3 Planned Development General Provisions

The governing bodies may grant a special use permit for a planned development which modifies the applicable district regulations and other regulations of this development code upon written findings and recommendations to the Land Use Control Board and the Planning Director which shall be forwarded pursuant to provisions contained in section 4.10.3:

Please address each sub-section below (Provide additional information on a separate sheet of paper if needed).

- The proposed development will not unduly injure or damage the use, value and enjoyment of surrounding property nor unduly hinder or prevent the development of surrounding property in accordance with the current development policies and plans of the City and County.

- An approved water supply, community waste water treatment and disposal, and storm water drainage facilities that are adequate to serve the proposed development have been or will be provided concurrent with the development.

- The location and arrangement of the structures, parking areas, walks, lighting and other service facilities shall be compatible with the surrounding land uses... (see UDC sub-section 4.10.3C)

- Any modification of the district standards that would otherwise be applicable to the site are warranted by the design of the outline plan and the amenities incorporated therein, and are not inconsistent with the public interest.

- Homeowners' associations or some other responsible party shall be required to maintain any and all common open space and/or common elements.
The development, Vasquez Clean Up, LLC. shall be responsible for maintaining any and all common open spaces and elements. There is no known Homeowners' Associations or
- Lots of records are created with the recording of a planned development final plan.
There are two lots. No new lots are being created by this application.

REQUIREMENTS PRIOR TO APPLICATION SUBMISSION

PRE-APPLICATION CONFERENCE – Not more than six (6) months nor less than five (5) working days prior to filing an application, the applicant shall arrange for a mandatory pre-application conference with OPD.

Pre-Application Conference held on: 08/24/2020 with Bradley Thomas

NEIGHBORHOOD MEETING – At least ten (10) days, but not more than 120 days, prior to a hearing before the Land Use Control Board, the applicant shall provide an opportunity to discuss the proposal with representatives from neighborhoods adjacent to the development site (Section 9.3.2).

Neighborhood Meeting Requirement Met: Yes or Not Yet (Circle one)
(If yes, documentation must be included with application materials)

SIGN POSTING – A sign or signs shall be erected on-site no more than 30 days or less than 10 days prior to the date of the Land Use Control Board hearing. See Sub-Section 9.3.4C of the UDC for further details on sign posting.

I (we) hereby make application for the Planned Development described above and on the accompanying materials. I (we) accept responsibility for any errors or omissions which may result in the postponement of the application being reviewed by the Memphis & Shelby County Land Use Control Board at the next available hearing date. I (We), owner(s) of the above described property hereby authorize the filing of this application and the above named persons to act on my behalf.

[Signature] _____ Date [Signature] 2-2-21 Date
Property Owner of Record Applicant

**GUIDE FOR SUBMITTING
PLANNED DEVELOPMENT APPLICATION
(OUTLINE PLAN APPROVAL/OUTLINE PLAN AMENDMENT)**

- A. **THE APPLICATION** - Two (2) collated sets of this application in accordance with the requirements of the Unified Development Code and as outlined below shall be submitted to OPD. The following information is required to be submitted for consideration as a complete application, and except for copies of the Outline and/or Site/Concept Plan, shall be provided on sheets of 8.5"x11" in size. The application with original signatures shall be completed either with legible print or typewritten. Each application set shall be compiled in the following order:
 - 1) This application, 8.5"x11" Outline and/or Site/Concept Plan, Legal Description, Vicinity Map, 2-3 sets of gummed-backed Mailing Labels, 2 sets of paper copied Mailing Labels, Letter of Intent, 20"x24" Outline and/or Site/Concept Plan (folded), copy of Deed(s).
 - 2) A compact disc with all submittal documents in "PDF" and any proposed conditions in "WORD".
- B. **LETTER OF INTENT** - The letter shall include the following:
 - a) A brief narrative statement generally describing the nature, location and extent of the development and the market it is intended to serve.
 - b) A list of any professional consultants associated with the proposed development.
 - c) A written statement generally describing the relationship of the proposed development to the current policies and plans of the City and County. The statement shall include how the proposed

LETTER OF INTENT



5744 Rayben Circle
Memphis, Tennessee 38115
901-310-9060

February 19, 2021

Memphis and Shelby County
Office of Planning and Development
125 N. Main Street
Memphis, Tennessee 38103

Re: LETTER OF INTENT for Application for Planned Development

To Whom It May Concern:

The following is the letter of intent accompanying Guadalupe Vazquez's Application for Planned Development on the two below referenced properties. In support of that application, he presents the following:

A. Properties described and included in this Planned Development Application.

There are two properties described and included in this Planned Development Application. The physical address of those two properties are as follows:

- a) 3969 Geraldus Ave. Memphis, TN 38111; and
- b) 3975 Geraldus Ave. Memphis, TN 38111

B. The nature, location, extent of the development, and the market it is intended to serve.

The development is a commercial cleaning business. The business currently serves commercial clients on the clients' premises. The primary clients are professional offices and warehouses. The business is currently without a physical location. This service of professional cleaning is even more important for businesses open during this current Covid-19 Pandemic and further serves to help limit the spread of the virus.

C. A list of any professional consultants associated with the proposed development.

1 - Greg Morales

Phone Number: 901-821-6531
Email: grmorales@firstam.com
Consultation Area: Vicinity Mat and Mailing Label preparation

2 - Charles Campbell

Licensing: TN RLS #1827 MS PLS#02688
Company Name: Campbell Surveying Company
Address: 1023 S. Yates Road
Memphis, TN 38119
Phone Number: 901.683.9114
Consultation Area: Outline Plan and Site/Concept Plan preparation

D. The relationship of the proposed development to the current policies and plans of the City and County, and how the proposed development is to be designed, arranged and operated in order to limit impact to neighboring properties.

The proposed development is for a commercial cleaning business. This is related to the current policies and plans of the City and County in two ways. (1) The objective to keep the city and county a healthy and safe environment for citizens and requiring business to meet health code standards set forth in city and county ordinances and codes. (2) Even more important to health and safety of the citizens, this helps further the City and County policies to combat the spread of the Coronavirus.

There is no new construction planned. The currently existing building would be repurposed to a one-story office structure. There would also be a small parking lot of approximately ten (10) parking spaces, with at least one light. The existing structure and a paved parking lot would be directly next to other businesses located on the corner of Geraldus Avenue and Getwell Road, and beside an active community church. The church next door and also on Geraldus Avenue. To limit impact, the operations at the structure would be approximately two employees during the day. To further limit impact, other employees would come for short periods of time once a week to collect paychecks. And client meetings will take place at the client's place of business.

The operation would be on a corner and directly next to other businesses and a community Church. There would be limited employees daily, and no client visits. The office would negligibly add traffic or noise pollution to the neighboring properties. The impact, again, would be limited, as it is the end of the street. It would be no more impactful than a structure being used as a residence.

E. Applicant's planning objectives, and approaches to be followed in achieving those objectives.

There are no immediate plans for building any new structures at this time. If that became a consideration in the future, the Applicant would consult with appropriate licensed contractor(s) and get all appropriate permits prior to beginning any work. He would also file those building plans with the Office of Planned Development as required.

Respectfully submitted on behalf of Applicant.

Cooper Law Firm, PLLC



Varonica R. Cooper, Esq.

SIGN AFFIDAVIT



5744 Rayben Circle
Memphis, Tennessee 38115
901-310-9060

Shelby County

I, Dunia Marodiago, being duly sworn, depose and say that at 2:30 pm on the 30th day of April, 2021, I posted two (2) Public Notice Signs pertaining to **Case No. PD 21-013**: One (1) along Geraldus Avenue, and one (1) along Willow View Avenue, providing notice of a Public Hearing before the Land Use Control Board, for consideration of a proposed Planned Development Action, a photograph of said signs being attached hereon and a copy of the sign purchase receipt attached hereto.

Dunia marodiago _____ 04/30/2021

Owner, Applicant or Representative *Date*

SWORN TO AND SUBSCRIBED before me this 30 day of April, 2021

Reyna Mena

Notary Public



My Commission Expires:

5/17/23





LETTERS RECEIVED

No letters received at the time of completion of this report.



**MEMPHIS AND
SHELBY COUNTY** **DIVISION OF PLANNING
AND DEVELOPMENT**

City Hall – 125 N. Main Street, Suite 468 – Memphis, Tennessee 38103 – (901) 636-6619

June 10, 2021

Brandi Price
Cooper Law Firm

Sent via electronic mail to: brandi@clfsite.com

Case Number: PD 21-013

LUCB Recommendation: Approval with outline plan conditions

Dear applicant,

On Thursday, June 10, 2021, the Memphis and Shelby County Land Use Control Board recommended **approval** of your planned development application for the Vasquez Clean Up, LLC. Planned Development, subject to the attached outline plan conditions.

This application will be forwarded, for final action, to the Council of the City of Memphis. The Council will review your application in a committee meeting prior to voting on it in a public hearing. The applicant or the applicant's representative(s) shall be in attendance at all meetings and hearings.

It is the applicant's responsibility to contact the City Council Records Office to determine when the application is scheduled to be heard at committee and in public session. The City Council Records Office may be reached at (901) 636-6792.

If for some reason you choose to withdraw your application, a letter should be mailed to the Land Use and Development Services Department of the Division of Planning and Development at the address provided above or emailed to the address provided below.

If you have questions regarding this matter, please feel free to contact me at (901) 636-6619 or via email at lucas.skinner@memphistn.gov.

Respectfully,



Lucas Skinner

Staff Report
PD 21-013

June 10, 2021
Page 2

Municipal Planner
Land Use and Development Services
Division of Planning and Development

Cc: Varonica Cooper – Cooper Law Firm

Outline Plan Conditions

- I. Uses Permitted:
 - A. Any use permitted by right or by administrative site plan review in the Office General (OG) District, including a commercial cleaning business.

- II. Bulk Regulations:
 - A. Bulk regulations shall be in conformance with those established for the Office General (OG) District.
 - B. Building Height – 40 feet.

- III. Access, Parking, and Circulation:
 - A. The City Engineer shall approve the design, number and location of curb cuts.
 - B. The existing residential curb cut on Geraldus shall be removed and replaced with a standard 40-foot-long curb cut that matches the existing gate opening.
 - C. Any curb cuts not being used along Geraldus shall be removed and replaced with curb, gutter, and sidewalk.
 - D. Any curb cuts not being used along Willowview shall be removed and replaced with curb and gutter.

- IV. Signs
 - A. Signs shall be in conformance with regulations established for the Office General (OG) District.

- V. Landscaping
 - A. Required landscaping shall not be placed over sewer or drain easements.
 - B. A Class III, Type B landscape buffer shall be placed along the southern and eastern boundaries of the site.

- VI. The Land Use Control Board may modify the bulk, access, parking, landscaping and sign requirements if equivalent alternatives are presented; provided, however, any adjacent

property owner who is dissatisfied with the modifications of the Land Use Control Board hereunder, may within ten days of such action, file a written appeal to the Zoning Administrator, to have such action reviewed by the Memphis City Council.

VII. A final plat shall be filed within five (5) years of the date of approval of the Outline Plan by the Legislative Bodies. The Land Use Control Board may grant extensions at the request of the applicant.

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- A. The outline plan conditions.
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**CITY OF MEMPHIS
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL
ONLY STAPLED
TO DOCUMENTS**

**Planning & Development
DIVISION**

Planning & Zoning COMMITTEE: 06/15/2021

DATE

PUBLIC SESSION: 06/15/2021

DATE

ITEM (CHECK ONE)

ORDINANCE _____ CONDEMNATIONS _____ GRANT ACCEPTANCE / AMENDMENT
 _____ RESOLUTION _____ GRANT APPLICATION REQUEST FOR PUBLIC HEARING
 _____ OTHER: _____

ITEM DESCRIPTION: An ordinance approving a new historic overlay district

CASE NUMBER: VEHD

DEVELOPMENT: Vollintine Evergreen Historic Overlay District

LOCATION: Area roughly bound by Cypress Creek to the north, University & Springdale Streets to the east, North Parkway & Jackson Avenue to the South, and North Watkins Street to the west

COUNCIL DISTRICTS: Districts 5 & 7 and Super Districts 8 & 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Andy Kitsinger and Suzy Askew

REPRESENTATIVES: Andy Kitsinger and Suzy Askew

EXISTING ZONING: Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

REQUEST: Historic (H) Overlay District

AREA: +/- 880 acres

RECOMMENDATION: The Division of Planning and Development recommended *Approval*
 The Memphis Landmarks Commission recommended *Approval*
 The Land Use Control Board recommended *Approval*

RECOMMENDED COUNCIL ACTION: **Public Hearing Required**
 Set a date for first reading – **June 15, 2021**
 Adopt on third Reading – **July 6, 2021**

PRIOR ACTION ON ITEM:

(1) _____ APPROVAL - (1) APPROVED (2) DENIED
 05/13/2021 _____ DATE
 (1) Land Use Control Board _____ ORGANIZATION - (1) BOARD / COMMISSION
 (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

FUNDING:

(2) _____ REQUIRES CITY EXPENDITURE - (1) YES (2) NO
 \$ _____ AMOUNT OF EXPENDITURE
 \$ _____ REVENUE TO BE RECEIVED

SOURCE AND AMOUNT OF FUNDS

\$ _____ OPERATING BUDGET
 \$ _____ CIP PROJECT # _____
 \$ _____ FEDERAL/STATE/OTHER

ADMINISTRATIVE APPROVAL:

<u>DATE</u>	<u>POSITION</u>
_____	MUNICIPAL PLANNER
_____	DEPUTY ADMINISTRATOR
_____	ADMINISTRATOR
_____	DIRECTOR (JOINT APPROVAL)
_____	COMPROLLER
_____	FINANCE DIRECTOR
_____	CITY ATTORNEY
_____	CHIEF ADMINISTRATIVE OFFICER
_____	COMMITTEE CHAIRMAN



Memphis City Council Summary Sheet

VEHD – Vollintine Evergreen Historic Overlay District

Zoning Ordinance approving establishment of a historic overlay district for the subject area roughly bound by Cypress Creek to the north, University & Springdale Streets to the east, North Parkway & Jackson Avenue to the South, and North Watkins Street to the west:

- This item is an ordinance for establishment of a Historic (H) Overlay District at the aforementioned location; and
- The Division of Planning & Development at the request of the Applicant(s) and Representative(s): Andy Kitsinger and Suzy Askew; and
- Approval of this establishment of historic overlay district will be reflected on the Memphis and Shelby Counting Zoning Atlas; and
- No contracts are affected by this item; and
- No expenditure of funds/budget amendments are required by this item.

ORDINANCE NO: _____

ZONING ORDINANCE AMENDING ORDINANCE NO. 5367 OF THE CODE OF ORDINANCES, CITY OF MEMPHIS, TENNESSEE, ADOPTED ON AUGUST 10, 2010, AS AMENDED, KNOWN AS THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, SO AS TO MAKE CERTAIN CHANGES IN THE USE DISTRICTS PROVIDED IN SAID ORDINANCE

WHEREAS, a proposed amendment to the Memphis and Shelby County Unified Development Code, being Ordinance No. 5367 of the Code of Ordinances, City of Memphis, Tennessee, as amended, has been submitted to the Memphis and Shelby County Land Use Control Board for its recommendation, designated as **Case Number: VEHD**; and

WHEREAS, the Memphis Landmarks Commission and the Memphis and Shelby County Land Use Control Board has filed their recommendations and the Division of Planning and Development has filed its report and recommendation with the Council of the City of Memphis; and

WHEREAS, the Council of the City of Memphis has reviewed the aforementioned amendment pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said amendment is consistent with the Memphis 3.0 General Plan; and

WHEREAS, the provisions of the Code of Ordinances, City of Memphis, Tennessee, as amended, relating to the proposed amendment, have been complied with.

NOW THEREFORE, BE IT ORDAINED, BY THE COUNCIL OF THE CITY OF MEMPHIS:

SECTION 1:

THAT, the Memphis and Shelby County Unified Development Code, Ordinance No. 5367 of the Code of Ordinances, City of Memphis, as amended, be and the same hereby is amended with respect to Use Districts, as follows:

BY TAKING THE FOLLOWING PROPERTIES OUT OF THE RESIDENTIAL SINGLE-FAMILY – 6 (R-6), RESIDENTIAL URBAN – 1 (RU-1), , RESIDENTIAL URBAN – 3 (RU-3), RESIDENTIAL WORK (RW), AND COMMERCIAL MIXED USE – 1 (CMU-1) DISTRICTS AND INCLUDING THEM IN THE RESIDENTIAL SINGLE-FAMILY HISTORIC – 6 (R-6[H]), RESIDENTIAL URBAN HISTORIC – 1 (RU-1[H]), , RESIDENTIAL URBAN HISTORIC – 3 (RU-3[H]), RESIDENTIAL WORK HISTORIC (RW[H]), AND COMMERCIAL MIXED USE HISTORIC – 1 (CMU-1[H]) DISTRICTS.

The following properties located in the City of Memphis, Tennessee being more particularly described as follows:

BOUNDARY

PROPERTIES GENERALLY BOUND BY CYPRESS CREEK TO THE NORTH, UNIVERSITY & SPRINGDALE STREETS TO THE EAST, NORTH PARKWAY & JACKSON AVENUE TO THE SOUTH, AND NORTH WATKINS STREET TO THE WEST AND AS ILLUSTRATED ON THE BOUNDARY MAP ATTACHMENT.

SECTION 2:

THAT, the Administrator of the Land Use and Development Services department of the Division of Planning and Development be, and is hereby directed to make the necessary changes in the Official Use District Maps to conform to the changes herein made; that all official maps and records of the Memphis and Shelby County Land Use Control Board and the City of Memphis be, and they hereby are, amended and changed so as to show the aforementioned amendment of the said Zoning Ordinance.

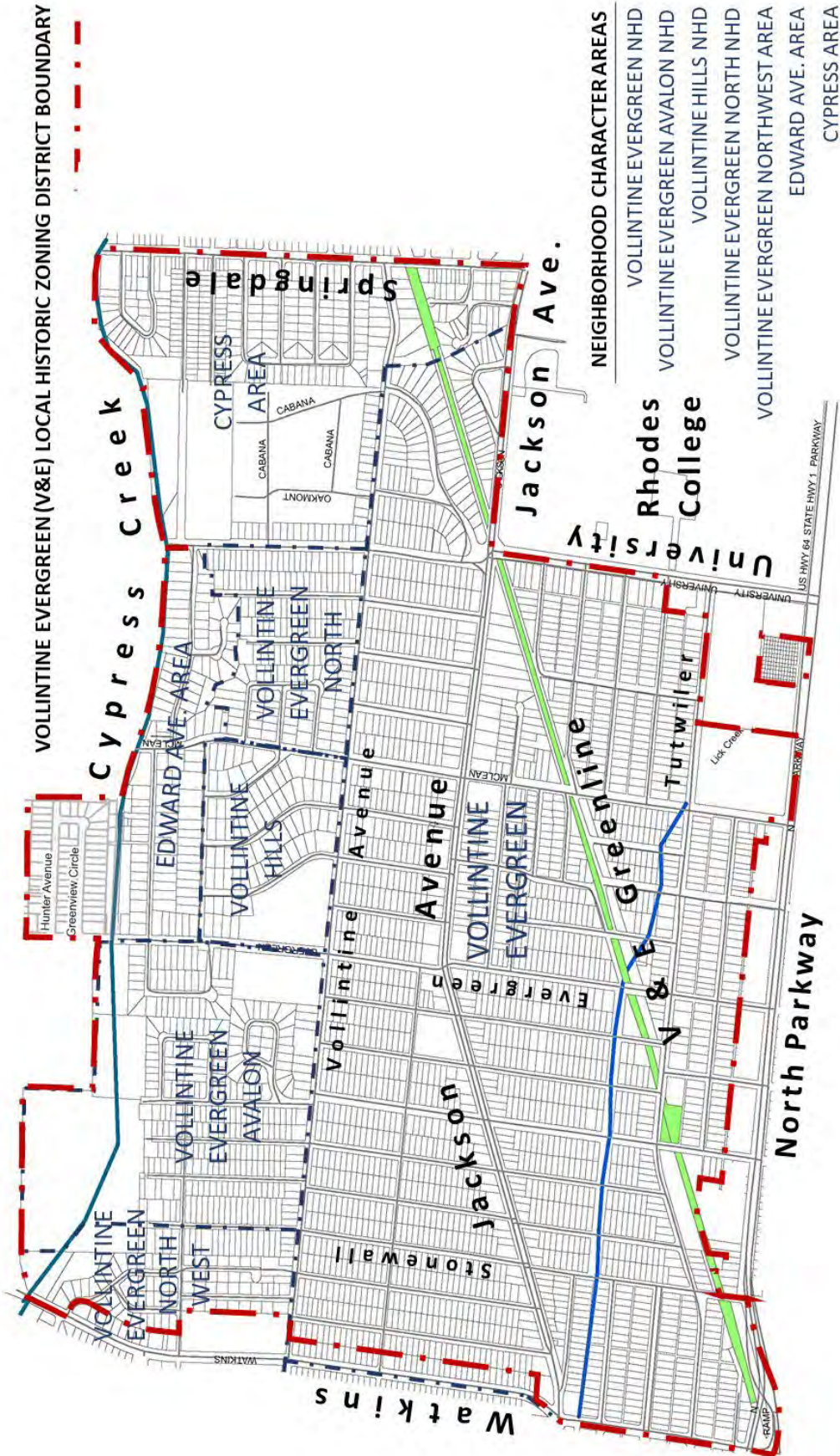
SECTION 3:

THAT this ordinance take effect from and after the date it shall have been passed by the Council, signed by the Chairman of the Council, certified and delivered to the Office of the Mayor in writing by the comptroller, and become effective as otherwise provided by law.

ATTEST:

CC: Division of Planning and Development
– Land Use and Development Services
– Office of Construction Code Enforcement
Shelby County Assessor

HISTORIC (H) OVERLAY DISTRICT BOUNDARIES



LAND USE CONTROL BOARD RECOMMENDATION

At its regular meeting on **Thursday, May 13, 2021**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

CASE NUMBER: VEHD

LOCATION: Area roughly bound by Cypress Creek to the north, University & Springdale Streets to the east, North Parkway & Jackson Avenue to the South, and North Watkins Street to the west

COUNCIL DISTRICT(S): Districts 5 & 7 and Super Districts 8 & 9 – Positions 1, 2, and 3

OWNER/APPLICANT: Andy Kitsinger and Suzy Askew

REPRESENTATIVE: Andy Kitsinger and Suzy Askew

REQUEST: Historic (H) Overlay District

EXISTING ZONING: Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

AREA: +/- 880 acres

The following spoke in support of the application: None

The following spoke in opposition of the application: None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval of the application.

The motion passed by a unanimous vote of 9-0 on the consent agenda.

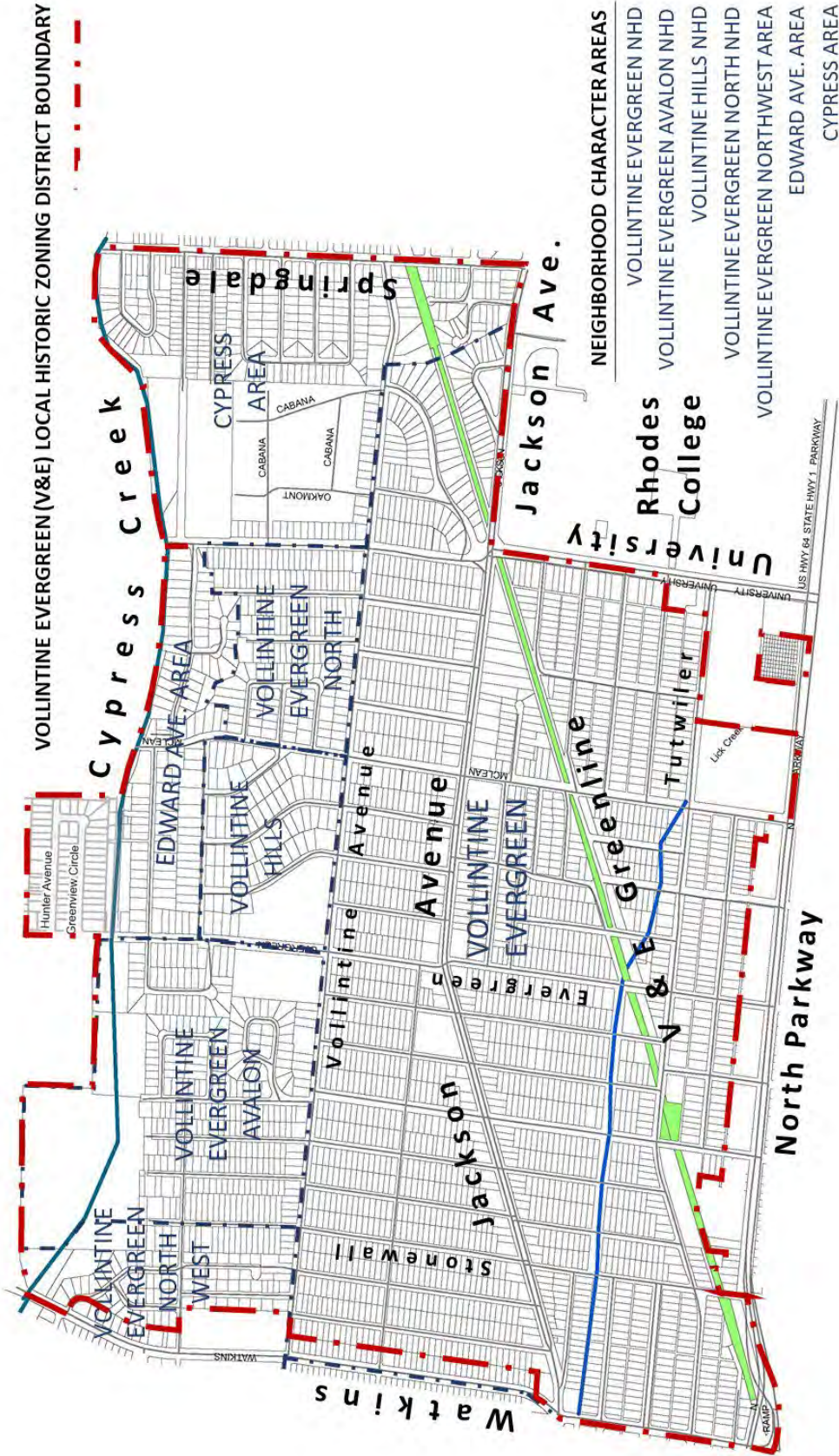
Respectfully,



Brett Ragsdale
Deputy Administrator
Land Use and Development Services
Division of Planning and Development

Cc: Committee Members
File

HISTORIC (H) OVERLAY DISTRICT BOUNDARIES



- NEIGHBORHOOD CHARACTER AREAS**
- VOLLINTINE EVERGREEN NHD
 - VOLLINTINE EVERGREEN AVALON NHD
 - VOLLINTINE HILLS NHD
 - VOLLINTINE EVERGREEN NORTH NHD
 - VOLLINTINE EVERGREEN NORTHWEST AREA
 - EDWARD AVE. AREA
 - CYPRESS AREA

AGENDA ITEM: 9

CASE NUMBER: VEHD: VECA **L.U.C.B. MEETING:** May 13, 2021

LOCATION: Proposed boundaries are roughly Cypress Creek to the north, University & Springdale Streets to the east, North Parkway & Jackson Avenue to the South, and North Watkins Street to the west

COUNCIL DISTRICT: Districts 5 & 7 and Super Districts 8 & 9

OWNER/APPLICANT: Vollintine Evergreen Community Association

REPRESENTATIVE: Andy Kitsinger and Suzy Askew

REQUEST: Designation of a new Historic (H) Overlay District

AREA: +/-880 acres

EXISTING ZONING: Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

CONCLUSIONS

1. The request is to create a historic overlay district to include several neighborhoods in the Vollintine Evergreen area. The proposed boundaries contain an area of +/-880 acres comprised of 3,351 parcels and will include multiple single-family and multi-family residential, commercial, and institutional properties. The proposed historic overlay district and the design guidelines were approved by the Memphis Landmarks Commission on January 28, 2021.
2. The design guidelines will be used by the Memphis Landmarks Commission and the Division of Planning and Development staff to review projects such as new constructions, demolitions, relocations, exterior alterations, and site improvements within the established historic district boundaries and to issue Certificates of Appropriateness with the intent to preserve properties with historical, cultural, architectural, and geographic significance and to promote historic preservation within the City of Memphis.
3. This item was remanded to the Memphis Landmarks Commission (MLC) at the March LUCB meeting to consider adding parcels per the request of residents on Greenview Circle (35 parcels). Prior to the March MLC meeting, the applicant requested a hold to consider adding the parcels on Hunter Avenue (18 parcels) per the request of its residents. Notice was sent to the owners of the additional parcels and the proposed boundary modifications were approved on consent at the April MLC meeting.
4. This application is a recommendation for approval by the Landmarks Commission to the Land Use Control Board. The Land Use Control Board will review this rezoning application and make a recommendation to the Memphis City Council. If approved by the LUCB the Memphis City Council will review the rezoning application and on the third (3rd) and final reading will hold a public hearing on whether this area is to be rezoned as a new Historic (H) Overlay District.

CONSISTENCY WITH MEMPHIS 3.0

Not Applicable: The Memphis 3.0 Plan does not make recommendations related to the creation of historic overlay districts.

RECOMMENDATION

Approval.

GENERAL INFORMATION

Zoning Atlas Page: 1930 and 1935

Existing Zoning: Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

PUBLIC NOTICE

In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 3,689 notices were mailed on February 24, 2021, and a total of 10 signs posted at the subject property. The sign affidavit has been added to this report.

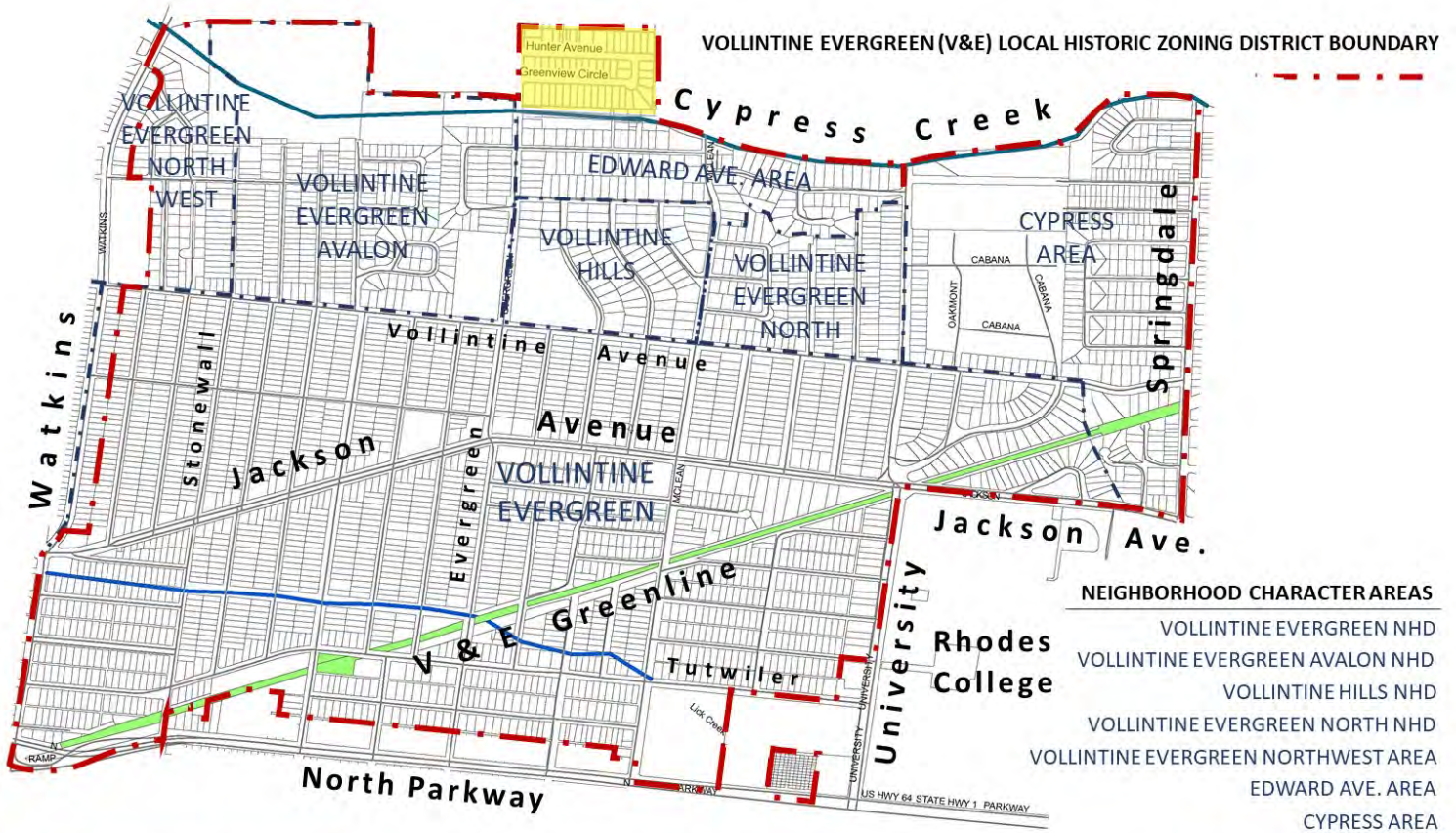
For the subsequent proposed boundary modifications, a total of 35 notices were mailed on March 11, 2021 and 18 were mailed on April 14, 2021.

LOCATION MAP



Subject area located within the pink circle.

REVISED BOUNDARIES OF THE PROPOSED HISTORIC DISTRICT



VE HISTORIC DISTRICT

**VOLLINTINE EVERGREEN HISTORIC NEIGHBORHOOD
Historic Zoning Boundary Map**

THE Development STUDIO

ZONING MAP



Approximate boundary outlined in yellow.

Existing Zoning: Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

Surrounding Zoning

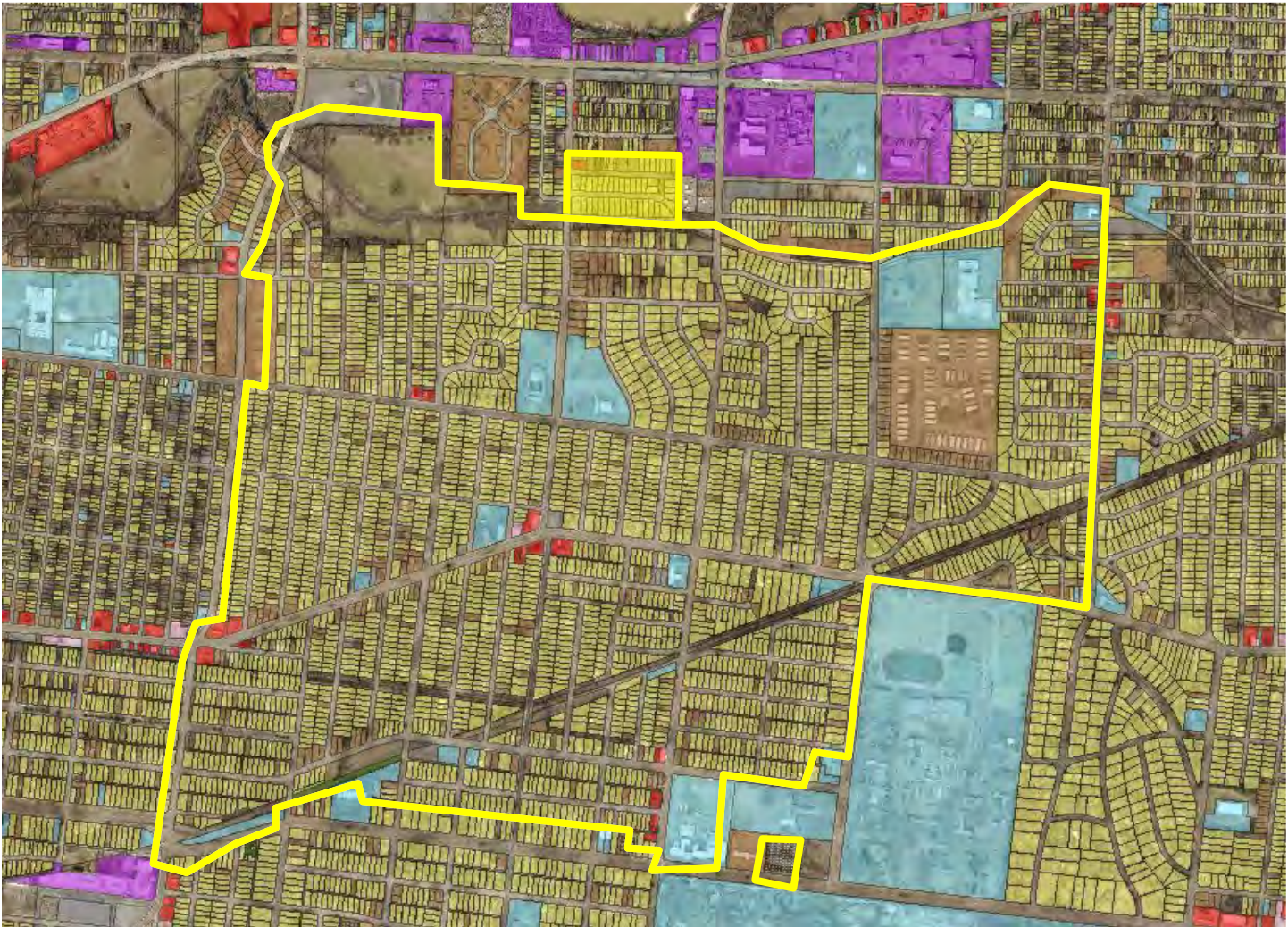
North: Residential Urban – 1 & 3 (RU-1 & RU-3), Commercial Mixed Use – 1 (CMU-1), and Employment (EMP)

East: Residential Single-Family – 10 (R-10), Residential Urban – 3 (RU-3), and Commercial Mixed Use – 1 (CMU-1)

South: Residential Single-Family – 6 (R-6), and Residential Urban – 1 (RU-1)

West: Residential Urban – 1 & 3 (RU-1 & RU-3), and Commercial Mixed Use – 1 (CMU-1)

LAND USE MAP



Approximate boundary outlined in yellow.

MAP OF EXISTING HISTORIC OVERLAY DISTRICTS



LIST OF EXISTING HISTORIC OVERLAY DISTRICTS AND NUMBER OF PARCELS

- Annesdale Park – 165
- Annesdale-Snowden – 204
- Central Gardens – 1,761
- Collins Chapel – 5
- Cooper-Young – 1,601
- Cotton Row – 108
- Evergreen – 1,722
- Gayoso-Peabody – 89
- Glenview – 983
- Lea's Woods – 261
- Maxwellton – 1
- Rozelle-Annesdale – 768
- South Main Street – 198
- Speedway Terrace – 378
- Victorian Village – 29
- Withers Home – 1
- **Total Number of Parcels – 8,274**

If approved, VEHD will be an addition to the existing sixteen (16) local historic districts within the City of Memphis and add 3,404 parcels. This will bring the total number of properties in the city that are within the historic overlay districts from eight thousand two hundred and seventy-four (8,274) to eleven thousand six hundred and twenty-five (11,678).

Note: The Crosstown neighborhood has also filed an application to become a local historic district. If approved, it would add 188 parcels and +/-81.3 acres.

SIGN AFFIDAVIT

AFFIDAVIT

*Shelby County
State of Tennessee*

I, Mary Wilcox being duly sworn, depose and say that at 10 ⁰⁰pm on the 30th day of November, 2020, I posted 10 Public Notice Sign(s) pertaining to Case No. 190-20-00000 at see attached list providing notice of a Public Hearing 6 before the X Land Use Control Board, X Memphis City Council, X Memphis Landmarks Commission for consideration of a proposed Land Use Action (PA Planned Development, SP Special Use Permit, X Zoning District Map Amendment, SA Street and/or Alley Closure), a photograph of said sign(s) being attached hereto and a copy of the sign purchase receipt or rental contract attached hereto.

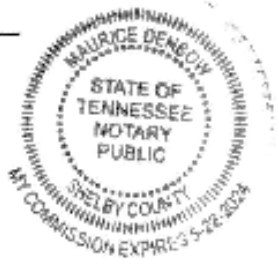
Mary Wilcox
Owner, Applicant or Representative

11-30-2020
Date

Subscribed and sworn to before me this 30 day of November, 2020.

Mary Wilcox
Notary Public

My commission expires 5-22-24



STAFF ANALYSIS

Request

Designation of a new Historic (H) Overlay District with an area of +/-880 acres which contains 3,404 parcels with Residential Single-Family – 6 (R-6), Residential Urban – 1 & 3 (RU-1 & RU-3), Residential Work (RW), and Commercial Mixed Use – 1 (CMU-1)

Review Criteria

Staff agrees the review criteria as set out in Sub-Section 9.5.7B and Sub-Section 8.6.2E of the Unified Development Code are met.

9.5.7B Review Criteria

In making recommendations, the Land Use Control Board shall consider the following matters:

- 9.5.7B(1) Consistency with any plans to be considered (see Chapter 1.9);*
- 9.5.7B(2) Compatibility with the present zoning (including any residential corridor overlay district) and conforming uses of nearby property and with the character of the neighborhood;*
- 9.5.7B(3) Suitability of the subject property for uses permitted by the current versus the proposed district;*
- 9.5.7B(4) Whether the proposed change tends to improve the balance of uses, or meets a specific demand in the City or County; and*
- 9.5.7B(5) The availability of adequate police services, fire services, school, road, park, wastewater treatment, water supply and stormwater drainage facilities for the proposed zoning.*

8.6.2E Criteria for Designation

Any use permitted in the underlying zoning district shall also be permitted in a Historic Overlay District. In addition to the zoning change criteria (see Chapter 9.5, Zoning Change), an application for a Historic Overlay District zoning change shall meet one or more of the following criteria, in that they are:

- 8.6.2E(1) Associated with events which have made a significant contribution to local, state or national history; or*
- 8.6.2E(2) Associated with persons significant in our past; or*
- 8.6.2E(3) Comprised of structures or groups of structures that embody the distinctive characteristics of a type, period, or method of construction; or that represent the work of a master or possess high artistic values; or that represent a significant and distinguishable entity whose components may lack individual distinction; or*
- 8.6.2E(4) Likely to yield archaeological information; or*
- 8.6.2E(5) Listed in the National Register of Historic Places.*

Conclusions

The historic overlay district with the design guidelines would apply within the proposed Vollintine Evergreen Historic District which will include multiple single-family and multi-family residential, commercial, and institutional properties.

If approved, VEHD will be an addition to the existing sixteen (16) local historic districts within the City of Memphis and add 3,404 parcels. This will bring the total number of properties in the city that are within the historic overlay districts from eight thousand two hundred and seventy-four (8,274) to eleven thousand six hundred and twenty-five (11,678).

Note: The Crosstown neighborhood has also filed an application to become a local historic district. If approved, it would add 188 parcels and +/-81.3 acres.

The design guidelines will be used by the Memphis Landmarks Commission and the Land Use and Development Services staff to review projects such as new constructions, demolitions, relocations, exterior alterations, and site improvements within the established historic district boundaries and to issue Certificates of Appropriateness with the intent to preserve properties with historical, cultural, architectural, and geographic significance and to promote historic preservation within the City of Memphis.

RECOMMENDATION

Staff recommends approval.

DEPARTMENTAL COMMENTS

The following comments were provided by agencies to which this application was referred:

City/County Engineer: City Engineering has no comments.

City/County Fire Division: No comments received.

City Real Estate: No comments received.

City/County Health Department: No comments received.

Shelby County Schools: No comments received.

Construction Code Enforcement: No comments received.

Memphis Light, Gas and Water: No comments received.

Office of Sustainability and Resilience: No comments received.

MEMPHIS LANDMARKS COMMISSION LETTER TO THE APPLICANT



May 6, 2021

Dear Sir/Madam,

Congratulations- on Thursday, April 29th, 2021 the Memphis Landmarks Commission approved your application to designate residential properties to be included in a Historic (H) Overlay District as illustrated on the boundary map and adopted the attached design guidelines to apply within the district.

A final draft copy shall be sent to this office for forwarding to the Memphis & Shelby County Land Use Control Board for consideration. The final draft copy shall include and list any proposed amendments to the design review guidelines for the district and/or boundary map.

If you have any objections, please be aware you have sixty (60) days to discuss alternatives with staff or if you need to make any changes to the design guidelines, please contact us by phone at (901) 636-6619. Thank you in advance for your cooperation in this matter.

Sincerely,

Brett Ragsdale
Executive Secretary

Enclosures
cc: File

LETTERS RECEIVED

Fourty-seven (47) letters of support and two (2) letters of opposition were received at the time of completion of this report and have subsequently been attached.

From: Clark Buchner [mailto:clarkbuchner3@gmail.com]

Sent: Wednesday, March 3, 2021 4:33 PM

To: Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Cc: Suzanne I Askew <siaskew@comcast.net>

Subject: Re: Again, Vollintine & Evergreen need you to email!

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

March 3, 2021,
Land Use Control Board
City of Memphis and Shelby County, Tennessee

To: Brett.Ragsdale@memphistn.gov

Ayse.Tezel@memphistn.gov

RE: Case # NHD20-002 (VEHD)

Vollintine Evergreen Neighborhood Association

Application for Historic Overlay Zoning

Dear Commissioners,

I would like to go on record as being a supporter of Historic Overlay Zoning for the Vollintine Evergreen area of our city, and request that the Land Use Control Board give deep consideration to the establishment of such zoning as I believe it will have a long term positive effect on this area, and be a real asset to our community.

While I do not live in this part of the city, I attended Rhodes College at one time and I am quite familiar with the area of concern. I believe this type zone will be a great enhancement and lend a protective shield to the many fine residences in this part of town.

Most sincerely,

Clark A. Buchner, Architect AIA

975 North Graham Street

Memphis, TN 38122

901-581-0939

clarkbuchner3@gmail.com

Ragsdale, Brett

From: Brantley Ellzey <brantleyellzey@gmail.com>
Sent: Friday, March 5, 2021 7:59 AM
To: Ragsdale, Brett; Tezel, Ayse
Subject: VECA LUCB

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Members of the Land Use Control Board,

I am writing to express my support of Vollintine Evergreen (V&E) becoming a local Landmarks district. I respectfully ask for your full support of the Vollintine Evergreen Historic District becoming a Landmarks District.

Vollintine Evergreen is fortunate to have received the honor of being listed on the National Register of Historic Places, and having a local Landmarks designation status (Historic Overlay District zoning) will safeguard our historic properties, and help preserve the character and quality of the community.

Vollintine Evergreen contains the largest collection of early 20th century residential and commercial properties of any historic district in Memphis, Tennessee. The homes, buildings, churches, and schools are worthy of celebrating & preserving. V&E is also a community known for its walkable and

pedestrian-friendly areas, its tree-lined streets, its character-rich homes, its greenspaces - trails, parks, creeks & community gardens.

Your support not only validates and recognizes V&Es outstanding historical architectural value, but also its cultural and aesthetic value.

Sincerely,

Brantley Ellzey
1666 Overton Park Avenue
Memphis, TN 38112

Ragsdale, Brett

From: Melissa Bridgman <bridgmanpottery@gmail.com>
Sent: Friday, March 5, 2021 7:18 AM
To: Tezel, Ayse; Ragsdale, Brett
Subject: Vollintine Evergreen Zoning

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning, I am writing in support of # NHD 20-002 (VEHD). I am a 17 year resident and homeowner in Vollintine Evergreen and I support the work of VECA and entreat the Land Use Control Board to agree to an historic overlay zone for Vollintine & Evergreen. Vollintine Evergreen needs Local Landmarks status and the protections that it brings. Thank you.

Sincerely,

Melissa Bridgaman

719 Dickinson St 38107

www.bridgmanpottery.com

Ragsdale, Brett

From: RAAA <hello@rozelleannesdale.org>
Sent: Friday, March 5, 2021 7:00 AM
To: Ragsdale, Brett
Subject: Support for Case #NHD20-002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

March 4, 2021

Brett Ragsdale
Department of Planning & Development
125 North Main Street
Memphis, TN 38103

Re: Support for Case #NHD20-002(VEHD)

Mr. Ragsdale,

The Rozelle Annesdale Area Association asks that the Land Use Control Board (LUCB) support the Vollintine Evergreen Neighborhood in its application for Historic Landmarks Designation.

Sincerely,

Emily Bishop

--



Ragsdale, Brett

From: Robert Gordon <bguh@bellsouth.net>
Sent: Friday, March 5, 2021 6:07 AM
To: Ragsdale, Brett
Subject: VEHD-- Support

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

March 4, 2021

Mr. Ragsdale and Members of the LUCB:

I am writing to support the Vollintine Evergreen (V&E) Neighborhood in its application for an Historic Overlay Zoning District.

The historical significance of the V&E neighborhood is evident driving through: the overwhelming temporal-uniformity of the era's architecture, and how that defines the community.

Please support the Vollintine Evergreen Neighborhood in its application for Historic Landmarks Designation.

Thank you,
Robert Gordon
Central Gardens

www.TheRobertGordon.com

Ragsdale, Brett

From: evangeline lashley <emlashley@yahoo.com>
Sent: Friday, March 5, 2021 5:08 AM
To: Ragsdale, Brett
Subject: Landmarks Designation

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Memphis Landmarks Commissioners & Staff,

As a homeowner, I would like to express my support of Vollintine Evergreen (V&E) as a local Landmarks district. I respectfully ask for your full help with application NHD 20-002 (VEHD). Vollintine Evergreen Historic District and a vote of "YES."

The honor of Vollintine Evergreen being listed on the National Register of Historic Places and receiving a local landmarks status (Historic Overlay District zoning) will ensure that our historic properties character and quality of the community is preserved.

Furthermore, our community contains the largest collection of early 20th century residential and commercial properties of any historic district in Memphis, Tennessee. Our homes, churches, schools, and commercial businesses are worthy of celebrating & preserving. Also, V&E has a community which has homes with historical architecture as well as greenspaces with community gardens, creeks, trails, and parks.

The preservation of our community and property is essential for our neighborhoods identity to remain. Additionally, the designation of our community to become a local landmark will ensure that our community remains in tack for generations to come.

Lastly, the Vollintine Evergreen neighborhood attainment of a local Landmarks designation district zoning status will support the effort to maintain our historical overlay. Your support validates and recognizes V&Es historic architecture an cultural value.

Sincerely,
Evangeline Lashley
[1012 N. Willett St](#)
[\(901\) 832-0725](#)

Ragsdale, Brett

From: Violet Stevenson <mayolaws6@gmail.com>
Sent: Thursday, March 4, 2021 11:12 PM
To: Ragsdale, Brett
Subject: Case# NHD 20-002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello my name is Violet Stevenson. I reside at 1068 North Willett Street. I am in support of the local Landmarks status. I have lived in the Volintine Evergreen community for 25 years and have seen many changes. I have worked with the Volintine Evergreen Community Association which have shown great strides to make this community stronger.

Ragsdale, Brett

From: N. Strong <mlc.nstrong@gmail.com>
Sent: Thursday, March 4, 2021 8:10 PM
To: Ragsdale, Brett; Tezel, Ayse
Subject: Support for VEHD (Historic Overlay Zoning for Vollintine Evergreen)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Land Use Control Board Commissioners & Staff,

I live in the Vollintine Evergreen neighborhood and support VECA's application requesting Local Landmarks status.

I respectfully ask for you to vote **Yes** and approve VEHD, the establishment of the Vollintine-Evergreen Historic Overlay ("Landmarks") District.

Thank you,
Natasha Strong

Ragsdale, Brett

From: Ann Bourkard <cablcsw@hotmail.com>
Sent: Thursday, March 4, 2021 4:10 PM
To: Ragsdale, Brett
Subject: Support Of Landmarks. Vollintine Evergreen Historic

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Ann Bourkard 2099 Hallwood Dr. I bought my house in October,1973. I strongly support Landmarks status for this lovely diverse neighborhood.

Ragsdale, Brett

From: Campbell_Kerri <campbellk@rhodes.edu>
Sent: Thursday, March 4, 2021 2:37 PM
To: Ragsdale, Brett; Tezel, Ayse
Subject: Letter of Support: Case #NHD20-002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Greetings Brett and Ayse,

Please find attached, Rhodes College's letter to the Land Use Control Board in support of Vollintine Evergreen (V&E) seeking Local Landmarks Designation, Case #NHD20-002 (VEHD).

Since the College is not within the proposed district, we have also included the district map and geographic boundaries supported, for reference. Feel free to reach out to me directly regarding any updates or follow-up.

Respectfully,
Kerri Campbell
Director of Community Relations
Rhodes College
901.843.3846

?

Ragsdale, Brett

From: RENATE ROSENTHAL <renaterosenthal@comcast.net>
Sent: Thursday, March 4, 2021 2:36 PM
To: Ragsdale, Brett; Tezel, Ayse
Subject: In support of VECA Landmarks Status

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Der Mr. Ragsdale and Ms. Tezel,

Permit me to voice my strongest possible support for Landmarks status of the Vollintine-Evergreen neighborhood.

I have been a VECA resident for 45 years. Now that the neighborhood is becoming "fashionable," home-flippers are "improving" houses with absolutely no regard for their historic uniqueness, thereby ruining them irreversibly. This has forever diminished the value of many lovely homes in VECA. We need Landmarks protection.

Thank you for your time and attention.

Sincerely,

Renate Rosenthal, Ph.D.

2107 Hallwood Drive

Ragsdale, Brett

From: jennifer sargent <jennifer.s.sargent@gmail.com>
Sent: Thursday, March 4, 2021 12:06 PM
To: Ragsdale, Brett
Subject: re: NHD 20-2002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My husband and I live in V&E and support Local Landmarks status for VEHD: Establishment of the (VECA) Vollintine-Evergreen Historic Overlay ("Landmarks") District

Sincerely
Jennifer Sargent
Alan McCoy

Ragsdale, Brett

From: Jo Kee <joevekee@icloud.com>
Sent: Thursday, March 4, 2021 11:19 AM
To: Ragsdale, Brett
Subject: VECA

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Preservation in any Midtown neighborhood is good for all of Midtown. I support the Local Landmarks designation for VECA!

Thank you,

Jo Kee

511 S Cox St

901-277-6383

Sent from my iPhone

Ragsdale, Brett

From: Patrick McCabe <plmccabe@live.com>
Sent: Thursday, March 4, 2021 11:12 AM
To: Tezel, Ayse; Ragsdale, Brett
Subject: VECA #NHD20-002(VEHD) Land Use Control Board

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Midtown Action Coalition, a group of hundreds of residents of Midtown Memphis and other parts of the city, support the historic overlay zoning requested by the Vollintine Evergreen Community Association as they go before the Land Use Control Board.

VECA needs this designation in order to preserve its community standards, as well as to proceed adding new development that enriches and compliments the neighborhood. With property values on the rise, many neighborhoods in Midtown are being assaulted by real estate investors whose only motive is to make a quick profit at the expense of the residents who call Midtown their home.

I urge the board to unanimously approve the VECA application.

Patrick L. McCabe
915 S McLean Blvd
Memphis, TN 38104

Ragsdale, Brett

From: Mary Haynes <mrhaynes47@yahoo.com>
Sent: Thursday, March 4, 2021 10:50 AM
To: Ragsdale, Brett
Subject: Case #NHD 20-002

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

To: Land use control Board

From: Mary Haynes
889 Stonewall Street
Memphis, TN 38107

I am in support of the local landmarks status for the Vollintine Evergreen Historic District (case #NHD 20-002).

Ragsdale, Brett

From: Amelia Thompson <athompson@balletmemphis.org>
Sent: Thursday, March 4, 2021 10:31 AM
To: Ragsdale, Brett; Tezel, Ayse
Subject: Support of VECA's application, NHD 20-002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Brett and Ayse,

In preparation for next week's meeting with LUCB, I am sending in a note with my continued support for VECA's application, NHD 20-002 (VEHD) for landmark designation.

The recent smoke/vape shop planned for McLean not even a block from Snowden Elementary School, and the attempt to add yet another unnecessary gas station/c-store to Jackson and Evergreen highlights the importance of having guidelines in place that protect this important and historic neighborhood.

Thank you!
Amelia Thompson
920 Hawthorne Street

Amelia Thompson
director of development
office: [901.214.2416](tel:901.214.2416) | mobile: 901.497.8279
2144 madison avenue | memphis, tn 38104
balletmemphis.org/give

Ragsdale, Brett

From: Emily Graves <emilytgraves@gmail.com>
Sent: Thursday, March 4, 2021 9:48 AM
To: Tezel, Ayse; Ragsdale, Brett
Subject: VECA #NHD20-002(VEHD) Land Use Control Board

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning!

Please accept this email as continued support for the historic overlay zoning requested by the Vollintine Evergreen Community Association. As you know, I have sent several emails to this effect in recent months; please see those for details, to avoid redundancy.

Thank you,
Emily Graves
1412 Carr Ave
38104

Ragsdale, Brett

From: Angela Y Walker <aywalker29@yahoo.com>
Sent: Thursday, March 4, 2021 9:39 AM
To: Ragsdale, Brett
Subject: Case Number NHD 20-002(VEHD)

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Mr Ragsdale, my name is Angela Walker and I live at 1016 North Willett St, Memphis TN 38107. As a resident of the Vollintine Evergreen Historic District and a active member of VECA I am in full support of the overlay zone for Vollintine and Evergreen.

Thank you for your service to the Memphis community.

Sincerely,

Angela

Sent from my iPhone

Ragsdale, Brett

From: Gordon Alexander <carlstebbins@msn.com>
Sent: Thursday, March 4, 2021 9:16 AM
To: Tezel, Ayse; Ragsdale, Brett
Subject: VECA #NHD20-002(VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Midtown Action Coalition, a group of hundreds of residents of Midtown Memphis and other parts of the city, support the historic overlay zoning requested by the Vollintine Evergreen Community Association as they go before the Land Use Control Board.

VECA needs this designation in order to preserve its community standards, as well as to proceed adding new development that enriches and compliments the neighborhood. With property values on the rise, many neighborhoods in Midtown are being assaulted by real estate investors whose only motive is to make a quick profit at the expense of the residents who call Midtown their home.

I urge the board to unanimously approve the VECA application.

Gordon Alexander, Midtown Action Coalition
179 S. Rembert
Memphis 38104

Ragsdale, Brett

From: Cody Van Valkenburgh <codyvanv@gmail.com>
Sent: Thursday, March 4, 2021 6:07 AM
To: Ragsdale, Brett
Subject: VE landmark status

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

My name is Cody Van Valkenburgh, and I live at 746 Maury Street. Just emailing to show I support the local landmark status for the Vollentine Evergreen neighborhood.

--
Cody Van Valkenburgh
901.326.7127

Ragsdale, Brett

From: mclamountain <mclamountain@protonmail.com>
Sent: Thursday, March 4, 2021 5:48 AM
To: Ragsdale, Brett; Tezel, Ayse
Subject: case # NHD 20-002 (VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Land Use Control Board (LUCB),

Good morning. I SUPPORT the landmark status application for the Vollintine Evergreen Historic District.

Thank you,

Michael LaMountain
877 N Barksdale St
Memphis, TN 38107
901-301-8828

Sent with [ProtonMail](#) Secure Email.

Ragsdale, Brett

From: zoftigdoll <zoftigdoll@gmail.com>
Sent: Wednesday, March 3, 2021 10:36 PM
To: Ragsdale, Brett
Subject: ve

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

i agree to the historic overlay zone for Vollintine & Evergreen

Fully Flourishing,

Jan Shivley
Zoftig Vintage Bijoux
305 North Willett St
Memphis, TN 38112
901 550-7373

"She who laughs, lasts."

Ragsdale, Brett

From: Mary Gibson <mhgibson@buckman.com>
Sent: Wednesday, March 3, 2021 4:56 PM
To: Ragsdale, Brett; Tezel, Ayse
Cc: Suzy Askew
Subject: VECA - Historic Preservation Zoning - I support it! - Case #NHD20-002(VEHD)

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi There,

I'm Mary Gibson and I've lived in Vollintine Evergreen for the last 10 years. I strongly support our neighborhood obtaining historic overlay zoning because I want to protect our community and our homes. My urban community of VECA deserves protection and preservation so that we can maintain our diverse and historic neighborhood that is truly one of a kind!

Thanks in advance for taking and listening to my comment...

Best,

Mary

Mary Gibson

1905 Mignon Avenue

Memphis, TN 38107

Mobile: 901.482.4387

Email: mhgibson@buckman.com

Ragsdale, Brett

From: Suzanne I Askew <siaskew@comcast.net>
Sent: Wednesday, March 3, 2021 3:24 PM
To: Ragsdale, Brett
Cc: Tezel, Ayse
Subject: Vollintine & Evergreen Historic District

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I support NHD 20-002 (VEHD) Historic Overlay Zoning.
Suzy Askew

Suzanne I Askew
901-486-1302 / siaskew@comcast.net

Ragsdale, Brett

From: Dena Austill <info@calldenatoday.com>
Sent: Wednesday, March 3, 2021 9:15 AM
To: Ragsdale, Brett

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi,

My husband and I love this area! We have been here for almost 20 years. I became a licensed Realtor in 2019, even though I show people homes all over Memphis, I have no plans of relocating from this area anytime soon. As a matter of fact, I would like to be more involved in the development of this area. Please tell me how I can do that.

I agree with the statement below:

“I love the V&E community and support Local Landmarks status for VEHD: Establishment of the (VECA) Vollintine-Evergreen Historic Overlay (“Landmarks”) District.”

Dená Austill

901-574-9764

www.calldenatoday.com



Ragsdale, Brett

From: Sue Strong <strongsr@comcast.net>
Sent: Tuesday, March 2, 2021 2:58 PM
To: Ragsdale, Brett
Subject: Vollintine Evergreen Community

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

I have lived in the Vollintine Evergreen Community for 42 years. I support Local Landmarks status for VEHD: Establishment of the (VECA) Vollintine-Evergreen Historic Overlay (“Landmarks”) District.

Thank you,
Sue Strong

Sent from my iPad

Ragsdale, Brett

From: Mary Haynes <mrhaynes47@yahoo.com>
Sent: Tuesday, March 2, 2021 10:05 AM
To: Ragsdale, Brett
Subject: Vote for Vollintine Evergreen Historic Overlay

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Sir,

I live in V & E and support Local Landmark status for VEHD: Establishment of (VECA) Vollintine Historic Overlay ("Landmarks") District.

*Sincerely,
Mary Ruth Haynes*

March 4, 2021

Mr. Brett Ragsdale
Department of Planning & Development
125 North Main Street
Memphis, TN 38103
Bret.t.Ragsdale@memphistn.gov

Re: Support for VEHD - V&E Historic Landmarks Designation

Mr. Ragsdale,
MidtownMemphis.Org supports the Vollintine Evergreen (V&E) Neighborhood in its application for a Historic Overlay Zoning District. The V&E Historic District is historically significant for its architecture, geographical location, and community importance.

We ask that the Land Use Control Board (LUCB) supports the Vollintine Evergreen Neighborhood in its application for Historic Landmarks Designation.

Sincerely,

<.P0- L-VLX-

Porsche Stevens
MidtownMemphis.Org, Board President-Elect

*Cc: Lilly Gilkey, President VECA
Natasha Strong, Chair VECA Historic Committee*



EXECUTIVE COMMITTEE

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Andy Kitsinger

Gayle Moore

Porsche Stevens

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66 S. Cooper St. , Ste. 506
Memphis, TN 38104

info@midtownmemphis.org

MidtownMemphis.org

[www.facebook.com/Midtown
Memphis.MMDC/](https://www.facebook.com/MidtownMemphis.MMDC/)

To: Land Use Control Board Staff Planners

I love the V&E community and support Local Landmarks status for VEHD: Establishment of the (VECA) Vollintine-Evergreen Historic Overlay (“Landmarks”) District. VECA is a beautiful neighborhood and it deserves to be protected as a historic district.

Alicja Trout

901-491-7678

alicjat@gmail.com

Owner: 1496 Snowden, 1535 Jackson Ave

RE: Support for VECA Landmarks Designation

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Amelia Thompson <amelia.thompson927@gmail.com>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,



Brett Ragsdale, AIA

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.gov



Visit our [website](#)

From: Amelia Thompson [mailto:amelia.thompson927@gmail.com]

Sent: Friday, May 7, 2021 7:40 AM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; Ragsdale, Bre. <Bre .Ragsdale@memphistn.gov>

Subject: Support for VECA Landmarks Designa on

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Bre and Ayse,

I am a VECA resident living at 920 Hawthorne Street and want to send my support for VECA's historic landmark designa on.

This protecÃon is key in maintaining the historical integrity and character of our neighborhood.

Thank you!
Amelia

Amelia Thompson
ameliathompson927@gmail.com

RE: Support for VEHD

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: N. Strong <mlc.nstrong@gmail.com>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Thanks natasha. Your comments have been received and will be included in the staff report for this case.

Thanks,



Brett Ragsdale, AIA

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.gov



Visit our [website](#)

From: N. Strong [mailto:mlc.nstrong@gmail.com]

Sent: Friday, May 7, 2021 7:30 AM

To: Ragsdale, Bre <Bre .Ragsdale@memphistn.gov>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Subject: Support for VEHD

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Land Use Control Board Members & Staff,

I live in the neighborhood and support VECA's application requesting historic overlay zoning along with the inclusion of Greenview Circle & Hunter Avenue into VEHD.

Over the years, residents through civic engagement and grassroots organizing have continuously demonstrated and expressed their desire to help preserve the historic identity of this Memphis neighborhood. So that by and large it remains historically consistent and intact while diverse in terms of periods of development and architectural styles.

Historic overlay zoning would provide protection for VECA's historic character — preserving the honorary designation of National Register of Historic Places status for present and future generations. While still allowing for development within a framework that encourages compatibility of design, mass and scale, and exterior building improvements that respectfully relates to its setting.

I respectfully ask for you to vote **Yes** and approve VEHD, the establishment of the Vollintine Evergreen Historic Overlay (“Landmarks”) District.

Thank you,
Natasha Strong

RE: VECA Support Letters & Speakers

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Belinda BJ Campbell <campbell1bj@gmail.com>

Cc: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; ubstrong@yahoo.com <ubstrong@yahoo.com>; Sarahgil19@yahoo.com <Sarahgil19@yahoo.com>; Rodney K. Strong <rodney@gspclaw.com>

Your comments have been received and will be included in the staff report for this case.

We will get back to you next week regarding speaking at the meeting.

Thanks,



Brett Ragsdale, AIA

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.gov



Visit our [website](#)

From: Belinda BJ Campbell [mailto:campbell1bj@gmail.com]

Sent: Friday, May 7, 2021 6:34 AM

To: Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Cc: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; ubstrong@yahoo.com; Sarahgil19@yahoo.com; Rodney K. Strong <rodney@gspclaw.com>

Subject: VECA Support Letters & Speakers

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good Morning Mr. Ragsdale,

Would you please make our attached letters available to the Land Use Control Board Members & Staff, from the Evergreen Gardens residents in support of Vollintine Evergreen becoming a local Landmarks district?

In addition, we are requesting that you please coordinate with VECA to add my name and Mr. Byron Strong's name to VECA's support-group speakers next Thursday, May 13 during the Land Use Control Board Meeting. If you would be so kind as to send us the dial in information and code. We will call from the numbers listed below.

Let me know if you have any questions. Thank you.

Best,
Two Support Speakers:
Belinda J. Campbell
901-229-8163

Byron Strong
901-361-6671

Your help is greatly appreciated.

Excellence is the Standard,

Belinda "BJ"

Belinda "BJ" Campbell
Evergreen Gardens Representa ve

Mrs. Sarah Gilchrist, President Evergreen Gardens

RE: In Favor of VECA Local Landmarks

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Inis Kearbey <inis1612@icloud.com>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,

Brett Ragsdale, AIA
Deputy Administrator
Land Use and Development Services
Division of Planning and Development
125 N. Main, Ste. 468 Memphis, TN 38103
Phone: 901-636-6619
Email: brett.ragsdale@memphistn.gov

Visit our website

-----Original Message-----

From: Inis Kearbey [<mailto:inis1612@icloud.com>]

Sent: Thursday, May 6, 2021 11:13 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Subject: In Favor of VECA Local Landmarks

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Commissioner Ragsdale & Commissioner Tezel,

Please note for the record that I am in full support of local landmarks historic designation for the Vollintine Evergreen Historic District - VEHD application.

I believe the design guidelines prepared just for the V&E community will preserve its architecture and protect our community.

Thank you,

Inis Kearbey

RE: Support VECA Local Landmarks Historic Zoning Overlay

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Karen Edwards <kmendeavors7@gmail.com>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Thanks karen. Your comments have been received and will be included in the staff report for this case.

Thanks,

Brett Ragsdale, AIA
Deputy Administrator
Land Use and Development Services
Division of Planning and Development
125 N. Main, Ste. 468 Memphis, TN 38103
Phone: 901-636-6619
Email: brett.ragsdale@memphistn.gov

Visit our website

-----Original Message-----

From: Karen Edwards [<mailto:kmendeavors7@gmail.com>]

Sent: Thursday, May 6, 2021 11:03 PM

To: Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Subject: Support VECA Local Landmarks Historic Zoning Overlay

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good evening Commissioner's Brett Ragsdale & Ayse Tezel,

As a private homeowner and commercial property owner within the V&E community, I express my full support of VECA becoming a local Landmarks Historic district.

I respectfully ask for your full support for this application, and a vote of "YES."

Thank you,

Karen Edwards
1887 South Rainbow Dr.
Memphis, TN 38107

RE: V & E Historic District

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Suzanne I Askew <siaskew@comcast.net>**Cc:** Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,

**Brett Ragsdale, AIA**

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.govVisit our [website](#)

From: Suzanne I Askew [mailto:siaskew@comcast.net]**Sent:** Thursday, May 6, 2021 9:34 PM**To:** Ragsdale, Bre <Bre .Ragsdale@memphistn.gov>**Subject:** V & E Historic District

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

As a 15 year resident of V & E, I support the Historic Overlay Zoning that would make us a Local Landmarks District. We are full of historic architecture that needs the protection of this designation. Thank you for making our neighborhood stronger and granting us the tools to protect it.

Suzanne Askew 1875 Jackson Avenue, 38107

Suzanne I Askew901-486-1302 / siaskew@comcast.net

RE: VECA application

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: jennifer.s.sargent@gmail.com <jennifer.s.sargent@gmail.com>**Cc:** Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,

**Brett Ragsdale, AIA**

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.govVisit our [website](#)

From: jennifer sargent [mailto:jennifer.s.sargent@gmail.com]**Sent:** Thursday, May 6, 2021 10:01 PM**To:** Ragsdale, Bre <Bre .Ragsdale@memphistn.gov>**Subject:** re: VECA applica on

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

This email is in support of VECA's applica on for Local Landmark Status.

Jennifer Sargent and Alan McCoy

933 Sheridan St

Memphis, TN 38107

RE: VECA's Special Contributions to Memphis Need to be PRESERVED.

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:24 AM

To: Toot Fineberg-Buchner <tootfb7@gmail.com>**Cc:** Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,

**Brett Ragsdale, AIA**

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.govVisit our [website](#)

From: Toot Fineberg-Buchner [mailto:tootfb7@gmail.com]**Sent:** Thursday, May 6, 2021 6:38 PM**To:** Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>**Subject:** VECA's Special Contributions to Memphis Need to be PRESERVED.

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

VECA has held Memphis together for over half a century. Please help it stay wonderful and humane with people oriented design and support services.

Thanks so much for giving back to the neighborhood that has given so much to MEMPHIS!

Sincerely,

Charlene Fineberg-Buchner

1952-1960 2124 Vollentine Ave

1975-1983 731 Hawthorne

Forever a user of the VECA amenities and lifestyle.

RE: In support of Landmarks Status for the VECA neighborhood

Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

Fri 5/7/2021 9:23 AM

To: RENATE ROSENTHAL <renaterosenthal@comcast.net>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

Your comments have been received and will be included in the staff report for this case.

Thanks,

**Brett Ragsdale, AIA**

Deputy Administrator

Land Use and Development Services

Division of Planning and Development

125 N. Main, Ste. 468 Memphis, TN 38103

Phone: 901-636-6619

Email: brett.ragsdale@memphistn.govVisit our [website](#)

From: RENATE ROSENTHAL [mailto:renaterosenthal@comcast.net]**Sent:** Thursday, May 6, 2021 5:36 PM**To:** Ragsdale, Bre <Bre .Ragsdale@memphistn.gov>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>**Subject:** In support of Landmarks Status for the VECA neighborhood

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Mr. Ragsdale and Ms. Tezel,

I would like to voice my strong support of the application by the **Vollintine-Evergreen Community Association** to achieve Landmarks status for our neighborhood. I am also in support of the recent inclusion of Greenview Circle and Hunter Avenue in this application. This small neighborhood is of historic significance and deserves to be preserved and protected.

Sincerely,

Renate Rosenthal, Ph.D.

2107 Hallwood Drive

Memphis TN 38107

VECA'S Landmark Zoning Application

Angela Y Walker <aywalker29@yahoo.com>

Fri 5/7/2021 3:13 AM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Ms. Tezel, I am a resident of the VECA community and whole heartily support the Landmark Zoning application. Please vote to approve the Landmark Zoning application.

Thank you,

Angela Walker

Sent from my iPhone

Tezel, Ayse

From: Clark Buchner <clarkbuchner3@gmail.com>
Sent: Thursday, May 06, 2021 1:38 PM
To: Ragsdale, Brett; Suzanne I Askew
Subject: Additions to VECA local landmarks overly application

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

May 6, 2021

Land Use Control Board

Memphis and Shelby County, Tennessee

Sent in care of Mr. Brett Ragsdale, OPD

RE: VECa & Vollintine Evergreen Neighborhood

Sirs: I wish to go on record as approving of parcels on Greenview Circle & Hunter Avenue being added to VECA's local landmarks overlay application. I think increasing the size of property added to the request for historic neighborhood status is a good thing. Please approve of this unique neighborhood and give it historic status.

Most sincerely,

Clark A. Buchner, Architect AIA

Memphis, TN 38122

Tezel, Ayse

From: RAAA <hello@rozelleannesdale.org>
Sent: Thursday, May 06, 2021 1:56 PM
To: Ragsdale, Brett; Tezel, Ayse
Subject: Support for VECA at LUCB

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Land Use Control Board

Rozelle-Annesdale Area Association supports VECA's application.

As we continue to work to improve the core of our city, VECA is a crucial part. We believe VECA is a special place in an extraordinary setting with an abundance of significant historic resources that residents value, and its uniqueness is found in its residents, its buildings, and its public open spaces. Thank you for your consideration.

Respectfully,

Emily Bishop

--



ROZELLE
ANNESDALE
AREA ASSOCIATION

Tezel, Ayse

From: linda lipinski <lclipinski@gmail.com>
Sent: Thursday, May 06, 2021 3:42 PM
To: Ragsdale, Brett; Christopher Church (BCHS Employee); linda lipinski
Subject: Support for VECA request for local Landmark designation

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May 6, 2021

Dear Mr. Ragsdale,

We in the Annesdale Snowden Historic District enthusiastically support Vollintine-Evergreen neighborhood in its quest to receive local Landmark designation after having included the parcels on Greenview Circle and Hunter Ave to VECA. In my letter of Jan. 21, 2021, I mentioned that I knew you were familiar with our association and its dedication to preservation of historically significant and irreplaceable neighborhoods in the city of Memphis. As a resident of Annesdale Snowden for over 45 years, I have seen how these older neighborhoods have worked tirelessly to maintain their integrity by caring for the housing structures and preserving the nature of each individual neighborhood. We in Annesdale Snowden worked early and hard to receive the designations both locally and nationally to protect our 115 year old community. And we are always on guard to continue preserving what we treasure. Please add our name in support of the Vollintine-Evergreen Designation. These neighbors have worked diligently to earn this protection, and we believe such designation will indeed add an important level of protection for its historically significant homes and the community itself. And that is good for Memphis.

Thank you.

Linda Lipinski

Treasurer, Annesdale Snowden Neighborhood Association and Historic District

774 E. Snowden Cl.

Memphis, Tn. 38104

901-674-3748.

Tezel, Ayse

From: fagantk <fagantk@aol.com>
Sent: Wednesday, May 05, 2021 3:43 PM
To: Ragsdale, Brett
Subject: VBECA

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Once again the Fagan family is in full support of the VECA action scheduled for review by the Land Use Control Board. Thank You.

Tom and Susan Fagan
1855 South Rainbow Dr.
38107

Tezel, Ayse

From: LILLY GILKEY <lillygilkey@bellsouth.net>
Sent: Thursday, May 06, 2021 11:07 AM
To: Ragsdale, Brett
Subject: VECA Landmarks Designation application.

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Good morning. I am writing in support of this request. I would like to preserve the architectural and beauty of homes that gives VECA its uniqueness and attracts the interests of someone seeking home ownership. Thank for your consideration. Lilly Gilkey, VECA President.

Sent from my iPhone

Tezel, Ayse

From: Elisabeth Eickhoff <eli_1172@yahoo.com>
Sent: Thursday, May 06, 2021 1:32 PM
To: Ragsdale, Brett
Subject: VECA landmarks zoning

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Dear Mr Ragsdale,
I am a VECA homeowner and I just wanted to drop you a quick line to voice my support for the VECA landmarks zoning that's coming up for review. It's so important for our neighborhood to be protected by Memphis Landmarks.

Thank you,
Elisabeth Eickhoff

Tezel, Ayse

From: Justin Gillis <jusgillis@gmail.com>
Sent: Thursday, May 06, 2021 7:13 AM
To: Ragsdale, Brett; Tezel, Ayse
Subject: VECA Overlay

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I support VECAs efforts to establish an overlay.

Justin Gillis
901.230.5444

Tezel, Ayse

From: Angela Y Walker <aywalker29@yahoo.com>
Sent: Thursday, May 06, 2021 8:28 AM
To: Ragsdale, Brett
Subject: VECA's Landmark Zoning Application

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello Ragsdale, I am a long time resident of the VECA community and I support VECA's Landmark Zoning application. As a Land Use Control Board member please vote to approve VECA's Landmarks application.
Thank you.

Sincerely,
Angela Walker

Sent from my iPhone

Ragsdale, Brett

From: Stacy Pennington <truk@mazzy.com>
Sent: Thursday, March 4, 2021 8:35 PM
To: Ragsdale, Brett
Subject: Opposition to VECA New History Overlay District

CAUTION: This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Mr Ragsdale,

I'm writing to submit my opposition to the proposed new Historic Overlay District for VECA, which will be discussed at a hearing of the Memphis & Shelby County Land Use Control Board on March 11, 2021.

As a member of the VECA Board, I'm very familiar with the related issues and was engaged in the process throughout all of last year, attending all public meetings available on the subject.

There are so many things wrong with this proposal, but I will focus on those likely to be the most relevant for the Land Use Control Board:

1) This proposal is too vague, unclear, or nonsensical in crucial parts of the guidelines, which makes it difficult for VECA homeowners to know if their particular changes are likely to be permitted. For example:

Guideline 7.4 (p. 39) - "Healthy mature trees are a shared asset to the historic fabric of the neighborhood and every effort shall be made for the preservation of all existing healthy mature desirable trees." Even in situations when a healthy tree has grown too large and had limbs putting a neighbor's property at risk? Are property owners not allowed to take reasonable steps to remove dangerous situations where they would bear liability?

Guideline 1.3.7 (p. 43) - "Although some character area images show street facing garage doors, new garages shall not dominate the front façade and should be setback behind the front wall of the dwelling." What does "shall not dominate the front facade" really mean? In the way suburban houses sometimes do? No picture is provided for reference.

Guideline 1.5.5 (p. 45) - "The front entry door shall reflect the home's architectural style." What qualifies as reflecting the home's architectural style? Must a Tudor home have a Tudor door? Is there even a Tudor door? An illustration of doors is provided, but no guidance is provided to illustrate what would qualify.

Guideline 2.10.5.a (p.48-49) - "Unpainted brick and stone shall not be painted, nor should commercial sealants or waterproof coatings be applied, except in extreme circumstances." What is an "extreme circumstance?" Who is qualified to say?

Guideline 2.11.4 (p. 51) - "If replacement is necessary, new windows shall closely match the original windows in architectural style, dimensions, proportion, arrangement of panes and sashes, shadow lines, and materials." What if the window being replaced is a terrible, cheap aluminum one, installed when the property was new in the 1970s (as some properties in this "historic district" were constructed)? Is the property owner required to replace a terrible window with another terrible window, or could they use a better, more modern material?

2) This proposal was not unanimous when voted on by the VECA Board, only passing with a 12-3 margin, even though the Board skews heavily to the Historic Committee, which drafted the Guidelines document. Attendance at the neighborhood Zoom meetings (because this was all done during a pandemic!) was quite low (a few dozen, out of a 3500 household neighborhood), with Historic Committee members and supporters often making up the majority of the

attendees. In short, the neighborhood is not even close to united behind this proposal, which only began to take shape and movement toward the force of law when a pandemic gripped our city, nation, and world.

3) I believe a majority of the property owners affected by these Guidelines have no idea what is in them and would oppose them if they understood the restrictions and obligations these Guidelines impose and the (rising) fees required to apply for Certificate of Appropriateness. The public mailings that have gone out about this issue to neighborhood residents, while meeting the letter of the requirement to create this district, have only referenced creating an historic district. (Who would object to that?) They never mention all of the new requirements homeowners will have to deal with or the new fees and effort required to do what they can do now without any of that. The bottom line? Imposing rules, restrictions, fees, and obligations on unsuspecting citizens, during the middle of a pandemic, is unjust and unfair.

While the Memphis Landmarks Commission was happy to vote themselves additional oversight over the property maintenance decisions of homeowners, I hope that the Land Use Control Board will stop this vague and unjust proposal and send it back to VECA for modifications and greater community input.

Thank you for your time and attention.

Stacy Pennington
901-881-7627
1910 Tutwiler Ave, Memphis, TN 38107

Ragsdale, Brett

From: ARNOLD ENGELBERG <engelberg@prodigy.net>
Sent: Thursday, March 4, 2021 7:39 PM
To: Ragsdale, Brett
Subject: Vollentine Historic District

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I am totally opposed to the passing of Vollentine Historic District. This goes against private property rights. I am a private investor who happens to own 1858-60 Tutwiler. In my opinion in America you have the right to own your own property. If this historic district is passed it will go against what I thought was my own property rights. Additionally it will cost me more time and expense to make any repairs or remodeling. Almost anything I want to do with my property I will have to secure permission from the Planning Commission to get their approval. Does that sound like American way?

ARNOLD R. ENGELBERG
588 HARWOOD CV.
MEMPHIS, TN. 38120

901-331-1694



**APPLICATION
FOR THE CREATION OF A
HISTORIC OVERLAY DISTRICT**
*(Application for inclusion in the jurisdiction
of the Memphis Landmarks Commission)*

NAME OF PROPOSED DISTRICT: Vollintine Evergreen Neighborhood Historic District

APPLICANT: Vollintine Evergreen Community Association

ADDRESS: 1680 Jackson

PHONE: 901-276-1782 **EMAIL:** veca901@gmail.com

ADDITIONAL APPLICANT (if applicable):
additional contact

ADDRESS: Mary Wilder

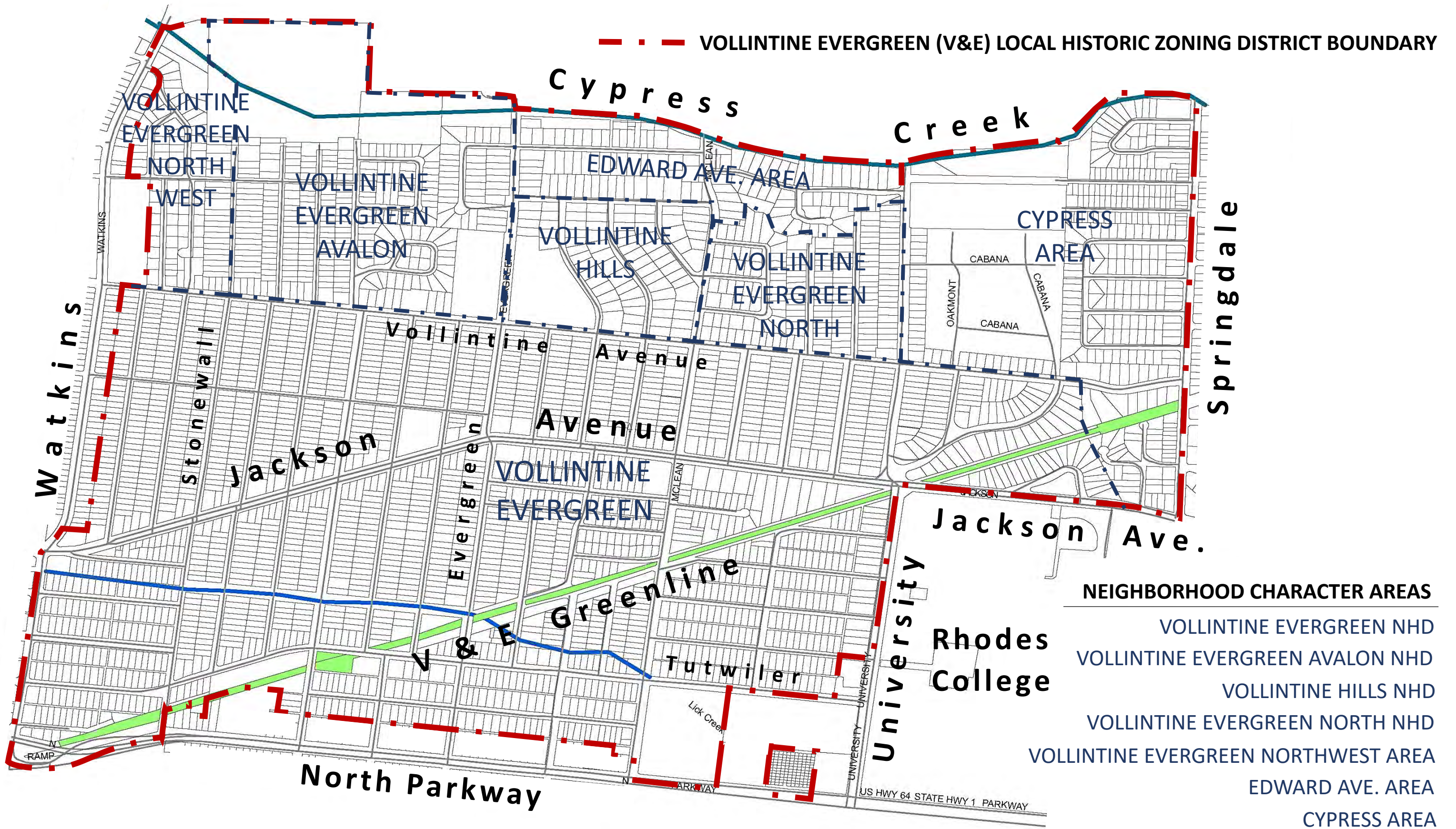
PHONE: 901-461-8683 **EMAIL:** marywild@comcast.net

CLASSIFICATION (check one):

SINGLE BUILDING OR SITE

MULTIPLE BUILDINGS OR SITES

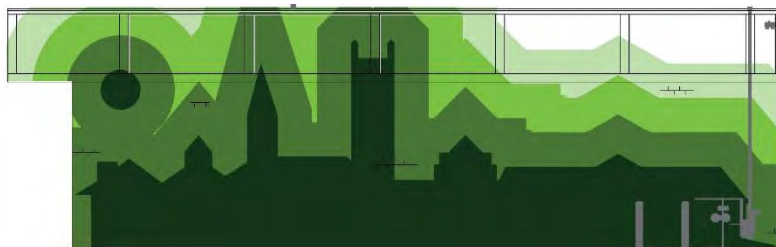
APPLICANT SIGNATURE: Mary Wilder **DATE:** 9/21/2020





Vollintine Evergreen (V&E) Neighborhood

Historic Design Guidelines and Users Guide



Memphis Landmarks Commission

Final DRAFT

January 19, 2020

Acknowledgements

Guidelines Commissioned by:

Vollintine Evergreen Community Association (VECA)

A gathering of volunteers with a consistent mission: to keep our community a place people want to live, work, shop, eat, and simply be in Memphis. For more than 50 years, VECA members and volunteers have been engaging with and investing in our neighborhood with the goals to:

- Support our volunteers and committees as they ignite grassroots involvement, continuing VECA's history as the primary change agent in Vollintine Evergreen.
- Engage in effective and efficient partnerships with surrounding neighborhoods, institutions, and government entities to accomplish mutual goals.
- Work directly, and in partnership with neighbors and the city and county, to improve and maintain properties in the neighborhood.
- Remain an organization with the necessary flexibility to support an authentic grassroots base but also the organizational structure necessary to make projects manageable and sustainable.

Memphis' overall success hinges on a network of healthy neighborhoods. Thanks to the decades-long efforts of VECA, Vollintine Evergreen is one of the most stable, desirable, and diverse neighborhoods in the region.

City of Memphis

The City of Memphis is a Certified Local Government under a federal program authorized by the National Historic Preservation Act 16 U.S.C. 470 et seq. that provides for the participation of local governments in a federal/state/local government preservation partnership. The federal law directs the State Historic Preservation Office of Tennessee and the Secretary of the Interior to certify local governments to participate in this partnership.

Memphis Landmarks Commission

The Memphis Landmarks Commission is a local historic preservation commission established to advise the local government on matters relating to historic preservation, including the designation of historic districts, landmarks and landmark sites. The Commission may be empowered to review applications for permits for alteration, construction, demolition, relocation, or subdivision for structures in historic districts, or on designated landmark sites or as landmarks.

Tennessee State Historic Preservation Office

The assistance of the Tennessee State Historic Preservation Office is gratefully acknowledged. This project has been funded with the assistance of a grant-in-aid from the National Park Service, U.S. Department of the Interior, under provision of the National Historic Preservation Act of 1966 as amended. The Tennessee State Historic Preservation Office administers historic Preservation grants-in-aid in Tennessee in conjunction with the National Register of Historic Places program. However, the contents and opinions contained in this publication do not necessarily reflect the views of the National Park Service or the Tennessee State Historic Preservation Office.

Community LIFT

The assistance of a Community LIFT grant to fund public notification for this project is gratefully appreciated. Community LIFT's mission is to accelerate revitalization of disinvested neighborhoods to create a thriving Memphis for all.

Planning Consultant

Development Studio, LLC - Andy Kitsinger, AIA-AICP Architect and Community Planner
Margot Payne, Architectural Historian, Writer, and Restoration Specialist
Judith Johnson, Architectural Historian and Preservation Planner



Image 1: St. Thérèse the Little Flower Catholic Church and School was established as the 12th Catholic parish of Memphis in 1930 with the construction of the first of four campus buildings.

DISCLAIMER: *The activity that is the subject of this publication has been financed in part with federal funds from the National Park Service, Department of the Interior. However, the contents and opinions do not necessarily reflect the views or policies of the Department of the Interior, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior.*

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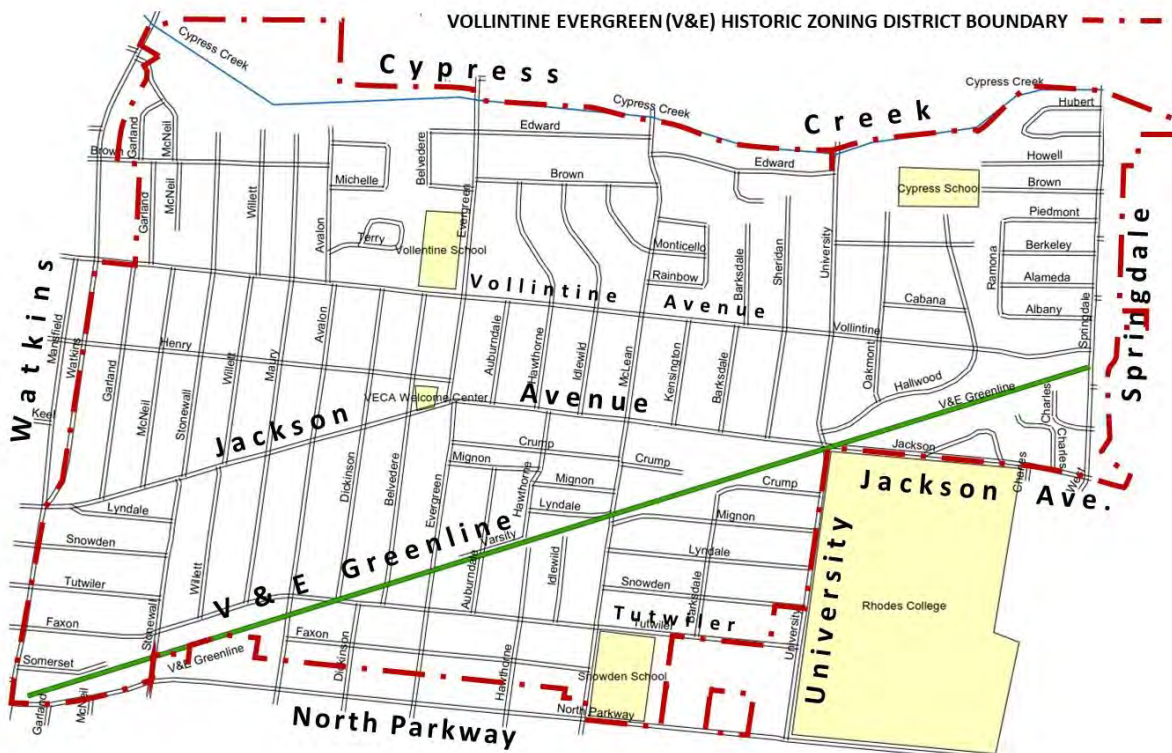
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I. Introduction

The Vollintine Evergreen (V&E) neighborhood is a special place in an extraordinary setting with an abundance of significant historic resources that residents value. Vollintine Evergreen's uniqueness is found in its residents, its buildings, and its public open spaces.

The V&E Neighborhood Historic District is bounded roughly on the north by Cypress Creek, on the South by the north side of North Parkway beginning along the back alleys, on the east by rear of east property lines along Springdale Street (north of Jackson) and University Street (south of Jackson), and on the west by Watkins Street, (south of Vollintine) and on the rear of east property lines along Watkins Street (south of Vollintine).



Map 1: (Above) Vollintine Evergreen (V&E) Neighborhood Historic District Boundary Street Map

Historic resources abound in the Vollintine Evergreen Neighborhood, which contains the largest collection of historic properties (at over 3,500) of any historic district in Memphis.

A key to the neighborhood's success is the Vollintine Evergreen Community Association's (VECA) efforts to energize and preserve the neighborhood. The V&E neighborhood has a long-standing commitment to diversity, inclusiveness, and championing a quality historic environment. The neighborhood seeks to maintain its heritage and authenticity while applying a balanced approach to new development where appropriate.

Historic resources abound in the Vollintine Evergreen Neighborhood, which contains the largest collection of historic properties (at over 3,500) of any historic district in Memphis, Tennessee.

With this direction in mind, this design guidelines document is meant to be informative, helpful, and easy to interpret. The V&E neighborhood historic design guidelines contribute to a strategic vision by promoting architectural design and compatible development. Vollintine Evergreen is a constantly adapting community that provides opportunities for all to live, work, and share experiences in a historically significant neighborhood.

A. Vision for the Vollintine Evergreen Neighborhood Historic District

The Vollintine Evergreen Neighborhood is a harmonious blend of local historic building traditions in a modern working-class neighborhood with a range of living options, eclectic shopping, restaurants, parks, and institutional places of learning and worship.

The V&E neighborhood thrives on strong residential areas along with a mix of uses and walkable neighborhood commercial anchors. V&E's historic structures are valued assets, preserved for architectural style, historic associations, and examples of good urban form.

To maintain its urban vibrancy, the built environment of the V&E neighborhood is centered on people – not cars. Buildings contribute to the rich urban fabric, inviting the attention of passersby through thoughtful design, architectural forms, details, windows, and variation in massing.

Storefronts, architectural screening, and landscaping minimize the visual presence of garages and parking lots. Its public spaces, from its streets, medians, and alleys to its parks, and front lawns, cater to the pedestrian's enjoyment with safe and shady sidewalks, canopies of trees, pleasing landscaping, artwork, resting spots, and places for gathering.

B. Purpose of Design Guidelines

The Design Guidelines seek to assist property owners with maintaining and updating their properties within the V&E neighborhood in order to sustain a cohesive and livable place with an attractive pedestrian-oriented environment. They convey a common vision, as established by neighborhood stakeholders. They promote preservation of historic, cultural, and architectural heritage.

The Design Guidelines reflect the City's goal to preserve its historic resources while promoting economic development. The Guidelines document helps to implement the broad policy and regulatory documents of the City of Memphis.

The Design Guidelines help strengthen the local business environment and enhance property values by improving the quality of the built environment and by making the V&E neighborhood a more desirable place to live, work, and play. The guidelines should stimulate creative design solutions for improvement projects and should help to enhance livability and contribute to a desirable neighborhood character.



Image 2: Example of Tudor Revival style found in many structures throughout Vollintine Evergreen.

The Design Guidelines seek to highlight the assets of the community, establish a strong vision for the future, and provide clear, useful guidance for building improvements. Importantly, the Design Guidelines strive to be practical. Good design guidelines ensure the design policies recommended make sense to property owners and investors and inspire compatible infill while addressing individual needs.

The Design Guidelines also set out to define a logical process, in order to facilitate the needs of property owners, designers, tenants, contractors, architects, engineers, investors, planners, etc. The Guidelines do not dictate solutions; rather, they define a range of appropriate responses to a given design.

The Historic Design Guidelines and Users Guide also contains background materials which are intended to help property owners understand the building elements that make their neighborhood special and what it takes for a new building to respectfully relate to the historic context.

This approach does not necessarily require residents to make their buildings "look old." Rather it is a means to help construction activity more closely relate to the mass, scale, form, and setbacks of historic buildings.

C. Responsibility of Property Ownership

Ownership of a property in the Vollintine Evergreen Neighborhood Historic District carries the benefits described above and a responsibility to respect the original character of the property and its setting. While this responsibility exists, it does not automatically translate into higher construction or maintenance costs. In the case of new construction, for example, these design guidelines focus on providing a new residence that is similar in mass, scale, form, and materials.

Ultimately, residents and property owners should recognize that historic preservation is a long-range community policy that promotes economic well-being and overall viability of the city at large and that they play a vital role in helping to implement that policy through careful stewardship of the area's resources.

D. Memphis Landmarks Commission's Goals of Historic Zoning

These Design Guidelines are criteria and standards that the Memphis Landmarks Commission (MLC) must consider in determining the appropriateness of proposed work within the V&E Neighborhood Historic District.

D.1. Goals of Historic Zoning

Appropriateness of work must be determined in order to accomplish the goals of historic zoning, as outlined in the guidelines and bylaws of the Memphis Landmarks Commission.

1. To promote the educational, cultural, and economic welfare of the people of Memphis;
2. To preserve and protect the historical and architectural value of buildings, other structures, or historically significant areas;
3. To ensure the compatibility within the Historic District by regulating exterior design, arrangement, texture, and materials;
4. To create an aesthetic appearance which complements the historic buildings or other structures;
5. To stabilize and improve property values;
6. To foster civic beauty and community pride;
7. To strengthen the local economy;

8. To establish criteria and procedures to regulate the construction, repair, rehabilitation, relocation, or other alteration of structures within any Historic District or Zone, and,
9. To promote the use of Historic Districts for the education, pleasure, and welfare of the present and future citizens of Memphis.

D.2. Application of the Design Guidelines

The Design Guidelines provide a common basis for making decisions about work that may affect the appearance of individual properties and the overall character of the neighborhood. The guidelines apply only to the exteriors of buildings and to areas of the property visible, in whole or in part from and public street or right-of-way. **Routine maintenance of a building/property that does not involve altering historic fabric does not need approval from the MLC unless it will change the exterior appearance.**

The Shelby County Office of Construction Code Enforcement will not issue a building construction permit within the district boundary without a COA from MLC. Below is a summary of work requiring a COA. *See Appendix B and C for additional information.*

- a. New construction of primary or secondary buildings
- b. Exterior alterations to existing structures
- c. Additions or enclosures that expand habitable space
- d. Building relocation
- e. Building demolition
- f. Fences, walls and retaining walls
- g. New or altered driveways and parking pads

Determining the need for building permit and/or Certificate of Appropriateness (COA)

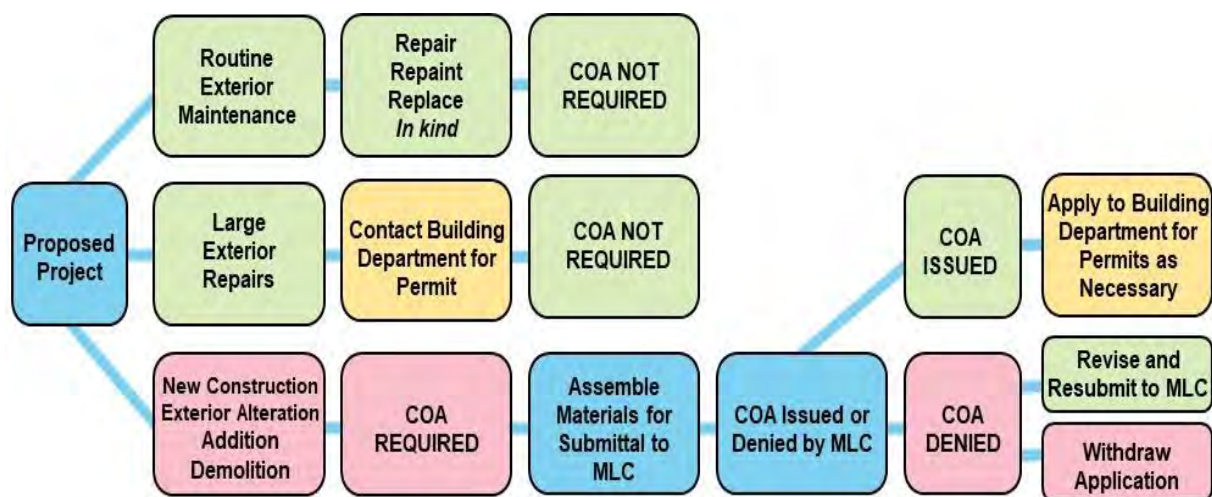


Illustration 1: (Above) Flow Chart in determining need for building permit and/or Certificate of Appropriateness COA, (see Appendix B & C for a more detailed project flow chart and summary of work requiring a COA review.)

E. Procedures for issuance of Certificates of Appropriateness

If a property owner within a historic district seeks a building permit for exterior work, the owner must receive a Certificate of Appropriateness (COA) from MLC. To obtain the COA, the property owner must submit a COA Application Form, with appropriate drawings to MLC staff. It is highly recommended that applicants contact MLC staff early in the project design phase and well in advance of the application submittal. Retroactive COA Applications must also provide all submissions requirements. If changes to an approved COA is necessary, the applicant may need to reapply for a revised COA. Contact staff if it is necessary to perform work outside of the scope of an approved COA.

Please visit the Memphis Landmarks Commission webpage for all COA instructions. <https://www.develop901.com/landuse-development-services/MemphisLandmarksCommission>

F. Using the Design Guidelines

These guidelines define a range of appropriate responses to a given design issue. This approach does not require residents to replicate historic buildings but more closely relates to the placement, form, and character of contributing and non-contributing buildings.

The design guidelines include many photographs and diagrams to illustrate acceptable or unacceptable approaches. The illustrations are provided as examples and are not intended to indicate the only options.

If there appears to be a conflict between the design guideline text and any illustration, the text shall prevail.


Who should use the Design Guidelines?


Property owners, residents, real estate agents, architects, engineers, developers, contractors, tenants, and planners should use the Design Guidelines when planning for a project within the neighborhood. Such use will help establish appropriate design direction.

The Guidelines convey the community's ambitions for design and serve as an educational tool for those improving their historic properties. The Guidelines also encourage the construction of contemporary buildings and additions that do not impair the integrity of the historic neighborhood or its contributing historic buildings. Careful thought and planning are required when designing a building to fit within the historic character of a neighborhood.

Property owners in the district who are seeking to update and improve their properties should consult this document to guide you through the building process within the district. An initial step in the COA review process is determining if your building is a contributing or non-contributing structure.

Illustrations

 **A checkmark** on an illustration indicates an approach that is generally appropriate.

 **An X mark** on an illustration indicates an approach that is generally inappropriate.

The Design Guidelines are employed in two formal ways:

1. MLC Staff will use the guidelines when advising property owners in administrative reviews and making recommendations to the MLC.
2. The Commission will use the guidelines when considering the issuance of a Certificate of Appropriateness (COA).

An initial step in the COA review process is determining if your building is a contributing or non-contributing structure.

What do the words “contributing” and “non-contributing” mean?

Contributing structures: An existing building structure that retains enough architectural integrity to contribute to the locally designated historic district and was built during the period of significance for the historic district.

Non-contributing structures: An existing structure located within the historic district boundary but was not built during the period of significance for the district (generally less than 50 years ago), or, if built during the period of significance, has architectural modifications that compromise its architectural integrity to contribute to the locally designated historic district.

Determining if your structure is a contributing or non-contributing building

It is recommended that property owners research the date of the original construction of their structure. Then review the building’s architectural characteristics in relationship to other properties within its neighborhood character area as illustrated in Chapter II – Neighborhood Design Traditions and Historic Context beginning on page 12.

If a structure is determined as non-contributing, it can be exempt from certain guidelines within the Alterations section unless a property owner seeks to restore the historic appearance of the structure so that it could again contribute to the character of the district.

Property owners in the district who are seeking to update and improve their properties and have determined that a COA application is required are encouraged to contact the Memphis Landmarks Commission (MLC) staff, which will assist in determining if the subject property is contributing or non-contributing and can provide additional information in the COA application process.

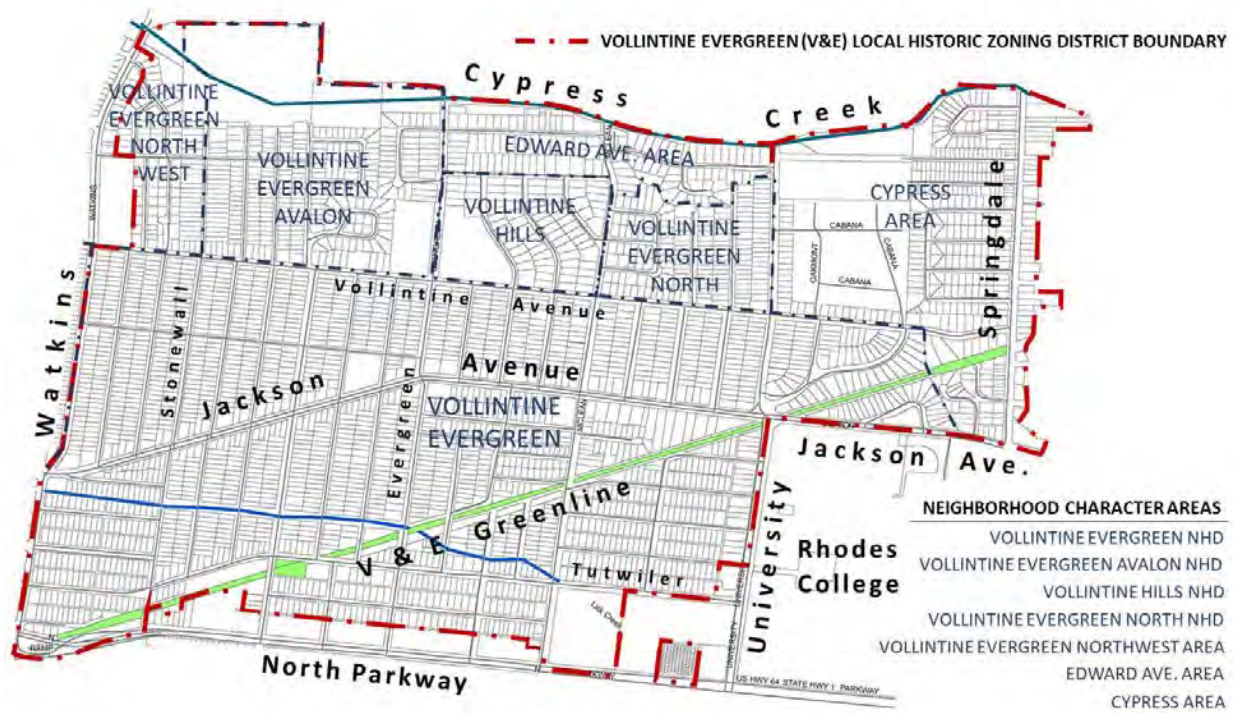
Throughout the guidelines the user will see the use of **“should,”** which is interpreted as highly encouraged and **“shall” or shall not,”** which refers to mandatory guidelines.

Where the word “should” appears, it is to be interpreted as “highly encouraged.” Mandatory guidelines will be indicated by “shall” or “shall not.”

II. Neighborhood Design Traditions and Historic Context

The Vollintine Evergreen neighborhood has approximately 3,500 individual properties to be included in the proposed V&E Neighborhood Historic District. The district contains four National Historic Districts listed on the National Register (NR) of Historic Places (Vollintine Evergreen, Vollintine Evergreen Avalon, Vollintine Hills, and Vollintine Evergreen North), as well as three sections of the neighborhood that are not listed on the NR in Cypress Area, Edward Avenue Area, and Vollintine Evergreen Northwest Area.

The NR nomination for the Vollintine Evergreen Historic District, which describes the largest section of the proposed V&E Neighborhood Historic District, indicates that the area contains the largest cohesive collection of eclectic style houses in Memphis. The vast majority of these homes have front or side porches, front terraces, or generous front stoops. The abundance of historic outbuildings, enduring residential setting, and low number of non-contributing resources, give the area a high degree of integrity.



Map 2: The boundaries of the Vollintine Evergreen Neighborhood Landmarks District roughly follow Cypress Creek on the north, University and Springdale on the east, Watkins on the west and North Parkway on the south.

Some of the neighborhood's contributing structures date from ca. 1905, but most are single-family residences were built during the 1920s and '30s. Interspersed among these historic homes are various size apartment buildings and four single-story neighborhood commercial centers.

A. Design Traditions of V&E Neighborhood Character Areas

Lessons from design traditions are useful in reflecting the basic character and framework of the V&E Neighborhood Historic District. The following descriptions separate the district into (7) seven-character areas to best describe their unique architectural traditions:

V&E Neighborhood Character Areas

I. Vollintine Evergreen National Register (NR) Historic District

The Vollintine Evergreen National Historic District was listed in 1996 and is comprised of 3218 primary and secondary structures, mostly constructed between **1922 and 1928**. The Vollintine Evergreen National Historic District is roughly bounded by Vollintine on the north, Watkins on the west, University on the east, and North Parkway on the south. It includes eleven 1930s Works Progress Administration (WPA) projects including the depression-era Lick Creek channelization and ten related bridge overpasses. Its building stock consists of one and one-half, and two-story residential buildings; garages; multi-family apartment buildings; churches; schools, and commercial blocks. The majority of the largely intact and homogenous residential building stock are excellent examples of Eclectic style residences such as **Bungalows, Tudor cottages, Colonial and Spanish Revival and Minimal Traditional** forms.



Map 3: The Vollintine Evergreen National Historic District Neighborhood Character Area, which is roughly bounded by Vollintine on the north, Watkins on the west, University and Cypress Creek on the east and North Parkway on the south.



Image 3: (Above) Example of Craftsman Bungalow Style found in many structures throughout Vollintine Evergreen National Historic District Neighborhood Character Area



Image 4



Image 5



Image 6



Image 7



Image 8



Image 9



Image 10

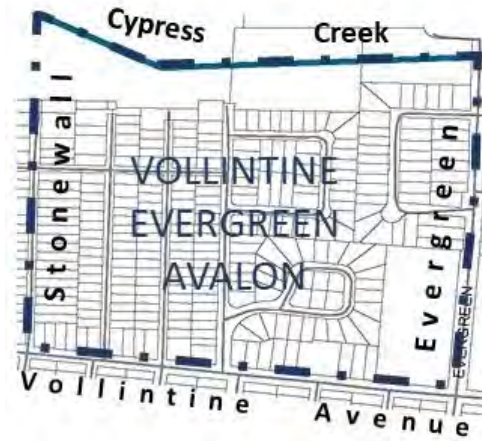


Image 11

V&E National Register Neighborhood Images

II. Vollintine Evergreen Avalon National Register (NR) Historic District

The Vollintine Evergreen Avalon National Register (NR) Historic District was listed in 1997 and is comprised of 459 primary and secondary structures, mostly constructed between **late 1920s and early 1940s**. The Vollintine Evergreen Avalon Historic District is bounded by Stonewall Street on the west, Vollintine Avenue to the south, Evergreen Street to the east, and Cypress Creek to the north. Its building stock consists of one, one and one-half, and two-story residential buildings (there is only one two-story in Avalon), garages, one school, and one commercial block. The housing stock in the western, older section of the district exhibits homogenous examples of late 1920s and 1930s **Tudor and Craftsman styles**. This district is different than the Vollintine Evergreen in that the eastern section is comprised of **Minimal Traditional, Cape Cod, and Colonial Revival style** homes built on curvilinear streets in the early 1940s.



Map 4: The Vollintine Evergreen Avalon National Register Historic District Neighborhood Character Area is roughly bounded by Stonewall to the west, Vollintine Avenue to the south, Evergreen Street to the east, and Cypress Creek to the north.

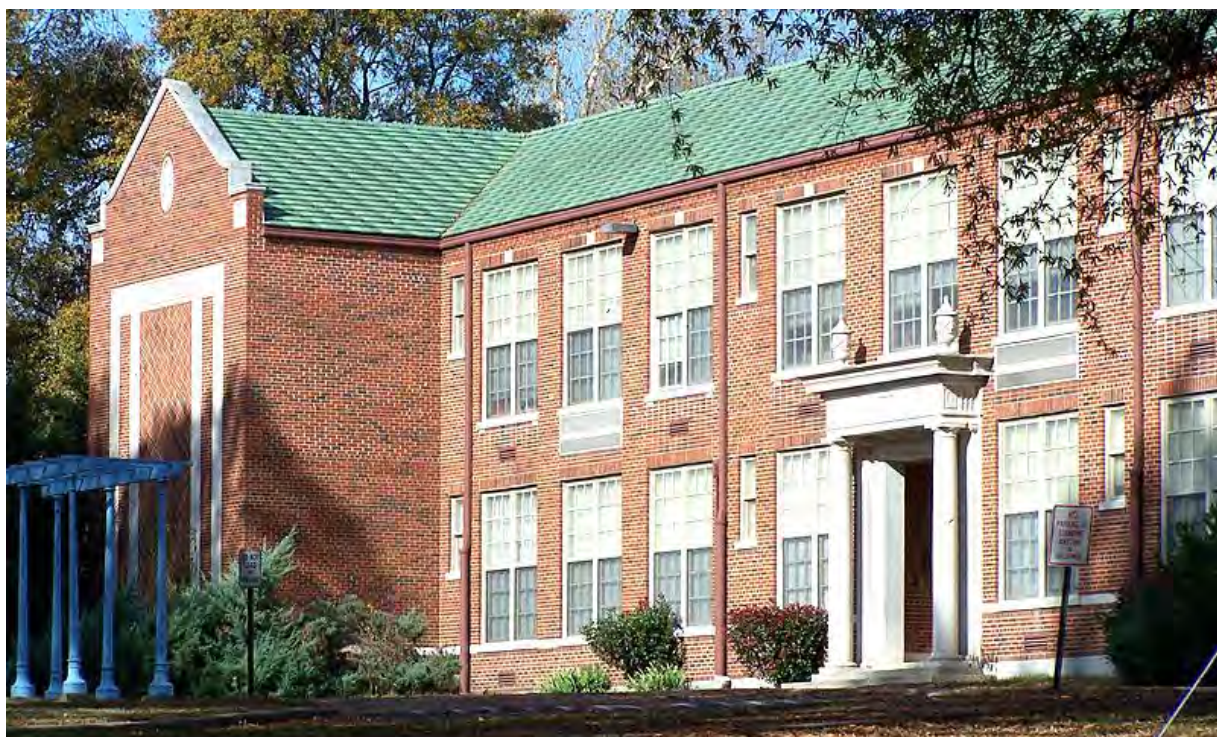


Image 12: (Above) Vollintine Elementary built in the 1920s exhibits a Colonial design as an anchor of the Vollintine Evergreen Avalon National Register (NR) Historic District Neighborhood Character Area



Image 13



Image 14



Image 15



Image 16



Image 17



Image 18



Image 19



Image 20

V&E Avalon National Register Neighborhood Images

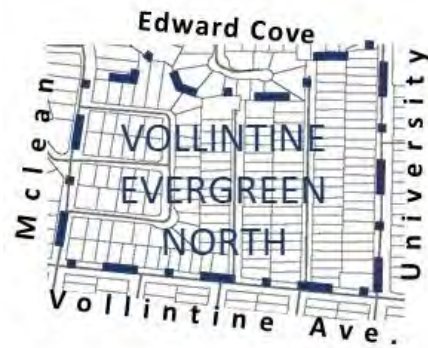
III. Vollintine Evergreen North National (NR) Historic District

The boundaries of the Vollintine Evergreen North National Historic District are McLean Boulevard to the west, Vollintine Avenue to the south, University Street to the east, and the north lot lines of Sheridan and Barksdale Streets, and Edward Cove to the north.

The Vollintine Evergreen North (NR) Historic District was listed in 1997 and is comprised of 282 primary and secondary structures, mostly constructed between **late 1920s and early 1940s**.

Vollintine Evergreen North (NR) Historic District's building stock consists of one, one and one-half, and two-story residential buildings, along with single-story garages.

The housing stock flows between the older section of the district exhibiting homogenous examples of late 1920s and 1930s **Tudor and Craftsman styles** on gridded street patterns. The newer section is made up of late 1930's and early 1940's **Colonial Revival style** homes built on curvilinear streets. From east to west the architectural styles change from **Eclectic style cottages** to **Minimal Traditional Cape Cod homes** on Rainbow Drive.



Map 5: (Above) The boundaries of the Vollintine Evergreen North National Historic District are McLean Boulevard to the west, Vollintine Avenue to the south, University Street to the east, and the north lot lines of Sheridan and Barksdale Streets, and Edward Cove to the north.



Image 21: (Above) Example of Minimal Traditional Cape Cod Style along Rainbow Drive in the Vollintine Evergreen North National Register (NR) Historic District Neighborhood Character Area



Image 22



Image 23



Image 24



Image 25



Image 26



Image 27



Image 28

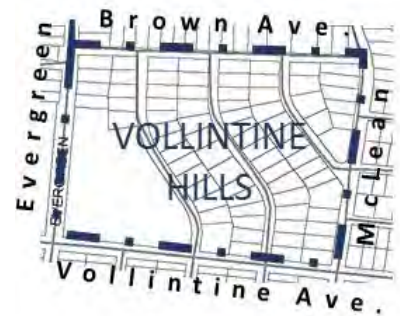


Image 29

V&E North National Register Neighborhood Images

IV. Vollintine Hills National Register (NR) Historic District

The Vollintine Hills NR Historic District was listed in 2007 and is comprised of 79 primary structures, mostly constructed circa **1946-1957** in conjunction with the development of former **Baron Hirsch Synagogue** (currently Gethsemane Garden Church of God In Christ) in the **International style**. The Vollintine Hills National Historic District is bounded by Evergreen Street on the west, McLean Boulevard on the east, Vollintine Avenue on the south, and Brown Avenue on the north. The original 1946 plat for the neighborhood included a large reserved parcel for the eventual construction of the synagogue, which completed its first phase in 1950-52. Of the 79 principal buildings in the district, 34 are **Minimal Traditional** houses, 26 are **Traditional Ranch** houses, 17 are **Massed Ranch** houses, and two are **Tudor Revival**.



Map 6: (Above) The Vollintine Hills National Historic District Neighborhood Character Area is roughly bounded by Evergreen Street on the west, McLean Boulevard on the east, Vollintine Avenue on the south, and Brown Avenue on the north.



Image 30: (Above) The architecture of Gethsemane Garden Church of God In Christ (former Baron Hirsch Synagogue) influenced surrounding structures in the International Style in the Vollintine Hills National Register (NR) Historic District Neighborhood Character Area

The district is unified both by its historic building stock as well as its contiguity to the former synagogue, set on a 12.4-acre site located at the southwest corner of the district. The district also retains integrity of setting, as the residential structures retain their relationship to the building seminal to the historic development of the district, former Baron Hirsh Synagogue (currently Gethsemane Garden Church of God In Christ). The district's integrity of setting is evoked by the streets including the wide north/south thoroughfares of Evergreen Street and McLean Boulevard that serve as major thoroughfares. Vollintine Avenue is a major east/west thoroughfare that connects the district with its adjacent larger neighborhood historic districts. The district's more intimate interior streets, consisting of Hawthorne, Idlewild, and Monticello, are curvilinear and feature broad setbacks, expansive lawns, sidewalks, and cohesive architectural styling.



Image 31



Image 32



Image 33



Image 34



Image 35



Image 36



Image 37

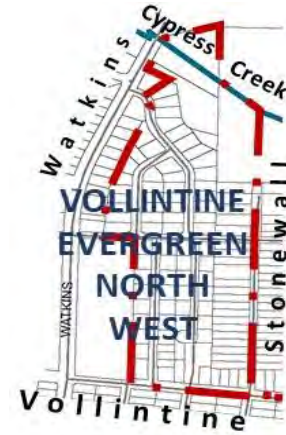


Image 38

Vollintine Hills National Register Neighborhood Images

V. Vollintine Evergreen Northwest Neighborhood Area

The Vollintine Evergreen Northwest Neighborhood Area is comprised of 76 single-family residences and 15 multi-family units for a total of 91 primary structures, mostly constructed between **1950 and 1970**. The area boundaries are Cypress Creek on the north, the east property lines of Watkins on the west, Vollintine Avenue on the south and Stonewall on the east. The building stock consists of single, one and one half, and two-story single-family and duplex residential buildings, and churches. Saint Court apartment building stock consists of one and two story, attached sections buildings with very modest **Colonial Revival** detailing.



Map 7: (Above right) The Vollintine Evergreen Northwest Neighborhood Character Area is roughly bounded by Cypress Creek on the north, the west property lines of Watkins on the west, Vollintine Avenue on the south, and Stonewall on the east.



Image 39: (Above) Example of Minimal Traditional Style found in many residences throughout Vollintine Evergreen Northwest Neighborhood Character Area

Residential structures are predominantly **Minimal Traditional**

and **Traditional Ranch** houses. A few infill houses are interspersed in the area. A few houses are deteriorated as of this writing and there are (17) seventeen vacant lots scattered throughout the neighborhood.



Image 40: (Above) The Saints Courts multi-family apartment complex consists of multi-story, attached buildings with very modest Colonial Revival detailing



Image 41



Image 42



Image 43



Image 44



Image 45



Image 46



Image 47

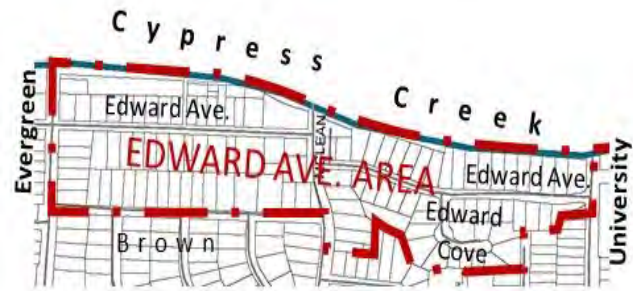


Image 48

V&E Northwest Neighborhood Area Images

VI. Edward Avenue Neighborhood Area

The Edward Avenue Neighborhood Area is comprised of 101 primary and secondary structures, mostly constructed between the **late 1930s and early 1970s**. The Edward Avenue Neighborhood area boundaries are Evergreen on the west, Cypress Creek on the north, the south property line of Edward on the south, and University on the east. Its building stock consists of one, one and one-half, and only a couple of two-story residential buildings.



Map 8: (Above) The Edwards Avenue Neighborhood Character Area is bounded by Evergreen on the west, Cypress Creek on the north, Brown and Edward Cove on the south and University on the east.

The housing stock flows between the older section, being a homogenous example of the late 1930s **Craftsman style**, and the newer section made up of **Colonial Revival** and **Minimal Traditional** homes and duplexes built in the 1950s and 1960s. Some newer sections include 1970s **Traditional** homes built within cul-de-sacs.



Image 49: (Right) Example of Minimal Traditional Style duplex built in the 1960s in the Edward Avenue Neighborhood Character Area



Image 50: (Above) Example of Ranch Style built in the 1970s in the Edward Avenue Neighborhood Character Area



Image 51



Image 52



Image 53



Image 54



Image 55



Image 56



Image 57



Image 58

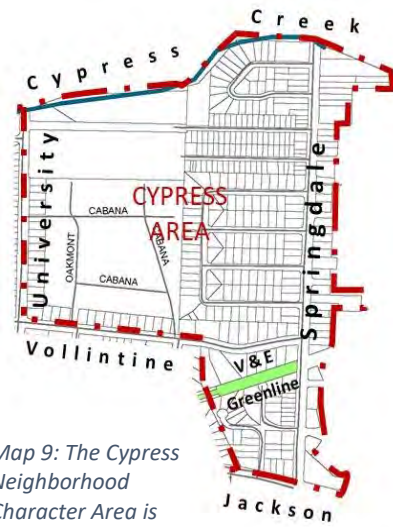
Edward Avenue Neighborhood Area Images

VII. Cypress Neighborhood Character Area

The Cypress Neighborhood Character Area is comprised of 382 primary and secondary structures, mostly constructed between the **1920s and early 1950s**, with a significant portion of apartment buildings and duplexes built in the **1960s**. The Cypress Neighborhood Area boundaries are University on the west, Cypress Creek on the north, Vollintine and Jackson on the south, and the east property lines of Springdale on the east. Its building stock consists of one, one and one-half, and two-story residential buildings (modern duplexes), garages, one school, three churches, and one commercial block.

There are (3) three major apartment complexes; a minimal traditional U-shaped plan in the north of the district; the large circa 1964 contemporary style University Gardens Manor in the center of the district; and two rows of circa 1967; and contemporary style duplexes along Vollintine and University.

The housing stock evolved between the older section in the north along Springdale, being a nearly homogenous example of the late 1920s and 1930s **English Tudor Cottages and Craftsman styles**, and newer sections made up of **Minimal Traditional** homes built on circular streets in the late 1940s and the early 1950s.



Map 9: The Cypress Neighborhood Character Area is bounded by University on the west, Cypress Creek on the north, Vollintine and Jackson on the south, and the east property lines of Springdale on the east.



Image 59: (Above right) An example of Tudor Revival Style found in the older section of the Cypress Neighborhood Character Area



Image 60: (Above) One of two rows of ca. 1967 Contemporary style duplexes along Vollintine and University in the Cypress Neighborhood Character Area



Image 61



Image 62



Image 63



Image 64



Image 65



Image 66



Image 67



Image 68

Cypress Neighborhood Character Area Images

B. Architectural Resources

Individual building features are important to the character of the V&E Neighborhood. The mass and scale, form, materials, and architectural details of the buildings are the elements that distinguish one architectural style from another. This section presents a summary of the different types and styles of architecture found throughout the neighborhood.

C. Predominant Architectural Styles

Vollintine Evergreen exhibits a wide range of American architectural style because of its extended development period from 1900 to 1970. The earliest styles are Folk (Vernacular) followed by eclectic styles which emerged in the United States in the late 19th century and gained momentum with Chicago's Columbian Exposition of 1893, which stressed correct interpretations of historical European styles.

Eclectic styles were interrupted and almost overwhelmed by the first wave of modernism in the form of Craftsman houses which dominated up until the Great Depression which began in 1930. Representing that era when no private homes were constructed, Vollintine Evergreen has multiple 1930s Works Progress Administration projects including the Lick and Cypress Creek channelization, and ten bridge overpass railings.



Image 69: (Above) Cypress Creek channelization project with concrete bridge railing along North McLean Boulevard.

Home building technology during this formative time included wood or balloon frame construction, and brick and wood veneers. This enabled builders and architects to draw on European and American antecedents. In the middle to late 1930s, Modern styles such as Minimal-Traditional and Ranch began to appear and would come to dominate in the decades after World War II.

Predominant residential types and styles throughout Vollintine Evergreen include:

1. Craftsman Bungalow & Foursquare
2. Cape Cod
3. Colonial Revival
4. International Style
5. Minimal Traditional
6. Traditional Ranch
7. Tudor or English Cottage

Predominant Architectural Styles

Craftsman Bungalow (Circa 1905-1930)

The bungalow is small in size, generally a single story or one and one-half stories. The roof can be front gabled or side gabled. Most common in the district is the front gabled bungalow.

Identifying features of the Craftsman style include a low-pitched gable roof with wide, unenclosed eave overhangs.

Roof rafters are usually exposed, and decorative beams or braces commonly added under gables. Porches, either full or partial width, have roofs supported by tapered square columns, which often extend to ground level. Some porches display half-timbering or jerkin head roofs.

Low-pitched gabled roof (occasionally hipped) with wide, unenclosed eave overhang

Roof rafters usually exposed.

Porches, either full or partial width, with roof supported by square or tapered columns.

Decorative beams or structural brackets under gable overhang

Columns or column based frequently coming to the ground level without a break at level of porch floor.



Illustration 2: Craftsman Bungalow Style

Craftsman Foursquare (Circa 1900-1920)

The Foursquare is a two-story house characterized by its cubic, roughly square, massing. The façade usually has four bays with a door and three window openings. Exterior walls can be brick, stone or cast stone veneer, or weatherboard.

Identifying features of the foursquare include a pyramidal or hipped roof, with hipped roof dormers on one or more sides. The porch is on the facade and sometimes extends to one of the elevations. It has a separate hip or half-hip roof.

The façade usually has four bays - a door and three window openings.

The roof is pyramidal or hipped, with hipped roof dormers on one or more sides.



Exterior walls can be brick, stone, veneer, or weatherboard.

The porch is on the façade and has a separate hip or half-hip roof.

Illustration 3: Craftsman Foursquare

English Tudor Revival (Circa 1890-1940)

The English Tudor Revival is found in the district in a variation of the bungalow. It features asymmetrical massing of steeply pitched roofs, walls with clean edges, unusual window patterns, tall front chimneys, and English detailing. The style reflects a frequent use of Tudor framing and half-timbering, with high contrast coloring.

Predominate Architectural Styles

The steep pitched roof contains cross gables, an important element of this style.

Identifying features of the Tudor Revival style include: an entry, which is generally an uncovered stoop, although it may contain an entry hood. Porches on the front or side. Terraces, sometimes hidden by landscaping can connect the front door to the side porch or drive.

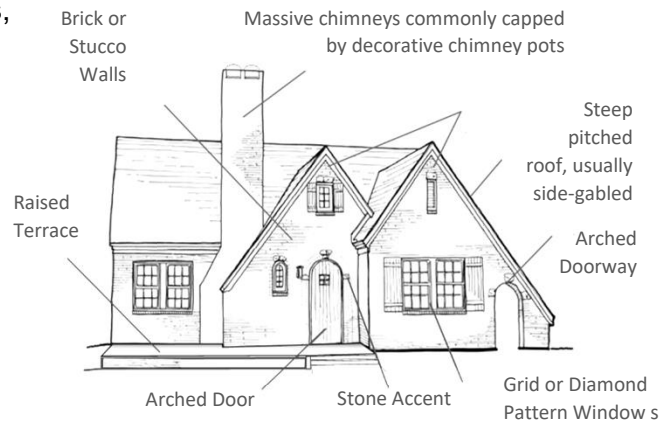


Illustration 4: English Tudor Revival

Colonial Revival (Circa 1880-1955)

The Colonial Revival style was one of the most popular architectural styles of the early 20th century. These dwellings were built with symmetrical floor plans and with classically detailed formal porches. Common characteristics are columns and pilasters, eave dentils and pedimented windows and doors. Dwellings in this style were constructed both of brick and frame and are generally one- and one-half to two-stories in height.



Illustration 5: Colonial Revival style

Identifying features of the Colonial Revival style include an accentuated front door, normally with an engaged pediment supported by pilasters, a symmetrical façade, and windows with double-hung sashes (usually multi-light).

Cape Cod (Circa 1920-1940)

The Cape Cod vernacular type was developed in early Colonial New England over three hundred years ago. It gained renewed national popularity in the late 1920s with the rise in popularity of the Colonial Revival style and, with the advent of the Great Depression, its initial small size and low cost made it very popular in developing suburban areas.



Illustration 6: Cape Cod Style

Predominant Architectural Styles

Identifying features of the Cape Cod style is one and one-half stories with a side gabled roof and central front entrance, often pedimented. Single window units are symmetrically arranged and usually contain six light sashes. Dormers were often built to expand and light the upper level.

Minimal Traditional (Circa 1935-1950)

These spare houses retain the form of traditional revival houses but lack their decoration. Often there is a large chimney and one front-facing gable.

Roof pitches are low, eaves and rake are close, and windows have little or no reveal.

Identifying features of the Minimal Traditional style include low sloped roof pitches, eaves and rake are close, and windows have little or no reveal. Brick veneered exterior surfaces are a common treatment. Any embellishments on the minimal traditional style are usually found at entrances.



Spare houses lacking decoration. Often there is one front-facing gable.

Brick veneered exterior surfaces are a common treatment.

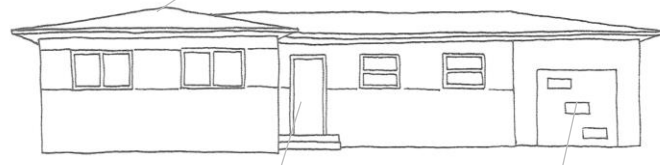
Illustration 7: Minimal Traditional Style

Ranch Style (Circa 1935-1975)

The Ranch Style is known for its broad horizontal, one-story shape built low to ground, low-pitched roof without dormers, commonly with moderate to wide roof overhang.

Identifying features of the Ranch Style include an asymmetrical façade. Front entry usually located off center, sheltered under main roof of house. The garage is typically attached to main façade with large picture window generally present.

Broad, one-story shape built low to ground, low-pitched roof without dormers, commonly with moderate to wide roof overhang



Asymmetrical façade, front entry usually located off center, sheltered under main roof of house.

Garage typically attached to main façade. Large picture window generally present.

Illustration 8: Ranch Style

Eclectic Mix

Eclecticism in the neighborhood is exhibited by architectural elements on a house coming from two or more other styles. These different styles are combined to produce a unique design style.

D. Design Principles

Many factors contribute to maintaining the historic nature of districts and their buildings, including scale, materials, color, massing, form, proportions, spatial relationships and supporting site features. A consistent and coherent architectural character fosters a sense of place.

The following four fundamental principles underlie the intent of the design guidelines for the V&E Neighborhood Historic District.

- I. **A building should be sensitive to its context.**
- II. **Maintain the existing sense of visual continuity throughout the district.**
- III. **New development should strike a balance between “old and new.”**
- IV. **The pedestrian friendly neighborhood should remain so.**

I. **A building should be sensitive to its context.**

How a building sits with respect to its perceived mass and scale, height, setbacks, and orientation **should** be appropriate for both its immediate context and for the established character of the district as a whole.

II. **Maintain the existing sense of visual continuity throughout the district.**

Continuity results from the repetition of similar design elements and a consistent sense of scale throughout the neighborhood. An established pattern of architectural styles and a consistent palate of building materials contribute to this sense of continuity.

III. **New development should strike a balance between “old and new.”**

A new building has the dual responsibility of being contemporary and clearly seen as a product of its own time, while at the same time being respectful of the historic precedent in the neighborhood and contextually appropriate for the district.

Variety exists within the neighborhood, but it does so within a limited range of design variables. New construction and building additions **should** work within the established palate of materials and forms that are historically appropriate and compatible within the district.

IV. **The pedestrian friendly neighborhood should remain so.**

The historic development pattern of the district places a premium on the relationship between the private and pedestrian realm. Homes have proximity to the public sidewalk, with the front porch or front terrace designed to convey a sense of the human scale that encourages pedestrian activity and builds neighborhood character.

III. Design Guideline Categories

This section provides design guidelines for property owners or potential investors in the V&E Neighborhood Historic District. Investment is encouraged in the neighborhood in a wide range of settings. This includes new buildings, additions to existing ones, landscaping, and other site work, both in the public right-of-way as well as within individual parcels.

Opportunities exist for new compatible infill projects and other improvements that will enhance the quality of life, strengthen the local tax base, and contribute to a more vital district.

At the same time, it is important that each development contribute to an overall sense of continuity and identity in Vollintine Evergreen. Design principles that encourage compatible scale and pedestrian-oriented environments serve as the basis for the design guidelines.

A. Neighborhood Design (ND)

Design guidelines in this category focus on ways individual projects work together to create a vital, functioning neighborhood. Design in the public realm and consideration of how an individual property relates positively to others in the vicinity are important considerations.

While new building infill and reinvestment is important to the vitality of the neighborhood, it recognizes that the preservation of the neighborhood's historic features is crucial to its long-term sustainability.

Parks and shared greenspace are key components of healthy neighborhoods. They have been shown to improve residents' overall quality of life as well as their physical and mental health. Some evidence suggests that neighborhoods become safer and experience lower crime rates following investments in parks and greenspace.

Green infrastructure such as the V&E Greenline, Beckwith and Green Triangles, Dlugach and University Parks, and Lyndale and Avalon community gardens offers additional ecological perks that may also directly benefit nearby residents, particularly those on their periphery of the neighborhood.

Access to parks and greenspace provides a particularly important metric for determining overall quality of life, in urban neighborhoods such as Vollintine Evergreen. A wealth of evidence has shown that those living near parks, urban trees, and other green environments experience improved physical health, mental wellbeing, and a greater sense of ownership in their communities and connectedness with their neighbors.

Rhythm along blocks is created through variation in building heights in addition to the repetition of architectural features. This form results in a continuous, varied block configurations and street frontage, where sets of aligned windows, transoms, and cornices punctuate the built environment.

These features serve as inspiration for new, compatible infill.

New development can demonstrate a sense of rhythm in a similar way with variations in height within a structure, a consistent pattern of ground level and upper-story windows and through façade details or durable materials.

1. Variation of Lot Widths

The historic pattern of lot division amongst blocks creates a distinct rhythm along a block face. Even as lots are subdivided or consolidated to accommodate larger buildings, this historic rhythm **should** be respected.

2. Historically Significant and Contributing and Non-contributing Structures

The period of greatest historic significance for a historic property is the time during which the property was essentially completed but not altered, and in which the style of architecture of the property was commonplace or typical.

It is important to identify historically significant and contributing landmarks properties so that special care is considered when renovation or adaptive reuse of these properties is proposed. Non-contributing structures are those that were found by an official architectural survey to not retain enough of their integrity to contribute to the locally designated historic district or to not be of a period that is reflective of the contributing buildings. Certain structures will stand out from the neighborhood character as clearly inconsistent. Some stand out not just because they are of a markedly inconsistent architectural style but have a negative impact on the neighborhood. While these structures certainly are a part of the current neighborhood fabric, they should be excluded from consideration as the defining character of the neighborhood and **should not** be used as a precedent to duplicate.

3. Sustainability

Sustainability and historic preservation movements share a common goal—to conserve the array of resources we presently enjoy so that future generations may enjoy them, too. Best practices in sustainability will be woven throughout the design guidelines.

Historic preservation is a powerful planning tool and effective way to ensure the sustainability, livability, and economic viability of a changing neighborhood. Preservation maximizes the use of existing materials and infrastructure, reduces waste, and preserves the historic character of older homes, buildings, and blocks. Reusing existing building stock conserves energy and avoids the high environmental cost of new construction (the energy that is required to extract, process, transport, and assemble construction materials).

B. Site Design (SD)

Design guidelines in this category focus on how improvements on an individual property are organized, including the placement and orientation of buildings, streetscape design, the location of service areas, and certain landscape features. These guidelines focus on

maintaining a sense of context for the neighborhood, and also may address making the best use of the property in terms of creating a sense of place.

The guidelines consider the potential impact of rehabilitation, exterior alteration, new construction and demolition on the streetscape and landscape, and evaluate the settings (location or setbacks) of buildings. In addition, such a review includes, but is not limited to, the following aspects of streetscape and landscape design, visible from the public right of way:

1. Public Streetscapes
2. Private Yards, terraces, courtyards, plazas, parks, alleys, and parking lots
3. Landscaping, plantings, tree maintenance, and tree removals
4. Fences, gates, and walls
5. Garden structures, decks, and permanently installed equipment
6. Water features, fountains, and swimming pools

1. Public Streetscape:

Streetscape refers to the visual image of a street, including the buildings, paving, utilities, signs, street furniture, plantings, and other design elements. The roots of the Vollintine Evergreen neighborhood street plan vary; its architecture and infrastructure present an eclectic streetscape. Design elements of its infrastructure, including the paving, utilities, sidewalks, and lighting.

- 1.1 The location and materials of sidewalks **should** be maintained where they exist historically.
- 1.2 Existing historic curbs **should** be maintained when improving curbs and gutters.
- 1.3 Existing landscape strips **should** be maintained between sidewalks and streets.

2. Private Yards:

- 2.1 Maintain compatibility of the front yard with existing adjacent yards.
- 2.2 Building designs on corner lots **shall** address both street frontages.
- 2.3 Excessive concreting in the front yard **shall** not be permitted. Front yard parking pads are not compatible with the period of significance and **shall** not be permitted.
- 2.4 An expanse of front yard paving breaks up the spatial relationship between the house and the street and **should** be minimized as much as practical.
- 2.5 Elevated private decks **should not** be seen from the street.

- 2.6 Hedging within the property line **should** be maintained far enough back from the sidewalk as to not encroach on walkers.



Image 70: (Above) Paving front yards, especially for use as parking, should be avoided. Front yards provide an important transition from public to semi-public to private space.

3. Hardscape and Paving Materials:

- 3.1 Every effort must be made to retain and preserve original paving materials. Deteriorated materials **should** be repaired rather than replaced.
- 3.2 New paving materials must reflect the materials that were used traditionally, but the method of their installation can reflect modern needs and technology.
- 3.3 More ornate or unique walkways that are severely deteriorated (i.e., terracotta or broken tile walkways) may be replaced using simpler appropriate materials in the same footprint.

4. Parking Lots and Parking Structures

- 4.1 Surface parking lots **should** be located at rear or the side of the primary structure.
- 4.2 Concrete ribbon paving may run from existing curb cuts, and carport or garage **should** be located at rear, detached from the main structure.

- 4.3 Use permeable paving where appropriate on site to manage storm water.
- 4.4 Paved parking areas **shall** not be in the front yard of any properties or in highly visible side yards where feasible.
- 4.5 Concrete driveways **should** be located only on lots with the size or topography to accommodate such a feature without major visual impact.
- 4.6 Place driveways so as to minimize harm to existing street trees and preserve opportunities to add new street trees.
- 4.7 Semicircular driveways are not compatible in the historic district.

5. Building Orientation and Setbacks

- 5.1 Orient the front of a house to the street and clearly identify the front door.
- 5.2 A building **should** fit within the range of yard dimensions seen in the block.
- 5.3 Maintain the uniform spacing of side yards.
- 5.4 New taller buildings, **should** step down to be compatible to the height of historic structures within the block.

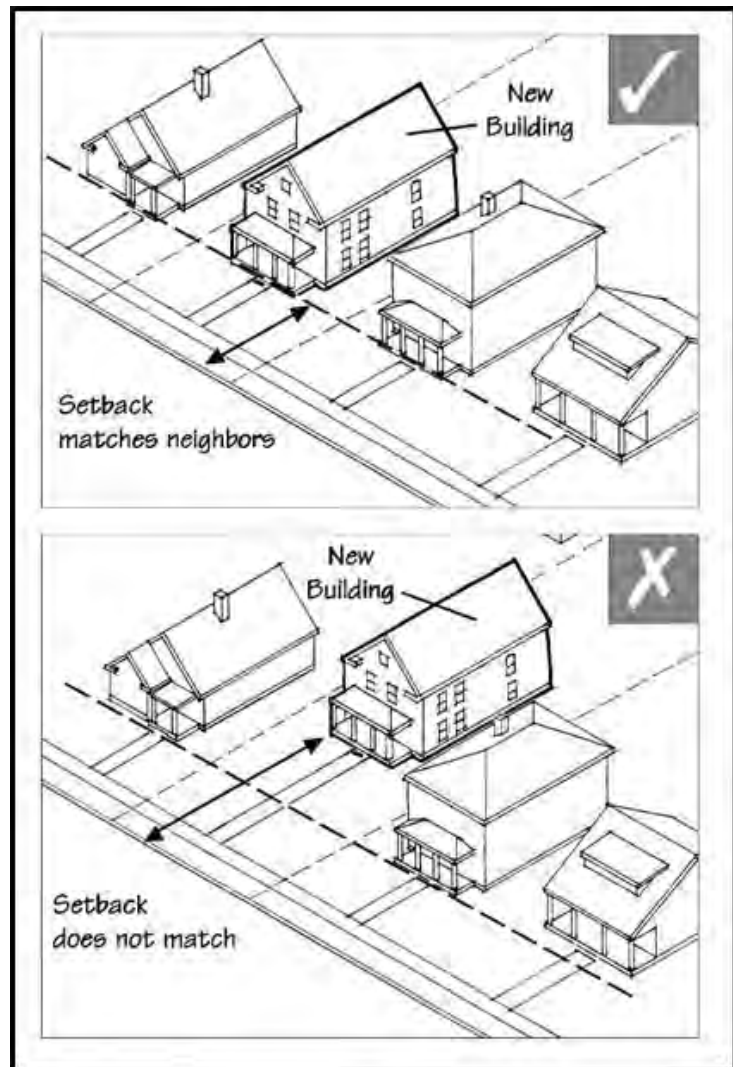


Illustration 9: (Right) This diagram illustrates contextual setbacks, which align with adjacent structures. Mis-matched setbacks should be avoided.

6 Fences and Walls

Fences and walls generally define yards in traditional residential neighborhoods and screen parking and service areas in neighborhood commercial anchors. Fencing and walls can also be helpful to property owners seeking greater security and privacy and may be appropriate along the rear and side of lots.

While fences and walls often serve a utilitarian function, they **should** also enhance the character of the street and appear to be integral components of site design. Aside from those that may be used to screen trash storage, fences and walls **should** typically be pedestrian scaled and permit partial views into the property.

Design fences and walls to be compatible with the site and adjacent buildings, as well as to create a separation of public and private space. Consider setting solid fencing back from the sidewalk and separate with a landscaped planting strip in order to soften the appearance of the fence's hard edge. While fencing **should** be in character with those seen traditionally, using no fence or wall at all is often the best approach.

- 6.1 High-quality materials **shall** be used for fencing and walls that are both durable and compatible with the primary structure. Appropriate fence materials include wrought or cast iron, aluminum, steel, wood pickets, and woven wire. Lattice surrounded by a wood frame may be approved as a fence detail. Brick, stone, and cementitious stucco are permitted wall materials.



Image 71: Example of appropriate transparent front yard fencing along sidewalk.

- 6.2 Inappropriate fence/wall types and materials include split rail fences, precast concrete panels, exposed concrete block, plastic, vinyl, fiberglass, and other non-traditional materials. Chain-link fences and barbed-wire or razor-wire are not permitted within the historic district and are discouraged at sites adjacent to the neighborhood. (The only exception is a rear chain link fence or solid wall that is not visible from a public street.)

6.3 Front yard fences **should** only be allowed if transparent and appropriate to the visual character of the block. Side yard fencing seen from the street on corner lots **should** be designed to meet the same guidelines as front yard fencing.

- a. Historically, front yard fences merely defined property lines and did not provide meaningful security. Often no front yard fence is the best approach.
- b. If allowed, fencing in front yards **should** be no more than 3-1/2 feet high and have a transparent quality. Only transparent elements, such as spaced wrought iron and wood pickets are appropriate front yard fencing materials. Chain link, vinyl fencing, split rail, and solid stockade fences are not allowed in front yards.
- c. A side yard fence/wall may extend from and be taller than its associated front yard fence, but must be located behind the primary façade of the house.

6.4 Side yard fences and walls **should** be no taller than 6 feet.

- a. A non-transparent side yard fence/wall's perpendicular extension toward the house **should** be set back a minimum of 1/4 of the depth of the house as measured from the front exterior wall (not including the porch.)
- b. A transparent side yard fence/wall's perpendicular extension toward the house **should** be set back a minimum of 6 feet from the front exterior wall (not including the porch).
- c. The side yard fence/wall **should** never extend beyond the front plane of the house (not including the porch).

6.5 Rear lot line fences (beginning at the rear corners of the house and continuing around the back yard) **should** be no taller than 8 feet.

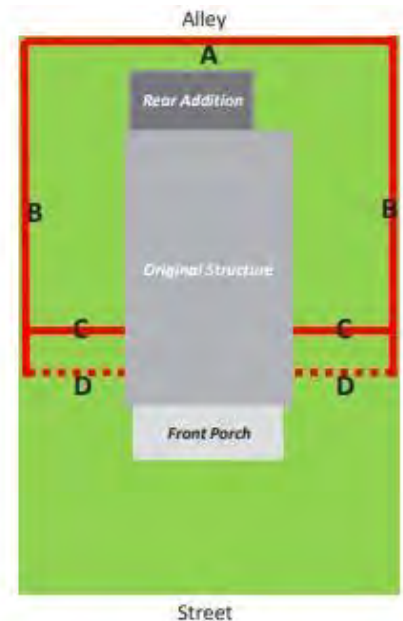


Illustration 10: (Above) Fencing placement and maximum heights.

A: Rear Fence maximum height of 8'.

*B: Side Fences maximum height of 6' (and **should not** extend beyond the front wall of the house).*

*C: Street facing Non-Transparent Fences maximum height of 6' and **shall** setback 6' behind the front wall of the main house (not including front porches).*

*D: Street facing Transparent Fences maximum height of 6' and **shall** setback 2' behind the front wall of the main house (not including front porches).*

- 6.6 All fences must be installed with the “beauty side” facing outward, meaning that the structural components of fencing must face the yard being fenced.
- 6.7 Opaque privacy fences are inappropriate along primary street frontages. If an opaque privacy fence is appropriate along a secondary street, the fence **should** be set back at least 2 feet from the sidewalk edge.
- 6.8 Front yard retaining walls **should** be no taller than the level of the yard.
 - a. Maximum combined height for a fence placed on a retaining wall **should** be 3-1/2 feet on the front and 6 feet on the side.
 - b. Appropriate materials for retaining walls are brick, stone, and stucco over concrete.

7 Landscaping

Landscaping should provide a functional and aesthetic enhancement of a property; screen objectionable objects from public view and replace scarred slopes of missing vegetation impacted by grading. Landscaping is meant to accent and enhance buildings and is not to be used as a screen for uninspired building architecture. Successful landscape designs consider the appropriate use of plant materials, (prioritizing native species,) proper plant spacing and long-term maintenance needs for each plant type.

- 7.1 Front yard landscaping **should** include living plants, such as shrubs, trees, groundcover, plants, and flowers. Up to 30 % percent of this landscape area may be covered by other material such as crushed stone, mulch or artificial turf.
- 7.2 Include natural, sustainable features to the site, such as shade trees, if appropriate, to reduce cooling loads for buildings.
- 7.3 Commercial and multi-family residential projects **shall** include landscaping which must be maintained for the life of the project. Creative use of natural landscape materials, native plantings, terraces, pedestrian walkways, and raised stone planters are encouraged.
- 7.4 Healthy mature trees are a shared asset to the historic fabric of the neighborhood and every effort **shall** be made for the preservation of all existing healthy mature desirable trees. All existing trees **shall** be protected from any construction activity.
- 7.5 If it is necessary to remove a mature desirable tree, the applicant or property owner **should** mitigate the loss of a tree by providing a 2” caliper or larger replacement tree.

8 Equipment and Accessories

The neighborhood supports green technologies and modern advances that were not available during the historic neighborhood's development. However, solar panels, antennae, satellite dishes and other roof equipment **shall** be placed where they are not visible from the street, if possible and do not extend higher than the existing building. As new technologies integrate solar panels into roofing materials that look more like historically appropriate roofing materials, these will be preferred when visible from the street.

- 8.1 Satellite antennas and dishes **shall** be installed where they are least visible from the street. To reduce their visibility, antennas **should** be installed as far back from the building's roof edge as possible, and installed at the smallest size possible, consistent with the requirements for reception and transmission.
- 8.2 Where possible, antennas **should** be concealed behind a parapet wall. Freestanding satellite dishes or antenna are to be screened by a wall, fence, or vegetation to be approved by MLC.
- 8.3 Necessary alterations such as handicapped ramps, sprinkler systems, and other code issues **should** be done in such a way that if the alteration were removed later, the original form and character of the building or structure would still be evident. An alteration **should** not damage historic features, details, or materials
- 8.4 Utility boxes and meters must be installed in the least obtrusive locations possible, where they are least visible from the street. Freestanding utility boxes and meters **should** be screened by a wall, fence, or vegetation. Utility boxes and meters **shall not** be installed on the primary façade unless no other option is available.
- 8.5 Locate mechanical equipment to the rear of buildings to the extent feasible. Screen the equipment from view using landscaping or using a fence or wall consisting of historically appropriate materials.
- 8.6 Plumbing vents **should** be installed so they are not readily visible from the public right-of-way and their installation **should** result in minimal damage to historic fabric
- 8.7 Window air conditioning units or condensers **should** not be located on the front façade of any building.
- 8.8 All rooftop mechanical equipment **should** be screened from view from the street.
- 8.9 Free standing lamp posts in front yards will be considered if similar character and in scale with the size of the structure.
- 8.10 Do not illuminate buildings and signs with visually intrusive light sources. Remote light sources **should** be shielded to protect light spillage to adjacent properties.

B. Building Design (BD)

1. Newly Constructed Buildings

New construction in the Historic District refers to the replacement of missing buildings or development of new structures. “New construction” also encompasses proposals for multiple types of housing (single family, duplex, tri and quad-plexes, townhouses, multifamily, commercial, and mixed-use developments) that could involve the construction of more than one building. Additions to existing buildings and structures are considered part of the rehabilitation process and, therefore, they are not addressed in this section (*Refer to Existing Structures: Alterations and Additions*).

While new construction is encouraged to differentiate itself from existing historic structures, a new building should be compatible with the surrounding district and draw on its historic context. This includes the way in which the structure is located on its site, the manner in which it relates to the street, and its basic mass, form, and materials.

The guidelines for new construction in this chapter also apply to projects involving an existing non-contributing structure in a historic district. The goal is to ensure that a non-contributing structure continues to fit within the overall guidelines for new construction, meaning that it does not adversely affect the character-defining features of the district.

Preservation in a historic district context does not mean that the area must be “frozen” in time, but it does mean that, when new building occurs, it should occur in a manner that reinforces the basic visual characteristics of the district. This does not imply, however, that a new building must look old.

Rather than imitating older buildings, a new design should relate to the fundamental characteristics of the historic structures on a block while also conveying the stylistic trends of today. It may do so by drawing upon basic physical elements and features of nearby older properties. Such features include the way in which a building is located on its site, the manner in which it relates to the street and its basic mass, form, and materials.

When these design variables are arranged in a new building to be similar to those seen traditionally, visual compatibility results. These basic design relationships are more fundamental than the details of individual architectural styles and, therefore, it is possible to be compatible with the historic context while also producing a design that is contemporary.

New construction **shall** be compatible with the existing residential structures along the same street-block in terms of this section’s design characteristics.

1.1 Building Height

Building height is the measured vertical distance by which the uppermost portion of the roof of a structure extends above the finished grade.

- 1.1.1 New residential buildings **shall** be constructed with a similar number of stories as existing residential structures constructed during the period of significance on the same street-block.
- 1.1.2 The height of new construction **shall** be consistent with the height of any residential structures constructed during the period of significance on the same street-block.
- 1.1.3 The height of new construction **should** not adversely affect the availability of daylight falling on neighboring properties.

1.2 Mass, Scale, Proportion and Form

- 1.2.1 Buildings **shall** appear similar in mass and scale to those adjacent to the new project.
- 1.2.2 A front elevation **shall** appear similar in scale to that seen traditionally in the block.
- 1.2.3 A large-scale structure **should** transition to decrease its mass and scale when located adjacent to smaller-scale structures. One method of decreasing mass and scale of the structure is stepping down the height of the building towards the adjacent smaller structures.
- 1.2.4 Architectural massing and form of new infill buildings **should not** contradict existing form and vocabulary of adjacent historical buildings.

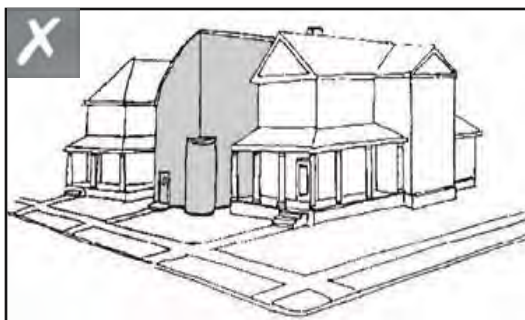


Illustration 11: Example of inappropriate massing and form of new infill building, which contradicts the existing form and vocabulary of adjacent historical buildings

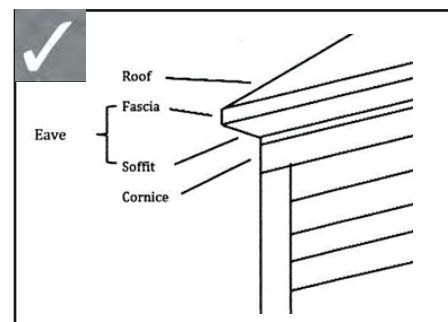
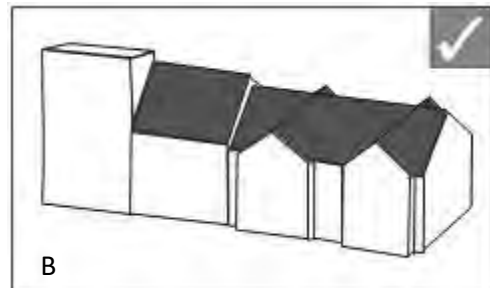
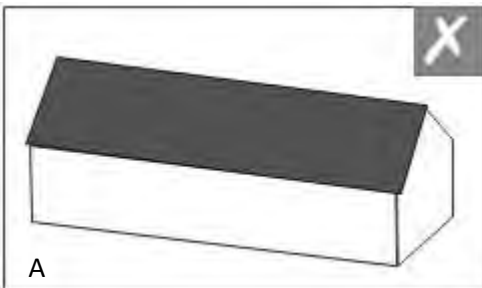


Illustration 12: Details of a traditional sloped roof overhang

- 1.2.5 Eave depths **should** be compatible with the architecture style of the house.

- 1.2.6 Sloping roofs such as gabled and hipped roofs are compatible for primary roof forms. The roof shape, slope and orientation of new residential buildings **shall** be consistent with the roofs of existing residential structures constructed during the period of significance along the same street-block.
- 1.2.7 Dormers of compatible scale and architectural style on the roof are appropriate.
- 1.2.8 Buildings **should** appear similar in width to those seen historically on the block.
- 1.2.9 Divide larger buildings into “modules” that appear similar in scale to buildings seen traditionally in the block.



*Illustrations 13 and 14: (A) Design **shall** avoid long expanses of the same roof form; (B) Articulate the roof using different forms and adding dormers and gables. The building plane should step along with changes roof form to add depth to long façade.*

1.3 Architectural Character

- 1.3.1 Using contemporary interpretations of historic architectural styles is encouraged for new buildings; however, the overall design **should** respect and respond to established historically contributing development patterns.
- 1.3.2 New building designs **should** use architectural features that are common to historically contributing buildings within the neighborhood character area.
- 1.3.3 New architectural details **should** relate to comparable historic elements in general size, shape, scale, and finish.
- 1.3.4 New residential buildings **shall** be constructed on a raised foundation as consistent with the foundation height of existing residential structures constructed during the period of significance along the same street-block.
- 1.3.5 Inclusion of new front porches and or front terraces is strongly encouraged.
- 1.3.6 Porch supports **should** be substantial in size so that the porch does not appear to float above the entry.
- 1.3.7 Although some character area images show street facing garage doors, new garages **shall** not dominate the front façade and **should** be setback behind the front wall of the dwelling.

1.3.8 New chimneys **should** be constructed of like materials, shapes, and sizes to complement other chimneys in the neighborhood.

1.4 Building Materials

1.4.1 Use of masonry materials such as stone, brick, and stucco similar to those seen traditionally is encouraged. Synthetic stucco systems **should not** be used.

1.4.2 Painting is not necessary to protect brick. Painting brick is not a recommended treatment for unpainted masonry, as it conceals its characteristic warmth and tonal variation and may also damage the wall by trapping moisture inside. Once painted, masonry must be maintained by continued repainting for the life of the structure.

1.4.3 Horizontal lap siding may also be considered as a primary building material or as an accent. Vertical direction siding is generally not acceptable.

1.4.4 Porch support materials **should** be similar to those used traditionally, like masonry, composite materials, or wood columns.

1.4.5 Other materials that are similar in character to traditional materials may be considered on a case-by-case basis.

1.4.6 Roof materials such as tile, slate, and composite shingles **should** be used that convey the scale and texture similar to those used historically.

1.4.7 Use of gutters and downspouts that carry the moisture away from the structure as well as site topography and vegetation that contribute to the sustainability of the property are encouraged.

1.4.8 Material color is not reviewed unless it is for the material color of brick, stone, or mortar or for signs and awnings. Material color can dramatically affect the richness of architectural detailing, the perceived scale of a structure, and it can help to ground a building with its context.

1.5 Windows and Doors

The relationship of width to height of windows and doors, and the rhythm of solids to voids in new residential buildings **shall** be visually compatible with residential structures constructed during the period of significance on the same street-block.

Along with the front door, windows give scale to the building and provide visual interest to the composition of the façades. Arrangement and the number of panes, or “lites,” are an important compositional element of windows. Door styles and window patterns and

configurations are connected with a building's period of construction and architectural style.

- 1.5.1 Windows and doors **should** be typical of the style used traditionally in the neighborhood, using true divided panes in lieu of thin applied muntin.
- 1.5.2 Use compatible and energy-efficient windows that match the appearance, size, design, proportion, shadow depth, and profile of other neighboring historic windows.
- 1.5.3 Windows **should** be simple in shape. Odd window shapes, such as octagons, circles, diamonds, etc., are most often seen in eaves or near entry doors and are appropriate in new construction only if they are appropriate to the architectural style and context of the home.
- 1.5.4 The type and detailing of a shutter **should** be appropriate for the age, type, and style of the building on which it is hung. If shutters or awnings are used, install historically appropriate operable shutters and traditional awning forms.
- 1.5.5 The front entry door **shall** reflect the home's architectural style. Use transoms to give height and proportion to openings.

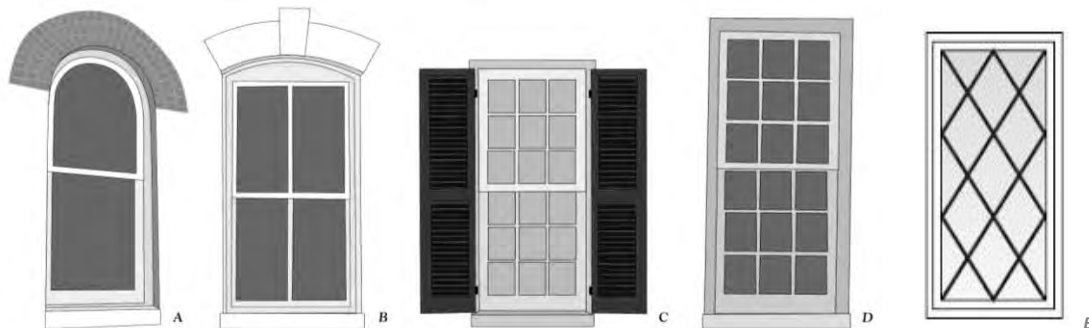


Illustration 15: Windows are evident in the number of glazing patterns in the historic district. In sash windows, glazing patterns are defined A-1, B-2, C and D-9, by the number of panes in the top sash and the number in the bottom sash.



Illustration 16: Paneled doors throughout the district are evident in a number of configurations. A panel at the base of a door is common in single and double doors. The four- and six- panel doors are the most common doors, and the five-panel door usually indicates twentieth century construction or a replacement door.

1.6 Secondary Structures

- 1.6.1 Secondary structures and outbuildings **should** be located in the rear yard and be subordinate to the primary structure in terms of height, massing, and overall size. These include garages, carports, sheds, and accessory apartments.
- 1.6.2 The location and design of outbuildings **should** not be visually disruptive to the character of the surrounding buildings.
- 1.6.3 A porte-cochère may be located in front of the habitable space of the primary structure as an extension of the front porch if consistent with any existing residential structures constructed during the period of significance on the same street-block.
- 1.6.4 Carports **shall** be placed to the side or rear of the primary structure. The front plane of the carport **shall** either line up with the front plane of the front façade of the primary structure or be setback from that plane.
- 1.6.5 Attached garages are prohibited on the front of the habitable space for the primary structure. Garages **shall** be secondary in scale and setback at least 25 feet from the front of the habitable space for the primary structure.
- 1.6.6 Outbuildings **should** reflect the design of the existing house and surrounding buildings and **should** be compatible in terms of height, scale, roof shape, materials, texture, and architectural details.
- 1.6.7 A secondary structure **should** be simple in form and character but compatible with the primary structure.

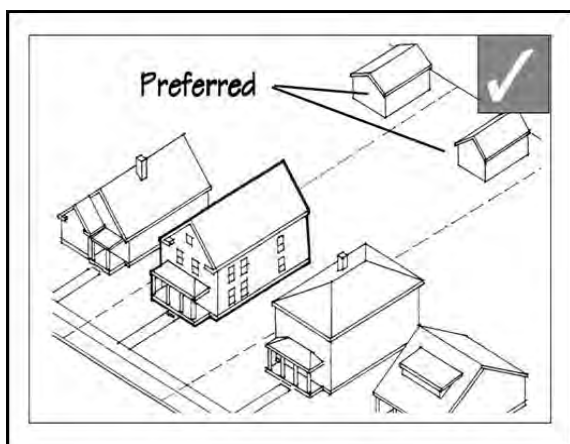


Illustration 17: Indicates the preferred location of new secondary structures, which aligns with the build zone of existing secondary structures

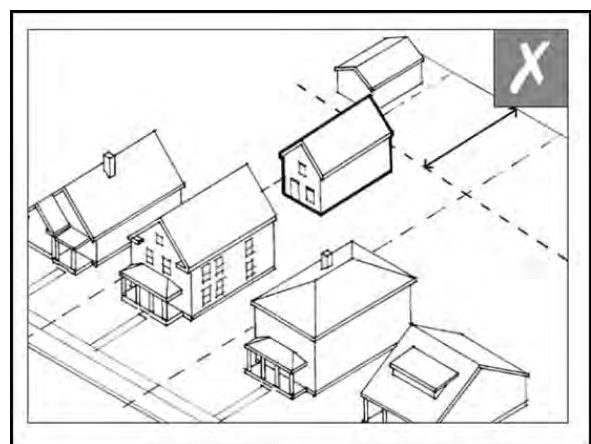


Illustration 18: Indicates inappropriate location of a new secondary structure, mis-aligned in relation to the adjacent secondary structure location pattern

2 Exterior Alterations to Existing Structures

When making changes to a historic structure, the least degree of intervention is preferred. The original building materials and architectural details of a building, from window openings to front porch columns, are character-defining features that contribute to its historic integrity, and the integrity of the historic neighborhood it inhabits. Continued repair and maintenance is always the best approach, but when alterations or replacement of original features is necessary, the following guidelines should be followed.

What is character-defining features? Significant historic features of houses include:

- *window and door openings*
- *exterior siding or cladding*
- *front porches, steps, and terraces*
- *architectural details, such as columns, brackets, or balustrades*
- *foundations, walls, and foundation piers*
- *masonry design patterns and stonework*
- *relationship of the structure to the landscape, streetscape, and surroundings*
- *chimneys*

- 2.1 Intact original features **should** be protected and maintained in good condition. Distinctive stylistic features and examples of skilled craftsmanship **should** be treated with sensitivity.
- 2.2 Altering or removing significant architectural features **should** be avoided. Retaining historic features or restoring deteriorated elements to their original condition is preferable in all cases.
- 2.3 Repairing historic features is always preferred over replacement. Repair only those features, or portions of features, that are deteriorated.
- 2.4 When choosing preservation treatments, always use the gentlest means possible that minimizes damage to original materials.
- 2.5 Original chimneys which are prominent features of the structure **should not** be removed or changed. Unpainted masonry on chimneys **should** remain unpainted.
- 2.6 When disassembly of a historic feature is necessary for its restoration, document the original feature and its location to reposition precisely, and work to minimize damage to the original materials.
- 2.7 While restoration and repair of original features is the preferred preservation approach, it may be appropriate to replace the feature or materials with an *in-kind* replacement.
 - a. Original light fixtures **should** be maintained whenever possible.

- b. Replacement **should** occur only when the original material or feature is beyond the point where repair is feasible. Only replace the portion that is beyond repair.
- c. Replacement materials **should** match the original as closely as possible in terms of color, dimensions, texture, and appearance.

2.8 Base replacement of missing or damaged architectural features or materials on a photo or physical evidence of the original appearance of the building, detail, or feature.

- a. Adding features or details that were not part of the original building or create a false sense of history **should** be avoided. Alterations that seek to imply an earlier period than that of the building are inappropriate.

2.9 When it is impossible to reconstruct an in-kind replacement due to a lack of pictorial or physical evidence, a new design or simplified interpretation of the feature or element may be considered.

- a. The new element **should** be comparable to features found on similar buildings of a similar construction date within the district in general appearance, shape, scale, texture, and finish.

2.10 Building Materials

Historically, wood, brick, stone, and stucco were the dominant building materials in the Vollintine Evergreen neighborhood. Original building materials and craftsmanship contribute to the visual continuity and character of the neighborhood and should be preserved in place.

Original materials should never be covered or subjected to harsh cleaning treatments. If the material is damaged, then limited replacement which matches the original should be considered.

2.10.1 Alterations **should** retain and preserve original historic materials when possible.

2.10.2 Alterations **should** not cover or obscure original façade materials.

2.10.3 Alterations **should** not use synthetic materials, such as aluminum, vinyl, or panelized brick, as replacements for primary building materials.

2.10.4 Alterations **should** preserve the original exterior cladding of the building.

- a. Non-historic siding (e.g., vinyl, asbestos, aluminum, brick veneer) may be removed to reveal earlier siding that often can be rehabilitated. The original, underlying material **should** be preserved and repaired wherever possible.

2.10.5 Alterations **should** preserve masonry features that contribute to the overall character of the building, including the original mortar joint and masonry unit size, the tooling and bonding patterns, coatings, and color of the historic structure.

- a. Unpainted brick and stone **shall not** be painted, nor **should** commercial sealants

or waterproof coatings be applied, except in extreme circumstances. Paint and commercial sealants can trap water in the bricks or stone and create additional problems, especially on interior surfaces where the water trapped in the wall will try to escape. If a brick or stone building has been painted, properly remove loose and peeling paint, and repaint with a breathable masonry coating.

- b. When repointing, match the original mortar in strength, composition, color, texture, joint width, and profile (see *Preservation Brief #02: Repointing Mortar Joints in Historic Masonry Buildings*). Historic bricks are softer than modern ones and if repointed with cement or a cement mix, it will lead to spalling and deterioration of the bricks themselves.
- c. When cleaning masonry to halt deterioration or to remove graffiti, paint, and stains, always use the gentlest means possible, such as low-pressure water, mild detergent, and soft natural bristle brushes. High-pressure water will erode mortar and force too much water into the masonry wall.
- d. Sandblasting **should never** be used, as it will not only erode mortar but will also remove the glazed outer surface of brick, which provides a weather-resistant coating, and so hasten deterioration.

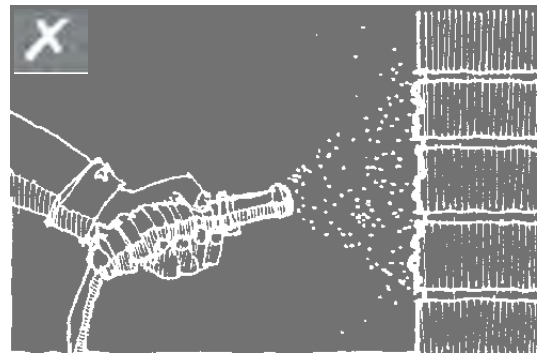


Illustration 19: Use approved technical procedures for cleaning, refinishing, and repairing historic materials. As shown here, harsh cleaning methods, such as sandblasting, or grinding are inappropriate.



Image 72: This photograph illustrates the negative effects of sandblasting which never should be used to clean brick buildings. Sandblasting will not only erode mortar but will also remove the glazed outer surface of brick, leaving a dimple texture.



Image 73. The spot repointing of this wall does not match the original in color, texture, or form of joints. The dark gray color and texture of the mortar indicates that Portland cement mortar was used. The cracked and spalled brick (center top) resulted from the expansion of the harder Portland mortar.

2.10.6 Preserve wood features that contribute to the overall character of the building by maintaining their original design, dimensions, and finishes.

- b. Protect wood features from deterioration by maintaining or reapplying protective coatings such as paints or stains.

- c. Use compatible paints, as some latex paints will not bond well to oil-based finishes without a proper primer.
- d. Repair wood features, where needed, by patching or piecing-in material. Removing repairable damaged wood **should** be avoided. If portions of wood siding must be replaced, the style and lap dimensions of the original must be matched.

2.10.7 When wood replacement is required, historic building materials **should** be replaced in-kind. If modern substitute materials must be used, they **should** match the original as closely as possible in terms of color, dimensions, texture, and appearance.

- a. E.g., when manufactured in similar sizes and shapes to wood siding and shingles and finished with a smooth coat of paint, some types of fiber-cement siding can be compatible with historic fabric. The installation method is similar to wood, allowing historic alignments around window and door frames.
- b. Aluminum siding, vinyl siding, and synthetic stucco systems are inappropriate materials and **should not** be used to replace original historic materials.

2.11 Windows and Doors

Windows and doors are some of the most important character-defining features of a structure. The style, placement, and substantial dimensions of original windows significantly affect the character of a structure, and their arrangement, functionality, and details **should** be preserved.

Altering the window type, style, shape, material, size, component dimension, muntin pattern or location can dramatically alter the appearance of the building. Proportions, orientation, divisions, and materials of a historic window are among its essential elements of design.

The components and details of a window are essential to defining the construction period and style, the pattern and configuration of proposed replacement windows **should** be historically appropriate for each building.

2.11.1 Original window and door proportions and materials **should** be maintained.

2.11.2 Preserve the function and decorative features of original windows and doors. All existing window and door assemblies **should** be preserved, with their defining elements repaired rather than replaced.

2.11.3 Alterations **should** retain the number, pattern, and placement of openings on primary façades.

- a. Infilling of historic openings generally will not be approved, and proposals to

infill non-historic openings will be evaluated according to the impact on the entire wall.

- b. New window and door piercings may be permitted on a case-by-case basis and generally only to accommodate an addition, renovation or if it is only realistic option to allow access for those with mobility impairments.

2.11.4 If replacement is necessary, new windows **shall** closely match the original windows in profile, dimensions, proportion, arrangement of panes and sashes, shadow lines, and materials.

- a. Wood, double-hung windows with traditional depth and trim are preferred.
- b. Snap-in muntins, are inappropriate and **should not** be used. Multi-pane windows **should** use true divided lites.
- c. Alternate materials such as composite wood and fiberglass may be considered. Aluminum and vinyl products may be appropriate when sash components have substantial dimensions.

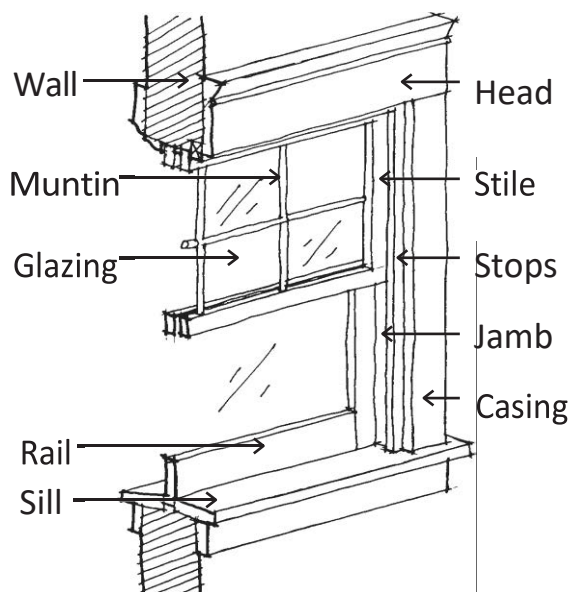


Illustration 20: Components of a typical double-hung window (Illustration courtesy of South Main Design Guidelines)



Image 74: The metal window is an obvious replacement for a much larger window that has been removed and the opening has been filled is not appropriate.

2.11.5 Historic windows are easily repaired by re-glazing and also patching and splicing wood elements such as the muntins, frame, sill, and casing. Older windows were built with well-seasoned wood that is superior to most new materials. Repair and weather-stripping or insulation of the original elements is more energy efficient, less expensive, and sound preservation practice.

- a. Rather than replacement, consider enhancing the energy efficiency of an existing historic window by installing a storm window, an insulated window shade, an awning, or adding weather stripping and caulking around the window frame.

2.11.6 The character-defining features of a historic door and its distinct materials and placement **should** be preserved. If a new door is needed, it **should** be in character with the architectural style of the building. This is especially important on primary façades.

- a. The decorative and functional features of a primary entrance **should** be preserved, which include the door, door frame, threshold, glass panes, paneling, hardware, detailing, transoms, and flanking sidelights.
- b. When replacing a front door, the original opening size and location **should** be maintained.
- c. A new replacement door **should** have a similar appearance to the original door.

2.12 Front Porches and Terraces

Like window and door openings, the front porch or terrace is often one of the most important character-defining features of a building, especially in the V&E neighborhood.

The original materials, mass, scale, and function of historic porches and terraces all contribute to both the architectural and social character of the neighborhood.

2.12.1 Original open porches and terraces **shall** be retained if at all possible.

- a. Enclosure of front porches with solid materials to create expanded conditioned **should** be avoided.
- b. Retain and repair original porch materials, dimensions, and architectural detailing.
- c. Maintain or repair elements as necessary, missing porch posts, balusters, floors, and railings **should** be replaced with an appropriate substitute feature and/or materials.

2.12.2 If an entire porch is missing, reconstruction of the porch **should** match the detail, form, and configuration of the original.

- a. Decorative elements consistent with the architectural style of the building **should** be maintained, repaired or replaced with similar features.
- b. The architectural character of the main structure **should** dictate the type and detail of any newly constructed columns.
- c. Porch support columns with narrow flimsy-looking capital and base **should** be avoided.

2.12.3 Open front porches **shall not** be fully enclosed to create additional indoor space. Avoid enclosing an existing porch or terrace. If a porch is enclosed, the enclosure design **should** preserve the sense of openness and transparency that is typical of the porches within the district.

- a. Enclosing a porch with opaque materials **shall** be avoided.
- b. Enclosing a porch with large areas of glass or screen material may be acceptable, as long as framing does not interfere with porch supports and is set behind them.

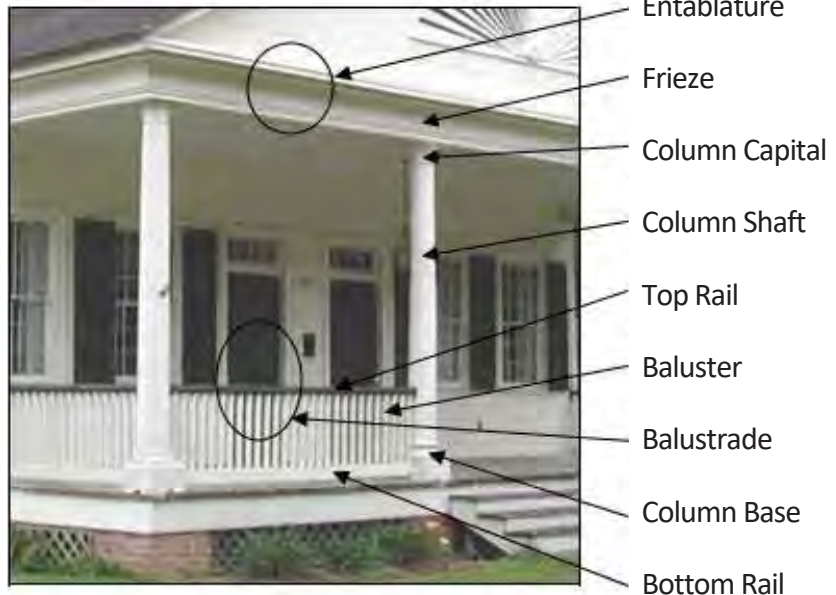


Image 75: (Above) Traditional Porch detailing (Image courtesy of *Standards for Starkville's Historic District Guidelines*)

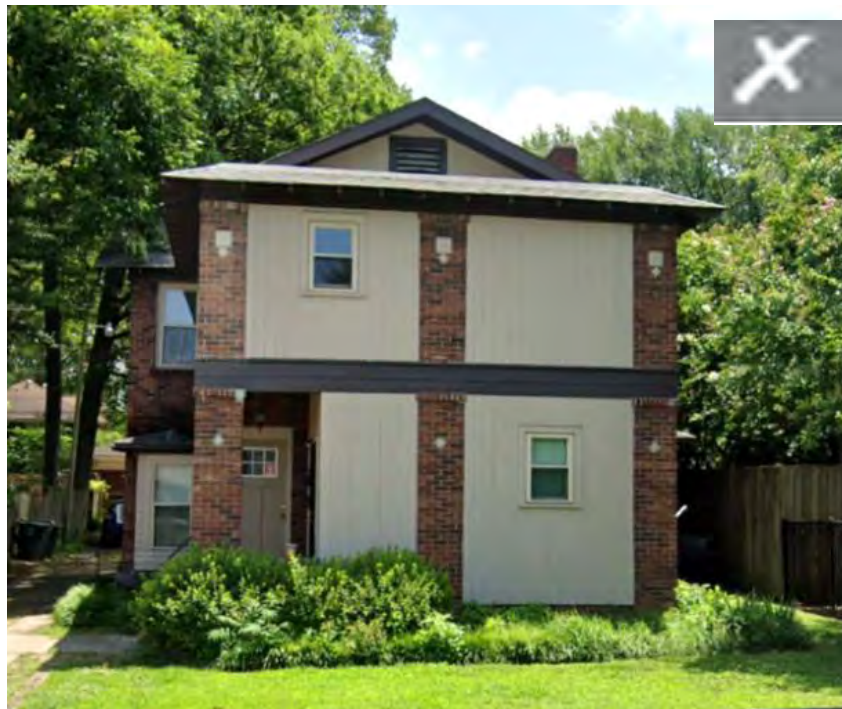


Image 76: (Left) Avoid enclosing a front porch with solid or opaque materials to create additional living space.

3 Additions to Existing Structures

The need for additional space is as historic as the buildings of V&E, and the tradition of adding on to buildings is expected to continue in the neighborhood. In order to protect the historic character of the original structure, new additions must preserve significant historic materials and features, and be compatible with, while also differentiated from, the historic building.

Essentially, new additions and adjacent or related construction should be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

3.1 A new addition **should** be located at the rear of the building or set back from the front to minimize the visual impact to the structure and streetscape.

a. Allow original proportions and character to remain prominent.

3.2 Design the location, scale, and massing of an addition or new house to avoid imposing an excessive amount of shadow upon neighbors' yard areas, pools, or solar collectors.

3.3 A new addition **should** be compatible in mass, scale, and form with the primary structure.

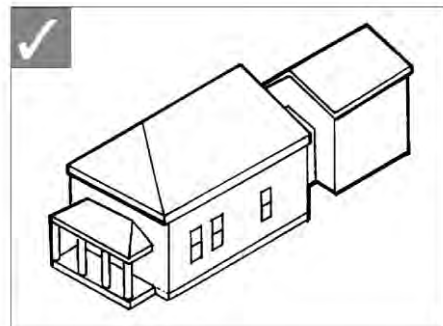
- a. Design additions to be subordinate in size and scale.
- b. Larger additions **should** be broken into smaller modules or set apart from the main structure and connected with a smaller linking element.

3.4 A new addition **should not** obscure, damage, or remove significant original features or materials of the primary structure.

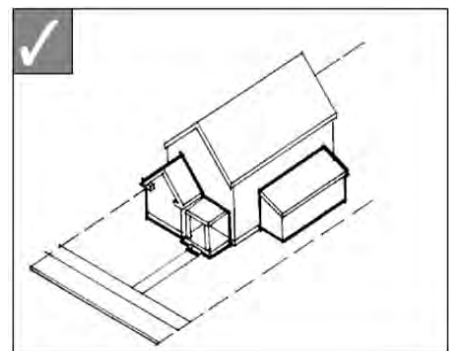
3.5 The overall design of an addition **should** be in keeping with the design character of the primary structure.

a. Use building materials that are compatible with those of the primary structure.

b. Use windows that are similar in proportion, orientation, divisions, and materials to those of the primary structure.



Illustrations 21 and 22: (above and below) Additions as subordinate in size and scale and located on the rear or side of the main historic structure.



- 3.6 Where previous additions or modifications have been inconsistent with the original architecture, restoration of the original architecture is encouraged, particularly where it will improve compatibility with the neighborhood.
- 3.7 Added roof forms **should** be compatible with the slope, massing, and complexity of the primary roof. Secondary roof lines **should** mimic the primary roof line.
- 3.8 The mass and scale of rooftop additions **should** be kept subordinate to the primary structure.
 - a. The addition **should not** overhang the lower floors.
 - b. Rooftop additions must be set back from the front of the structure.
- 3.9 On second-story additions and new two-story houses, maintain architectural continuity of materials and detailing around all sides of the house, especially where two-story houses back onto and are visible from adjacent streets or other public areas.
- 3.10 When adding a dormer to an existing roof, it **should** be in scale and character with the primary structure.
 - a. Dormers **should** be subordinate to the overall roof mass and compatible in scale and number to those on similar historic structures.
 - b. Dormers **should** be located below the ridge line of the primary structure.

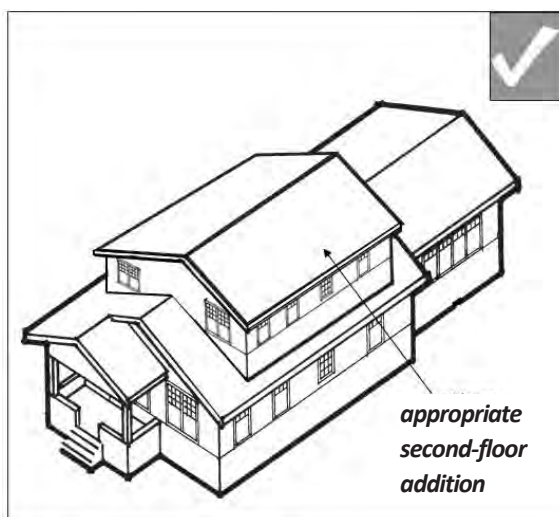


Illustration 23: When adding a second-floor addition to an existing single-story bungalow, it should be in scale and character with the primary structure.

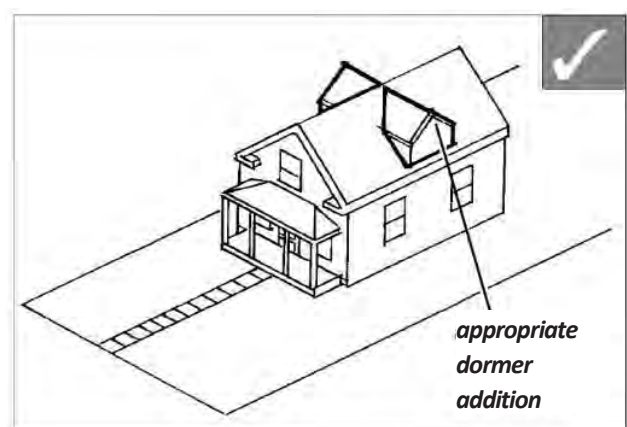
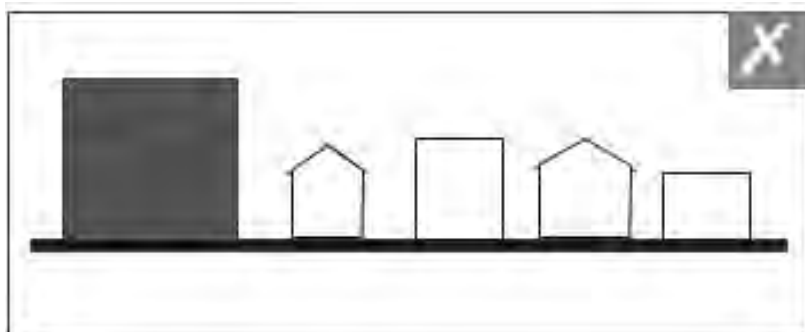


Illustration 24: When adding dormers to an existing roof, it should be in scale and character with the primary structure.

4 Commercial and Institutional Structures

- 4.1 These design principles apply to all new construction projects, and rehabilitations, renovations, and exterior alterations to commercial and institutional structures.
- 4.2 Maintain the traditional appearance of commercial and institutional buildings within the district. Position the primary façade towards the main street.
- 4.3 A new commercial or institutional building within the district **should** reflect the traditional configuration and scale of similar commercial structures within the district.
- 4.4 The roof of a new building **should** be visually compatible by not contrasting greatly with the existing commercial buildings' roof shape and orientations.
- 4.5 Buildings **should** appear similar in width to those seen historically on the block.
- 4.6 Exterior materials **should** reflect those appearing within the district. Simple material finishes are encouraged. Matte finishes are preferred. Traditional materials such as wood, brick, stucco, and stone, are typical exterior materials used within the district.

- 4.7 A new commercial or institutional building **should** be consistent with streetscape with respect to building height and number of stories; building scale and mass, width; and site configuration.



- 4.8 Replacing an existing commercial or institutional structure with a surface parking lot **shall** be avoided.

Illustration 25: The massing of the building on the left is out of scale with the neighboring structures.

- 4.9 Maintaining the storefront appearance of commercial and multi-use structures is strongly encouraged within the neighborhood commercial centers.

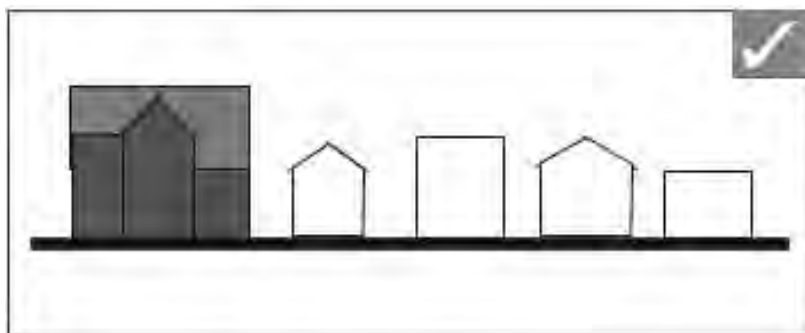


Illustration 26: When the massing of the building on the left is broken down to reflect the massing of the neighboring structures, the scale transition is much more compatible.

Common elements include ground floor large display windows, upper story windows with vertical emphasis are encouraged, entries in scale with over all façade.

5. Building Signage

Exterior signage in Memphis and Shelby County is officially regulated by the Unified Development Code (UDC.)

However, beyond the base regulations, the following section provides appropriate design guideline suggestions for exterior signage within the historic district.

Historic signage **should** be maintained to avoid impairment to a historic resource. New signage **should** exhibit physical character that is compatible with signage in the historic context.

- 5.1 New signage **should** be compatible with the property and façade to which it is applied.
- 5.2 Signs **should** be located on the flat, unadorned parts of the commercial façade such as storefront windows and the panels above the windows.
- 5.3 Signs **should not** hide architectural details such as windows, cornice details, or transom windows.
- 5.4 Signage **should not** project beyond adjoining buildings or interfere with the facades or details of its neighbors.
- 5.5 Wall mounted sign panels **should** be mounted flush to the building façade.



*Illustration 27: Not all buildings have all the architectural elements above, but these storefront components **should** translate to most building types.*



Image 77: (Above) Various examples of appropriately scaled and installed wall mounted and flag signage on this Vollintine Evergreen neighborhood commercial center at McLean and Faxon.

D. Demolition of Existing Historic Structures

Contributing historic buildings within the district are irreplaceable. The quality of the buildings' craftsmanship, design, and range of materials is unapproachable by today's conventional, rapid-paced, and mass-produced standards. While the designers, builders, and original owners can no longer touch, appreciate, and use the buildings, the historic resources created by them still remain as tangible proof of the culture, heritage, economic, development, and architectural history for the benefit of future generations.

Demolition by neglect is not a legal approach to removing historic structures. (Demolition by neglect refers to the practice of allowing a building to deteriorate to the point that demolition becomes necessary or restoration becomes unreasonable.)

Demolition Policy:

Demolition of a building shall only be considered if alternatives for rehabilitation are not feasible and the loss of a building will not adversely affect the integrity of the district. Demolition by neglect is not a legal approach to removing historic structures.

1. Criteria for Evaluating Demolition Proposals
 - 1.1 Does the building contribute to the historical or architectural character and importance of the district; and will the building's removal will result in a more positive, compatible visual effect on the district?
 - 1.2 If the building or structure contributes to the character of the district, is it of such old or uncommon design, texture, or scarce material that it could not be reproduced?
 - 1.3 Is the rehabilitation or reuse of the existing structure on the property economically unfeasibility? (Refer to the application for economic hardship on the MLC website.)
 - 1.4 Is relocation of the building or structure or a portion thereof, to any extent practicable as a preferable alternative to demolition?
 - 1.5 Could the proposed demolition potentially adversely affect other historic buildings located with the historic district, or adversely affect the character of the historic district?
 - 1.6 What is the age and character of the historic structure, and its condition?
2. If a Building is to be Demolished

- 2.1 Exhaust all alternatives before demolishing a contributing historic building.
- 2.2 Document the building thoroughly through photographs. The Memphis Landmarks Commission and the Tennessee Historical Commission **should** retain this information.
- 2.3 Make arrangements to salvage and preserve historical architectural elements, doors, windows, and hardware for future re-use. Contact Memphis Heritage <https://www.memphisheritage.org/> if donation of the material is the best salvage option.
- 2.4 If a site is to remain vacant for any length of time, improve the empty lot in a manner consistent with other open space in the district.



Image 78: (above) When demolition is the only alternative, salvage architectural historic elements for future reuse.

E. Relocation of Existing Historic Structures

This section provides general guidelines for consideration of relocation of a historic structure. While relocation is discouraged, it may be preferable to demolition when the new location would be compatible with the character of the building. When relocation is proposed, consider the following general guidelines.

1. Relocation **should** be a last resort after examining all other alternatives. Retain a building or structure at its historic location if feasible.
2. The “relocation” of a structure refers to moving a structure into or out of the district or from one site to another within the district.
3. Avoid moving an existing building that retains architectural and historic integrity and contributes to the architectural and historical character of the historic district.
4. Moving a non-contributing building may be appropriate if its removal and replacement will result in a more appropriate visual effect on the district.
5. A building may be moved into the district if it maintains a sense of architectural unity in terms of style, height, massing, materials, texture, and setbacks with existing buildings near the proposed site.
6. The relocation of a building will not result in a negative visual effect on the site and surrounding buildings where it is removed.

Sources:

A Field Guide to American Houses, Virginia and Lee McAlester, 1995 New York

City of Boise, Idaho, *Design Guidelines for Commercial Historic Districts*

City of Mobile, Alabama, *Design Review Guidelines for Mobile's Historic Districts*

Fredrick Town Historic District, *Historic Design Guidelines*

Memphis Landmarks Commission,

Mississippi Division of Archives and History, <http://www.mdah.ms.gov>

National Park Service Preservation Brief #02: Repointing Mortar Joints in Historic Masonry Buildings.

South Main Historic District, *South Main Guidelines*

Starkville, Mississippi *Standards for Starkville's Historic Districts*

Victorian Village, *Historic Design Guidelines*

IV. Glossary of Terms and Definitions

Adaptive Reuse: The process of returning a property to a state that makes a contemporary use possible while still preserving those portions or features of the property which are significant to its historical, architectural, and cultural values.

Alteration: Any act or process requiring a building permit or demolition permit that changes the exterior appearance or materials of a landmark or a structure within a historic district.

Applicant: The owner of record of a resource; the lessee thereof with the approval of the owner of record in notarized form; or a person holding a "bona fide" contract to purchase a resource.

Appurtenance: An accessory to a building, structure, object, or site, including, but not limited to, landscaping features, walls, fences, light fixtures, steps, paving, sidewalks, shutters, awnings, solar panels, satellite dishes, and signs.

Building: A structure created to shelter any form of human activity, such as a house, garage, church, community center, or similar structure.

Building Height: The measured vertical distance, by which the uppermost portion of the roof of a structure extends above the finished grade.

Certificate of Appropriateness (COA): An official signed and dated governmental document issued by either a local historic preservation commission or a governing authority to permit specific work in a historic district or at a landmark site or landmark which has been reviewed and approved.

Contributing structures: An existing building structure that retains enough architectural integrity to contribute to the locally designated historic district and was built during the period of significance for the historic district.

Compatible Design: Compatible design solutions are of similar scale and echo the architectural character of nearby buildings. Compatibility focuses on elements including building and parking location, building height and scale, orientation, façade articulation, architectural elements, building materials, roof forms and site characteristics.

Construction: Work that is neither alteration nor demolition. Essentially, it is the erection of a new structure that did not previously exist, even if such a structure is partially joined to an existing structure.

Demolition: The intentional act of razing, dismantling or removal of a structure within a local historic district or on a landmark site or which has been designated as a landmark.

Demolition by neglect: The practice of allowing a building to deteriorate to the point that demolition becomes necessary or restoration becomes unreasonable.

Design review guidelines: As adopted by the local historic preservation commission, they shall be in a written form designed to inform local property owners about historical architectural styles prevalent in a community. They will recommend preferred treatments and discourage treatments that would compromise the architectural integrity of structures in a historic district or on a landmark site or individually designated as landmarks.

Energy conserving features: Equipment and treatments that reduce the amount of energy expended in heating, cooling, or construction.

Exterior Features: Exterior features or resources shall include, but not be limited to, the color, kind, and texture of the building material and the type and style of all windows, doors, and appurtenances.

Fences and walls: Constructed vertical barriers that help define and screen yards, walkways, and parking lots.

Front Terrace: In Tudor Revival and English Cottage style homes, a concrete or stone surface takes the place of the front porch as an outdoor sitting area on the public side of the house. The surface connects the front door to the side porch or side driveway and at times goes across the entire front façade. It is generous enough to allow for outdoor furniture. Occasionally this space has a fixed awning for protection from the sun.

Gates: Movable portions of a fence or wall that allows passage through.

Historic district: A group of two (2) or more tax parcels and their structures and may be an entire neighborhood of structures linked by historical association or historical development. It is not necessary that all structures within a historic district share the same primary architectural style or be from the same primary historical period.

A historic district may also include both commercial and residential structures and may include structures covered by two (2) or more zoning classifications. A historic district may include both contributing and noncontributing structures. A historic district is designated by the commission and approved by the City of Memphis through an ordinance.

Historic landmark: A structure of exceptional individual significance, and its historically associated land, which is officially certified as a historic landmark but typically not included within a local designated landmarks historic district.

Memphis Landmarks Commission: The Memphis Landmarks Commission is a local historic preservation commission established to advise the local government on matters relating to historic preservation, including the designation of historic districts, landmarks and landmark sites, and which may be empowered to review applications for permits for alteration, construction, demolition, relocation or subdivision for structures in historic districts or on landmark sites or designated as landmarks.

Improvement: Additions to or new construction on landmarks or landmark sites, including, but not limited to, buildings, structures, objects, landscape features, and manufactured units, like mobile homes, carports, and storage buildings.

Landscape: Landscape is used to reference those parts of the Historic District that are planted and that provide relief from building and street fabric. Landscaped areas include the settings or yards of buildings, institutional campuses, and parks. It includes any improvement or vegetation including, but not limited to: Shrubbery, trees, plantings, outbuildings, walls, courtyards, fences, swimming pools, planters, gates, street furniture, exterior lighting, and site improvements, including but not limited to, subsurface alterations, site grading, fill deposition and paving.

Maintenance: Work done to prevent deterioration of a resource or any part thereof by returning the resource as nearly as practical to its condition prior to such deterioration, decay, or damage.

Mass: Mass refers to the size or physical bulk of a building, and can be understood as the actual size, or size relative to its surrounding buildings. Scale is also often referenced in our perception of mass.

National Register of Historic Places: A federal list of cultural resources worthy of preservation, authorized under the National Historic Preservation Act of 1966 as part of a national program to coordinate and support public and private efforts to identify, evaluate, and protect the nation's historic and archaeological resources.

The National Register Program is administered by the Commission, by the State Historic Preservation Office, and by the National Park Service under the Department of the Interior. Significant federal benefits may accrue to owners of properties listed or determined eligible for listing in the National Register.

Non-contributing structures: An existing structure located within the historic district boundary but was not built during the period of significance for the district (generally less than 50 years ago), or, if built during the period of significance, has architectural modifications that compromise its architectural integrity to contribute to the locally designated historic district.

Object: A material thing of functional, cultural, historical, or scientific value that may be, by nature or design, movable, yet related to a specific setting or environment.

Owner of Record: The owner of a parcel of land, improved or unimproved, reflected on the City of Memphis tax roll and in county deed records.

Period of Significance: Refers to the inclusive time-period of the development or construction of resources that defines the district. *(Resources less than fifty years old may be considered contributing to the historic district if they are related to an event of great historical importance, to a person of national or international significance, or if they are the work of a master architect or builder.)*

Period of greatest historic significance for a historic property: The time during which the property was essentially completed but not altered and which the style of architecture of the property was commonplace or typical.

Porte-Cochère: A covered entrance large enough for vehicles to pass through, typically opening into a courtyard.

Portico: A porch leading to the entrance of a building, or extended as a colonnade, with a roof structure over a walkway, supported by columns or enclosed by walls.

Preservation: The act or process of applying measures to sustain the existing form, integrity, and material of a building. Some work focuses on keeping a property in good working condition by repairing features as soon as deterioration becomes apparent, using procedures that retain the original character and finish of the features.

Proportion: Refers to the ratio of one dimension to another. The proportion of a building is referred to in the context of scale, which is the relationship between the size of the building to its addition or to the scale of adjacent buildings. Proportion also can indicate the relationship between height and width of a building façade or a door or window opening.

Relocation: The moving of a structure to a new location on its tax parcel or the moving of such a structure to a new tax parcel.

Repair: Any minor improvement to an existing building that is not considered an alteration, addition, relocation, or demolition and is not extensive as to require a building permit.

Resource: Parcels located within historic districts, individual landmarks, and landmark sites, regardless of whether such sites are presently improved or unimproved. Resources can be both separate buildings, districts, structures, sites, and objects and related groups thereof.

Restoration: The act or process of accurately depicting the form, features and character of a property as it appeared in a particular time period.

Rhythm: Regular occurrence of elements or features such as spacing between buildings. On structures, the repetition of rooflines, siding treatment, window placement or any number of visual elements.

Rising damp: Occurs in buildings when ground water travels upwards through porous building materials such as brick, sandstone, or mortar by capillary action.

Satellite antennas and dishes: Electronic communication devices used for telephone, television, and computer connections.

Scale: A term used to define the proportions of a building or building addition in relation to its surroundings or the proportional elements that demonstrate the size, materials, and style of buildings.

Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings: A federal document stating standards and guidelines for the appropriate rehabilitation and preservation of historic buildings.

Solar Panels: A panel designed to absorb the sun's rays and produce electricity or heating.

Site: The location of a significant event, a prehistoric or historic occupation or activity, or a building or structure, whether standing, ruined, or vanished, where the location itself maintains historical or archaeological value regardless of the value of any existing buildings, or objects.

State Historic Preservation Office: Tennessee Historic Commission houses the office.

Streetscape. Streetscape refers to the visual image of a street and all improvements within the public realm. These improvements include but are not limited to streets, curbs, gutters, sidewalks, utilities, signs, streetlights, and furniture, plantings, and other design elements.

Structure: A man-made object and typically will be visible because of portions which exist above grade. Structures built during the historic period, 1800 forward, may in some instances not be visible above grade if they are cellars, cisterns, or similar objects which by their nature are intended to be built into the ground.

A structure includes both interior components and visible exterior surfaces, as well as attached elements such as signs and related features such as walks, walls, fences, and other nearby secondary structures or landmark features.

Substantial deterioration: Structural degradation of such a nature that water penetration into a historic structure can no longer be prevented, or structural degradation that causes stress or strain on structural members when supports collapse or warp, evidence of which includes defective roofing materials, broken window coverings, and visible interior decay.

Survey of resources: The documentation, by historical research or a photographic record, of structures of historical interest within a specified area or jurisdiction or of existing structures within a proposed historic district.

Unauthorized demolition: The deliberate demolition of a historic structure without prior review and approval by a local historic preservation commission or a governing authority to which such a commission has made a recommendation.

Utility boxes and meters: Free standing or wall mounted equipment used to monitor the use of gas, water, electricity, and other services.

V. Appendices

Appendix A: Vollintine Evergreen Neighborhood Landmarks District Boundary Map

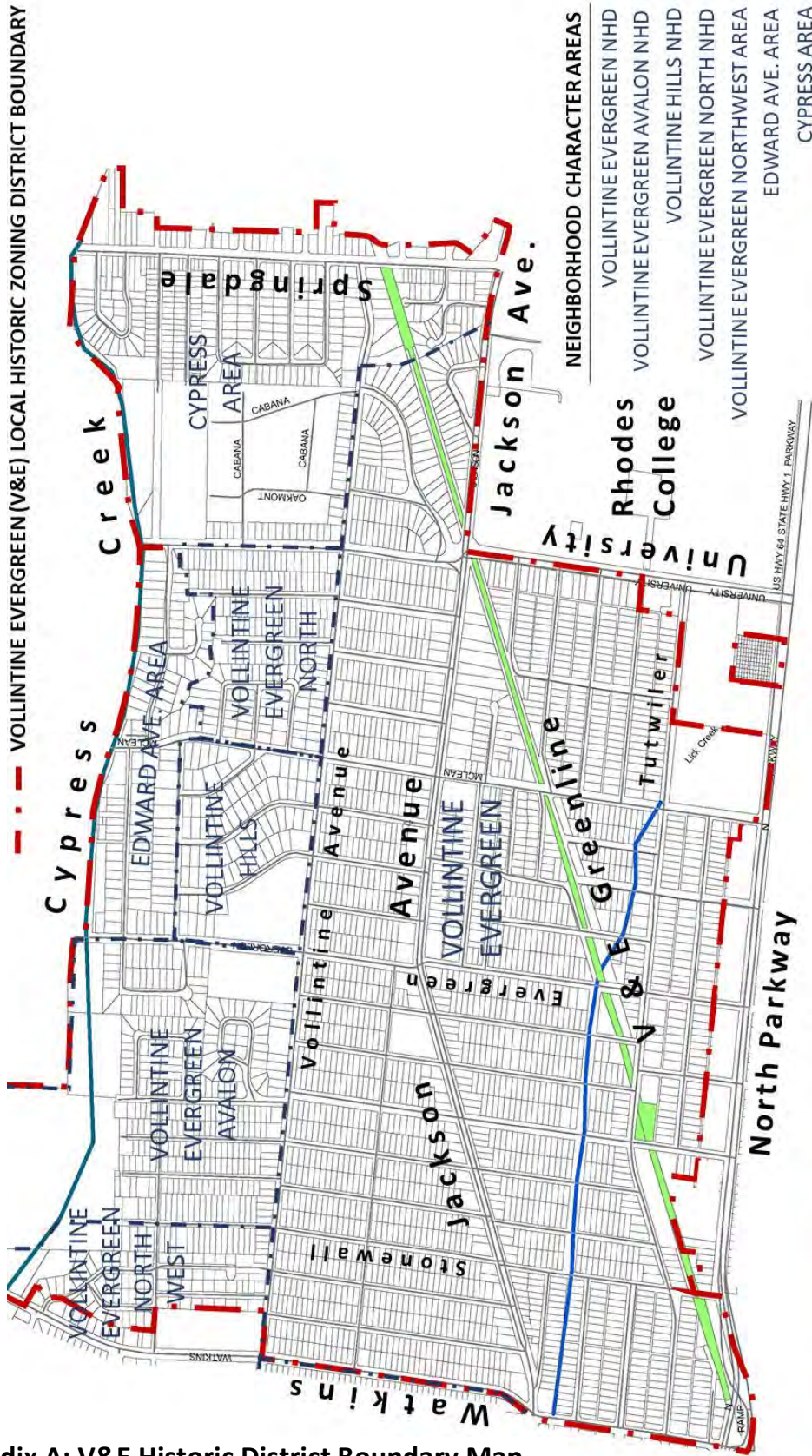
Appendix B: Flow Chart to Determine, Do I Need A Landmarks Review?

Appendix C: Outline of Work Reviewed by Landmarks in the V&E Historic District

Appendix D: Information for Ordinary Maintenance and Repair of Historic Structures

Appendix E: U.S. National Park Service - Preservation Briefs Series

Technical Publications; Incentives for the Rehabilitation of Historic Structures;
and United States Secretary of the Interior: *Standards for the Rehabilitation of
Historic Buildings*



Appendix A: V&E Historic District Boundary Map

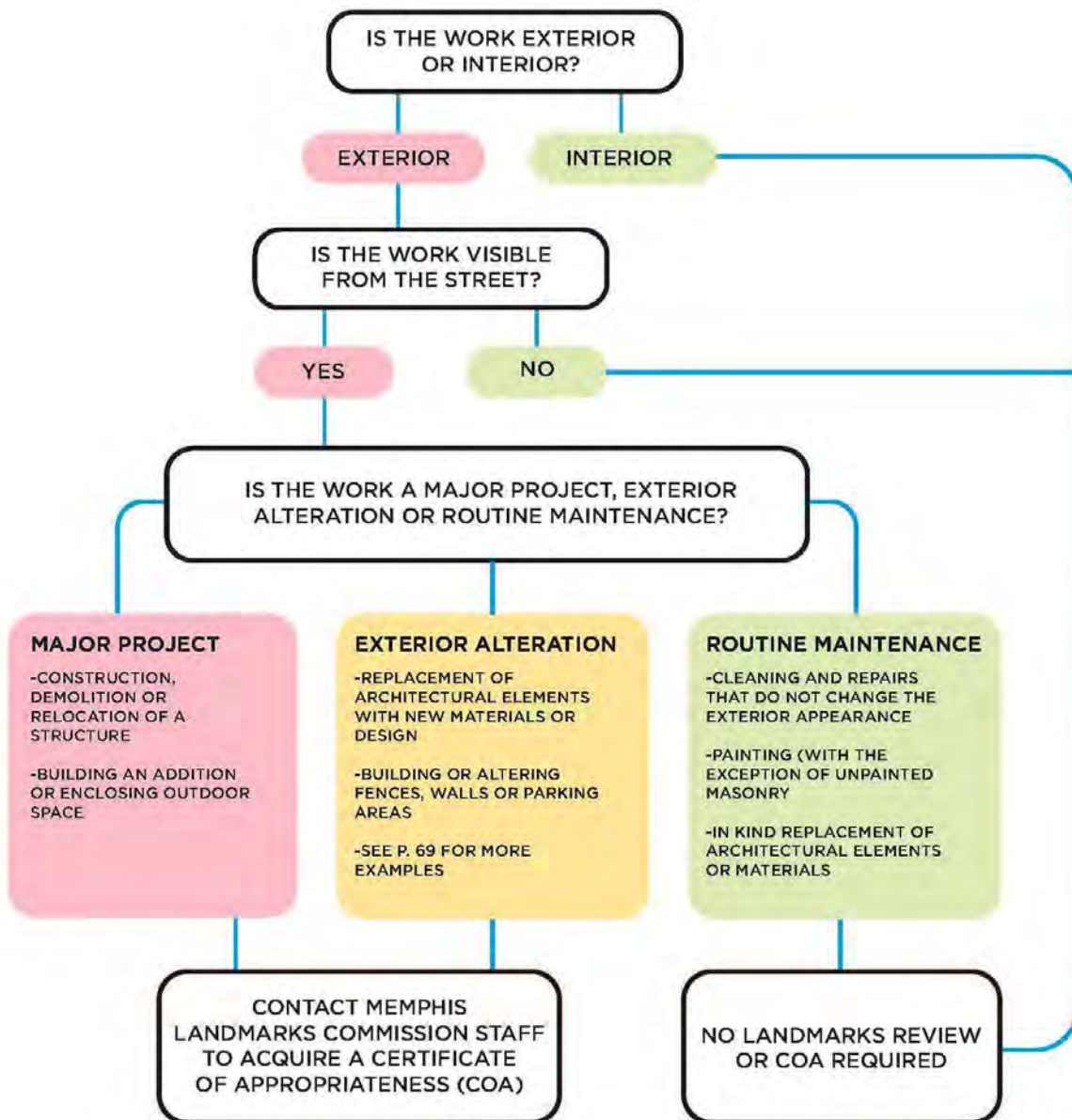


VOLLINTINE EVERGREEN HISTORIC NEIGHBORHOOD
Historic Zoning Boundary Map



Appendix B: Flow Charts for Determining Landmarks Review

DO I NEED LANDMARKS REVIEW?



Appendix C: Summary of Work Reviewed by Landmarks in the V&E Historic District

LANDMARKS COMMISSION REVIEW CRITERIA FOR PROJECT TYPES

The following list is provided as a general outline of the level of review that may be expected for various types of projects that are often undertaken. It is not intended to be comprehensive, and cannot cover every circumstance that will be encountered in a project. The assignment of work to a review category is a guideline and staff may assign a given project a higher level of review.

Work Reviewed by the Memphis Landmarks Commission in this Historic District*

** Note that only work that is visible in whole or in part from a public street (or streets in the case of a corner lot) are reviewed. Generally, visibility includes all portions of the front and side elevations that are visible from the adjacent street or sidewalk. Contact the Memphis Landmarks Commission office at (901) 636-6619 for staff determination of individual project review requirements.*

ORDINARY MAINTENANCE & REPAIR

These guidelines **do not apply** to ordinary repairs, general and routine maintenance. General maintenance or limited repairs to correct deterioration that does not involve a change to the design or materials of the building and does not involve abrasive or destructive cleaning methods. This also includes any work that replaces something in a "same for same" fashion without any alterations.

NEW CONSTRUCTION:	DEMOLITION:	ADDITIONS:	RELOCATION OF BUILDINGS:
new primary structure new accessory structures garages / carports / porte-cochères fences and walls driveway gates outbuildings/storage sheds	buildings/primary structures additions garages/carports outbuildings/storage sheds porches removal of features	habitable additions to primary structures enclosure of garages as habitable space enclosure of porches and terraces dormer additions to increase living space roofline changes to add habitable space	into a district out of a district within a district within a property or site

EXTERIOR ALTERATIONS:

Exterior alterations need review and approval even if a building permit is not required. The list below describes examples of alterations that must be reviewed and does not determine what is allowable or unallowable.

DOORS, WINDOWS, & ENTRANCES	ROOFS, CORNICES, & DORMERS	PORCHES & TERRACES	MASONRY & SIDING	SITE IMPROVEMENTS
Replacement of windows or doors Removal or relocation of building openings Commercial storefront alterations	Change in the material or shape of the roof Change in materials or design of dormers, brackets, eaves, and cornices. Installation of solar devices	Replacement or removal of porch columns or railings Enclosure of porches Replacement of porch or terrace floors	Replacement or alteration of siding materials Painting, repointing, or abrasive cleaning of masonry	Construction or alteration of driveways or parking pads Construction or alteration of fences, walls, retaining walls, or gates

Appendix D:

Information for Ordinary Maintenance and Repair of Historic Structures

This ordinary maintenance and repair appendix section is provided to be helpful information to the homeowner and is not a mandatory part of the MLC Certificate of Appropriateness (COA) review process.

Ordinary maintenance and repair refer to any minor improvement to an existing building that is not considered an alteration, addition, relocation, or demolition and is not extensive as to require a building permit.

The key to caring for a historic building is preventative maintenance and ordinary repair. The most common adversaries of historic buildings are moisture and water infiltration, but excessive exposure to wind, sunlight, temperature variations, insects, rodents, vegetation, and mold can all cause damage to building fabric.

Regular inspection and timely upkeep help preserve original building materials and architectural details, thus helping the structure retain its historic integrity and property value and minimizing the need for costly more extensive repairs in the future.

Preventative maintenance refers to work done to prevent deterioration of a resource by returning the resource to its condition prior to such deterioration, decay, or damage. Routine maintenance of a property that does not involve altering historic fabric does not need approval from the MLC unless it will change the exterior appearance.

New or old, all building materials will deteriorate over time. Regular maintenance addresses problems prior to noticeable deterioration, preventing the need for more aggressive treatments such as major reconstruction or alterations, which require review by the Memphis Landmarks Commission (MLC).

Refer to NPS Preservation Brief #47 Maintaining the Exterior of Small and Medium Size Historic Buildings for comprehensive maintenance guidance.

Appendix E:

United States National Park Service Historic Preservation Technical Publications

Preservation Briefs Series - U.S. Department of the Interior, National Park Service

The National Park Service publishes short informative pamphlets to aid in the preservation of historic structures. Each pamphlet focuses on a certain aspect of preservation work or by building component. Below are the titles of each brief that are available on the National Park Service website: www.nps.gov/history/hps/tps/briefs/presbhom.htm

Incentives for the Rehabilitation of Historic Structures

Questions about the eligibility of a structure for the National Register of Historic Places should be directed to the Historic Tax Credit Division of the Tennessee State Historic Preservation Office website: <https://www.tn.gov/environment/about-tdec/tennessee-historical-commission.html>

United States Secretary of the Interior: *Standards for the Rehabilitation of Historic Buildings*

The Secretary of the Interior's Standards are general rehabilitation guidelines established by the National Park Service (NPS) can be found on their website: <https://www.nps.gov/tps/standards/rehabilitation/rehab/stand.htm>

Name	Address
Section 1	
PEACE AND VICTORY MISSIONARY BAPTIST	1287 GETWELL
BRYANT ROSETTA (LE) AND DONALD	2153 HUNTER AVE
HENDERSON SUSIE	4849 CUFFEYWOOD
ROBERTS TEMPLE MINISTRIES INC	1202 CHICKAMAUGA AVE
PURDY GEORGE H & DORA M	6545 OAK CREEK CV
RANSOM FREDERICK	3118 CRUMP AVE
MITCHELL BRIA	982 OAKVIEW ST
EL-TAYECH GHASSAN	2145 LITTLEMORE PKWY
MASON WILLIE JR & CLARICE D	2017 PENNEL
JOHNSON ETTA	1069 RAMONA ST
DUNLAP RICKIE L	2158 N HUBERT CIR
WESTBROOK JOHNNY	2166 HUBERT CIR
HENRY MODIE F	2021 HUBERT AVE
BETHANY CAROLYN R	2047 HUBERT AVE
REDD NIKITA S	2796 BERRYHILL RD
SPENCER BILLY	2097 HUBERT AVE
SPRINGDALE MISSIONARY BAPTIST CH (TRS)	1193 SPRINGDALE ST
FTC INC	4566 LAKE VISTA DR
SPRINGDALE BAPTIST CHURCH (TRS)	1193 SPRINGDALE ST
SPRINGDALE BAPTIST CH (TRS)	1193 SPRINGDALE ST
COLINDRES ROLAND O V	2162 S HUBERT CIR
HOLY BODY OF CHRIST	3075 KIRKCALDY RD
EVANS KATIE L (ESTATE OF)	1164 SPRINGDALE ST
SANDERS RANDY	6658 AUTUMNWOOD CV
FULLER TOMMY & BERNICE M	2141 HUBERT CIR
SANDERS TAKIYAH F	7065 IRELAND DR
JPS PROPERTIES LLC	226 N EVERGREEN
CANN TY-SONN R & SHUNTINA C DUNLAP	2149 S HUBERT CIR
WILKS DORISTINE B	2167 S HUBERT CIR
SHELBY COUNTY TAX SALE 15.01	PO BOX 2751
WOLFE AARON J & GIGI H	236 STONEWALL
VOLLINTINE-EVERGREEN COMMUNITY	1680 JACKSON AVE
SHELBY COUNTY TAX SALE 0704 EXH #6714	PO BOX 2751
LOCUST DOREY AND VALVETTA JACKSON (RS)	2162 HOWELL AVE
LOCUST DOREY	2162 HOWELL AVE
THORNTON JAMES	3037 BIRCHFIELD DR
LOVE JAMES H SR	137 RUNNING RIVER PL
WOLFE A J	236 STONEWALL ST
OWENS NATHANIEL AND JOHN OWENS AND	2179 HOWELL AVE
SEYMOUR NATASHA D	2225 HOWELL
SEYMOUR JAMES E & SHIRLEY H	2227 HOWELL AVE
NOYES RALPH	P O BOX 11433
SMITH COBY V AND CONSTANCE S	2240 BROWN AVE
BOWERS NICHOLUS	2126 BROWN AVE
JONES BETTY	1083 ANNESDALE #101

City, State, Zip Code

MEMPHIS TN 38111
MEMPHIS TN 38108
BARTLETT TN 38135
MEMPHIS TN 38109
MEMPHIS TN 38115
MEMPHIS TN 38112
MEMPHIS TN 38114
CORDOVA TN 38016
MEMPHIS TN 38116
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CORDOVA TN 38016
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CORDOVA TN 38018
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MEMPHIS TN 38111
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MEMPHIS TN 38108
MEMPHIS TN 38104

DAVIS VERONICA L
SPIKER BRIAN
CARR JERRY M
COLE JAMES JR AND DRIZELL M COLE
DAVIS LAKEITHA
SNOWBALL 221 LP
SNOWBALL 221 LP
CHU BAK SAI & LUM VET SUM
DAILEY CURTIS
SHELBY COUNTY TAX SALE 0305 EXH #6021
CRAIGEN SALLIE AND JAMES CRAIGEN AND
WOOLRIDGE EARNESTINE
WILLIS ARDELL M
SEAVIEW INTERNATIONAL LLC
COLE RICKY
ROSEBUD ELZIE L & SHIRLEY A
FIELDS DONALD
FREEMAN ESTELLA
JS PROPERTY MANAGEMENT GROUP LLC
NEELY GERALD
JACOBS INEZ B AND JENNIFER A JACOBS (RS)
SMITH ALBERT AND TERESIA L S BANKS
SMITH SAMMY
LOMAX RAIFORD III
LAVILLA PROPERTIES LLC
CLAYTON TERRY R
EUBANKS HENRY
WILEY SADIE M & JOSEPH L
JPS PROPERTIES LLC
COLE PAULETTE J AND PAULA C INGRAM AND
LOMAX JEAN A
NOEL JUANITA O
996-998 U STREET LLC
YOUNG ANNETTE S AND PEGGY RODGERS AND
DESTINY CONNECTIONS INC
MOORE DENNIS & PAULETTE (RS)
IBTC LLC
CURRY DARRELL
TAYLOR JANICE
ALSTON CALVIN
SULMERS GEORGES
JACKSON ED & CORNELIA J
MID SOUTH HOMEBUYERS GP
CARTWRIGHT CLEOPRIA D AND TIWANA W YOUNG
CLAY ONEAL
HAYWOOD LUBERTA
GP NOMINEE LLC

3421 SKIPPER ST
1779 KIRBY PKWY #BOX 172
2133 BROWN AVE
1448 ORIOLE ST
12209 SAINT PETER CT #E
5099 OLD SUMMER RD #C
5099 OLD SUMMER RD #C
1112 SPRINGDALE ST
11164 ST ANDREWS PL
PO BOX 2751
244 W LAFAYETTE AVE
2233 BROWN AVE
3227 BLUEFIELD ST
8046 N BROTHER BLVD #103
2224 DEVOY AVE
315 N AVALON ST
3841 WINDY AVE
2139 PIEDMONT AVE
1737 HUNTGATE CV
PO BOX 34277
2193 PIEDMONT AVE
2168 BERKELEY AVE
256 AVALON ST
1052 SEYMOUR ST
1184 ASHFORD LN
3776 MARYDALE DR
2169 BERKELEY AVE
2175 BERKELEY AVE
226 N EVERGREEN
1036 SPRINGDALE ST
1038 SEYMOUR ST
1031 SPRINGDALE ST
6312 SEVEN CORNERS CTR #361
1029 SEYMOUR ST
1603 STABLE RUN DR
2156 ALAMEDA AVE
708 N IDLEWILD ST
2168 ALAMEDA AVE
1254 HESTER RD
7655 FAIRWAY FOREST DR W
806 STOCKWELL ST
1023 SEYMOUR ST
46 FLICKER ST
2157 ALAMEDA AVE
2163 ALAMEDA AVE
2171 ALAMEDA AVE
111 S HIGHLAND ST ##404

LAKE CHARLES LA 70607
GERMANTOWN TN 38138
MEMPHIS TN 38108
MEMPHIS TN 38108
GERMANTOWN MD 20874
MEMPHIS TN 38122
MEMPHIS TN 38122
MEMPHIS TN 38108
LOS ANGELES CA 90047
MEMPHIS TN 38101
BALTIMORE MD 21217
MEMPHIS TN 38108
MEMPHIS TN 38128
BARTLETT TN 38133
MEMPHIS TN 38108
MEMPHIS TN 38112
MEMPHIS TN 38128
MEMPHIS TN 38108
CORDOVA TN 38016
MEMPHIS TN 38184
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38112
MEMPHIS TN 38108
LINCOLN CA 95648
NASHVILLE TN 37207
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38112
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
FALLS CHURCH VA 22044
MEMPHIS TN 38108
CORDOVA TN 38016
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38116
CORDOVA TN 38016
NASHVILLE TN 37207
MEMPHIS TN 38108
MEMPHIS TN 38104
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38111

HOUSTON OLIVIA D
CLEAR THE WAY SUPPORTIVE HOUSING CORP
THOMAS ANTONIO
WORTHAM BEVERLY A
CARNES WOODROW & JUANITA
MONIX ANTHONY T & DORETHA A
HOOF SANDRA K
AKINDONA STEPHEN
BAKER CAROLYN R
REDD VICTOR H
BROOKS LAQUISHA E
GAINES MAGGIE
GRAY DELORIS H
DAVID CASH JR AND HOPE LEAVY AND KEITH
WARREN CAROL L AND DEAH B WARREN (RS)
KING HOMES 38 LLC
MYER LAURA AND GREAT MEMPHIS HOMES LLC
STONE MANDY L AND MANDY J STONE (RS)
WILSON MICHAEL W
DUNN CARL E JR & GWENDOLYN E
PEAL PERCY AND JOANN JONES AND ANNIE
CAMPBELL DONALD E & FREDERICA J
SEASONS INVESTMENTS LLC
BOSHWIT BROS MORTGAGE CORP
MCKINNEY MICHAEL D
BENNETT BENJAMIN H
GRAY CARSON AND DANNY GRAY (RS)
BIRKEDAHL BRADLEY D & BRADLEY D
ADAMS GAYLA V
CLEAR THE WAY SUPPORTIVE HOUSING CORP
FLAGG DAVID N & DOLORES P
SCARBORO NICHOLE S AND DOUGLAS SCARBORO
JMJL ENTERPRISES LLC
BERRY ROMINITA M
SMITH LILLIAN C
VANESSA CONNER
FONG WENDY W
FRASSINELLI JOHN J AND PATRICK J GOLDEN
THOMAS STEPHANIE
WRIGHT WESLEY A
HOOKS HELEN M
LEE EMILY J
CITY OF MEMPHIS & SHELBY CO
FLEISCHMAN SUZAN
SHELBY BETTY J
JMJL ENTERPRISES
RIO LOBO LLC

999 SPRINGDALE ST
5018 EXPRESSWAY DR S #204
2133 ALBANY AVE
2168 ALBANY AVE
993 SPRINGDALE ST
4069 ACORN RIDGE CV
956 UNIVERSITY ST
111 S HIGHLAND ST #460
2048 VOLLINTINE AVE
2333 E LAKE OAKS DR
650 BURDETTE AVE
2159 ALBANY AVE
2179 ALBANY AVE
276 LOCUST GROVE DR
9160 VALLEY GROVE LN
3124 S BROTHER BLVD #104
528 S MCLEAN BLVD
2150 VOLLINTINE AVE
8238 GREENGATE CV
933 OAKMONT PL
2854 FULHAM PL
930 UNIVERSITY ST
PO BOX 17851
2595 BROAD AVE
8893 VALLEY CREEK DR
924 OAKMONT PL
2181 VOLLINTINE AVE
2094 HALLWOOD DR
904 UNIVERSITY ST
5018 EXPRESSWAY DR S #204
2082 HALLWOOD DR
2242 VOLLINTINE AVE
909 OAKMONT PL
3654 GAILYN DR
2232 VOLLINTINE AVE
2220 VOLLINTINE AVE
4811 SAXON ST
895 OAKMONT PL
890 UNIVERSITY ST
4063 FIR HILL DR E
1003 HOLLANDSWORTH AVE
908 CHARLES PL
GENERAL DELIVERY
884 UNIVERSITY ST
295 PARKDALE DR
1385 CORPORATE AVE
714 EAST DR

MEMPHIS TN 38108
RONKONKOMA NY 11779
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38125
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38107
BARTLETT TN 38134
MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38108
CORDOVA TN 38018
SOUTHAVEN MS 38671
BARTLETT TN 38133
MEMPHIS TN 38104
MEMPHIS TN 38108
CORDOVA TN 38018
MEMPHIS TN 38107
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38187
MEMPHIS TN 38112
ARLINGTON TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38107
RONKONKOMA NY 11779
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38107
BARTLETT TN 38135
MEMPHIS TN 38108
MEMPHIS TN 38108
BELLAIRE TX 77401
MEMPHIS TN 38107
MEMPHIS TN 38107
LAKELAND TN 38002
LAS VEGAS NV 89123
MEMPHIS TN 38112
MEMPHIS TN 38101
MEMPHIS TN 38107
MEMPHIS TN 38109
MEMPHIS TN 38132
MEMPHIS TN 38112

SCHULTZ WILLIAM H & ANN S	2057 HALLWOOD DR
DANIEL LUOJIA	PO BOX 41661
HANSMEYER OYINDAMOLA O & JUSTIN J	2051 HALLWOOD DR
HENDRIX LINDA J	2018 HALLWOOD DR
DANIEL LUOJIA	PO BOX 41661
GADBOIS STEVE AND ANDREE GLENN	2045 HALLWOOD DR
HASAN TARIQ & FAIQA R KHAN	2041 HALLWOOD DR
BETTS EARLINE	2240 HENRY AVE
MCCARTHY ERIC	76 CEDAR ST #905
THARPE ROBERT M JR & STACY L	2116 UNIV CL
COLLINS JAMES L AND JEANINE M COLLINS	2258 ISAAC LN
CLARK KENNETH B & MONIQUE A	871 SPRINGDALE ST
LANE CHLOE V AND EZRA P ELAM (RS)	2096 UNIVERSITY CIR
JMJL ENTERPRISES LLC	1350 CONCOURSE AVE #103
WILLIAMS SANDERS SR & ALICE M AND	2155 HENRY AVE
MID SOUTH HOMEBUYERS INC	2238 CENTRAL AVE
MJ BLISS USA LLC	
PAYANT MARLOW	2130 UNIVERSITY CIR
SENTELL STEVEN P AND JOHN E CHESTER	1355 LYNNFIELD RD #246
CLARK KENNETH B	871 SPRINGDALE ST
FRY ANTHONY S	2056 JACKSON AVE
RICE ALLIE L	938 N TREZEVANT ST
WASHINGTON ARIKA A	2250 CYPRESS CIR
GRISHAM ROBERT AND ROBERT A THOMPSON JR	1268 SLEDGE AVE
PARKER GLORIA	855 CHARLES PL
HILBURN BRIAN AND	2144 UNIVERSITY CIR
MID SOUTH HOMEBUYERS GP	46 FLICKER ST
SPRINGDALE CHRUCH OF CHRIST	1930 UNION AVE
M J BLISS USA LLC	
SPRINGDALE CHURCH OF CHRIST	1930 UNION AVE
TN BIG ROCKS PROPERTIES LLC	225 LINCOLN PL
EWING JULIA M	821 WEST DR
SJOSTROM KATHRYN	815 WEST DR
MACKLIN JESSE L JR	2249 JACKSON AVE
FULLERTON WHITNEY AND LINCOLN COFFMAN	2259 JACKSON AVE
GIVANDS GEORGIANNA	883 SPRINGDALE ST
MARSHALL MARCIA	6983 8TH RD
JS PROPERTY MANAGEMENT GROUP LLC	1737 HUNTGATE CV
REDD LINDA	1093 SPRINGDALE ST
WILKINS ANTHONY R	2146 PIEDMONT AVE
MEMPHIS RPF LLC	216 CENTERVIEW DR #317
CONNER CHAD & GAIL	1456 ALBON DR
BUTLER DARIANNE Y	PO BOX 80084
ALLEN HARRY W SR (ESTATE OF)	1144 SPRINGDALE ST
JACKSON ROSSIE B	698 PROVINE AVE
HUNT ANDREE	2555 WALNUT RD
UPH 127 LP	5099 OLD SUMMER RD #C

MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38174
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MEMPHIS TN 38107
MEMPHIS TN 38108
SEATTLE WA 98121
MEMPHIS TN 38112
FRANKLIN TN 37064
MEMPHIS TN 38112
MEMPHIS TN 38112
MEMPHIS TN 38104
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MEMPHIS TN 38112
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MEMPHIS TN 38104
BROOKLYN NY 11217
MEMPHIS TN 38112
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MEMPHIS TN 38112
BARTLETT TN 38135
CORDOVA TN 38016
MEMPHIS TN 38108
MEMPHIS TN 38108
BRENTWOOD TN 37027
CORDOVA TN 38016
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38126
MEMPHIS TN 38128
MEMPHIS TN 38122

LONG LACHELLE
SNOWBALL 221 LP
SHELBY COUNTY TAX SALE 98.2 EXH #7299
HUNT ANDREE
VOLINTINE EVERGREEN COMMUNITY DEV CENTER
MOYA ASTRY T
CITY OF MEMPHIS
RAY CARL J AND DAWN M RAY AND JAN L RAY
BRANCH CALLIE AND JOANN SMITH AND
BROWN WILLIE J & LAPOLEON D
GRAY ESSIE L
JOHNSON JEAN E
PEACE AND VICTORY MISSIONARY BAPTIST
PEACE AND VICTORY MISSIONARY BAPTIST
SMD REAL ESTATE HOLDINGS GP
GORDON ROBERTA B
PEACE AND VICTORY MISSIONARY BAPTIST
SMD REAL ESTATE HOLDINGS GP
AUSTIN EMMA J
PEACE AND VICTORY MISSIONARY BAPTIST
BRYANT CLAUDE JR & ROSETTA
BRYANT ROSETTA
HENDERSON SUSIE
UNLOCKING EQUITY AFFORDABLE HOUSING LLC
UNLOCKING EQUITY AFFORDABLE HOUSING LLC
WALLACE GRANDA
ME CHERRY LLC
JILES ROZELL JR (ESTATE OF) AND ERIC O
BOWMAN ELIZABETH A
UE CYPRESS GARDENS LLC
WASHINGTON DOROTHY J
GONZALEZ JOSE
JONES RONNIE AND DANIEL JONES AND
SPRINGDALE BAPTIST CHURCH
SPRINGDALE MISSIONARY BAPTIST CHURCH
BROWN WANDA J
HARDY ALISHIA
REAMES JOHN
JONES KELLY
HARRIS LOUISTINE
BLACK CHARLES W & EVELYN
SPRINGDALE BAPTIST CHURCH (TRS)
HOWARD TIMMY AND WILLIAM SMITH
JACKSON HARRY W & FANNIE M
WARD DARRELL L
FIELDS JOHN H
ALLEN BESSIE M

6333 REDEAGLE CREEK DR
5099 OLD SUMMER RD #C
PO BOX 2751
2555 WALNUT RD
1680 JACKSON AVE
3539 MAYFAIR AVE
GENERAL DELIVERY
1027 RAMONA ST
4617 CIMMARON DR
1015 RAMONA ST
3770 RIDGEMONT CV
884 CHARLES PL
1287 GETWELL
2131 HUNTER AVE
6070 POPLAR AVE #600
2121 HUNTER AVE #N
2131 HUNTER AVE
6070 POPLAR AVE #600
881 N DUNLAP
2131 HUNTER AVE
2153 HUNTER AVE
2153 HUNTER AVE
4849 CUFFEYWOOD CV
365 W OXFORD AVE
365 W OXFORD AVE
1431 MARY LOU ST
14431 VENTURA BLVD #216
2225 HUNTER AVE
2229 HUNTER AVE
708 GAY ST #200
1208 E SPRINGDALE ST
2154 N HUBERT CIR
2164 N HUBERT CIR
1193 SPRINGDALE ST
1193 SPRINGDALE ST
2150 N HUBERT CIR
1548 BROOKINS ST
2144 N HUBERT CIR
1993 HUBERT AVE
2138 N HUBERT CIR
2027 HUBERT AVE
1193 SPRINGDALE ST
3755 LADUE ST
2037 HUBERT AVE
1440 DECATUR ST
2051 HUBERT AVE
2134 N HUBERT CIR

FORT WORTH TX 76179
MEMPHIS TN 38122
MEMPHIS TN 38101
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38122
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MEMPHIS TN 38108
MEMPHIS TN 38109
MEMPHIS TN 38108
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MEMPHIS TN 38107
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MEMPHIS TN 38108
BARTLETT TN 38135
ENGLEWOOD CO 80110
ENGLEWOOD CO 80110
SAN DIEGO CA 92102
SHERMAN OAKS CA 91423
MEMPHIS TN 38108
MEMPHIS TN 38108
KNOXVILLE TN 37902
MEMPHIS TN 38108
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MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38108

MJ 32 REAL ESTATE HOLDINGS G P	5099 OLD SUMMER RD #C
DUCKETT JERRY	4717 BENDING OAKS CV
SMITH RONALD E	2071 HUBERT AVE
BIGGS ONTONIO S	1144 UNIVERSITY ST
STARKS MAZIE T (ESTATE OF) AND JERRY	2077 HUBERT AVE
MERRY CAPITAL LLC	2009 LANSDOWNE WAY
JOHNSON MAINTENANCE CO LLC (JMC LLC)	5161 N WATKINS ST
JOHNSON MAINTENANCE CO	5161 N WATKINS ST
SHELBY COUNTY TAX SALE 15.02	PO BOX 2751
MEMPHIS CAPITAL INVESTMENT GROUP LLC	35937 ARGONNE ST
AMBROSE HENRY & LUCY H	2171 N HUBERT CIR
JORDAN THOMAS J AND ALAMEDA E JORDAN AND	2101 HUBERT AVE
SPRINGDALE BAPTIST CH (TRS)	1193 SPRINGDALE ST
ROBINS LERLINE I B	2111 HUBERT AVE
RANKIN VANDEE & LUCY B	4640 HONEYSUCKLE LN
BROWN CHARLYNE AND BARBARA L CASEY	2130 HUBERT AVE
SPRINGDALE BAPTIST CHURCH (TR)	1193 SPRINGDALE ST
MATHIS CUBIE W	1025 N AVALON ST
SPRINGDALE BAPTIST CHURCH	1193 SPRINGDALE ST
SPRINGDALE BAPTIST CHURCH (TRS)	1193 SPRINGDALE ST
AVERY CLAUDE A	2167 CLARKSDALE AVE
MORRIS CHARLIE F JR AND RONALD L MORRIS	981 ALASKA ST
LOVE BETTIE J S AND BETTIE J LOVE (RS)	1170 SPRINGDALE ST
GREGORY ROBERT AND STACIE GREGORY	2126 N HUBERT CIR
CHILDRESS ELDRIDGE & JOHNETTA	1165 SPRINGDALE ST
HYMON SHELLANE	5063 LAUREL LAKE DR
FM 2238 HOWELL TRUST	2825 ORO BLANCO CIR
JONES HOWARD F (LE) AND HELEN B BROWN	PO BOX 18233
KING-SMITH CHERYL AND ANNETTE STRICKLAND	2899 LAREDO ST
TRULY BARBARA L	2163 S HUBERT CIR
BUCKHANAN JO LINDA	5011 CORO RD
MORRIS-BOWEN ROCHELLE	8416 HONEY DR
FOWLER JAMES E	6229 COLEMAN RD
JACKSON HATTIE (ESTATE OF)	1332 SPRINGDALE ST
LOCUST DOREY AND VALVETTA JACKSON	2153 HOWELL AVE
WILLIAMS JESSIE M	2150 HOWELL AVE
SHELBY COUNTY TAX SALE 0504 EXH #6380	PO BOX 2751
HAYS INA D (ESTATE OF)	2240 GRIGGS AVE
WOODS NED & MARY G	2172 HOWELL AVE
HALL MATTIE	2176 HOWELL AVE
SHELBY COUNTY TAX SALE 11.01	PO BOX 2751
SHELBY COUNTY TAX SALE 12.03	PO BOX 2751
WASHINGTON KENNETH	1125 RAND AVE
WASHINGTON KENNETH	1125 RAND AVE
CITY OF MEMPHIS	125 N MAIN ST
WASHINGTON KENNETH AND JACKIE L	1125 RAND AVE
VOLLINTINE-EVERGREEN COMMUNITY ASSOC	1680 JACKSON AVE

MEMPHIS TN 38122
MEMPHIS TN 38128
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
SILVER SPRING MD 20910
MEMPHIS TN 38127
MEMPHIS TN 38127
MEMPHIS TN 38101
NEWARK CA 94560
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38109
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
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MEMPHIS TN 38108
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MEMPHIS TN 38125
ESCONDIDO CA 92027
MEMPHIS TN 38181
MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38109
CORDOVA TN 38016
OLIVE BRANCH MS 38654
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38101
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38101
MEMPHIS TN 38101
MEMPHIS TN 38127
MEMPHIS TN 38127
MEMPHIS TN 38103
MEMPHIS TN 38127
MEMPHIS TN 38107

CRAWFORD TOBY J	2977 CARRINGTON RD
WASHINGTON RODNEY	2117 HOWELL
SAGER JAMES & CHARLENE	2589 JACKSON AVE
PEOPLES SUSIE L AND	2129 HOWELL AVE
MELLOR'S PROPERTIES LLC	8493 YARROW LN
DAILEY CURTIS	11164 S SAINT ANDREWS PL
SHELBY COUNTY TAX SALE 10.02 EXH #775	PO BOX 2751
LOCUST DOREY AND BOBBIE J GRAY (RS)	2145 HOWELL AVE
GOLLADY SHEDRICK A AND SHIRLEY A	19212 PACKARD
LOCUST DOREY	3190 HOWELL
BRYANT TERRY	1026 RAMONA ST
GOLLADY SHEDRICK A	19212 PACKARD
DUCKETT LORENZO & VIRGIE M	1336 W MITCHELL RD
MAXWELL BERTHA	2171 HOWELL AVE
OWENS NATHANIEL AND JOHN OWENS AND	2179 HOWELL AVE
TATUM FRED & ALDORNIA	9140 S CLYDE AVE
JACKSON EDWARD & ROSSIE B	698 PROVINE AVE
ECTOR AUBREY & BARBARA B	3635 WAVERLY DR
MARTIN BRINDER	2116 BROWN AVE
FOLSON ROSETTA	2122 BROWN AVE
SNOWBALL 221 LP	5099 OLD SUMMER RD #C
ANDERSON VERA	3671 GRAVES RD
SHELBY COUNTY TAX SALE 13.02	PO BOX 2751
LOMAX KELA	2162 BROWN AVE
LOMAX TIMOTHY D & KELA K	2162 BROWN AVE
JOHNSON VATTER	2170 BROWN AVE
PHILLIPS MCKINLEY AND KARON PHILLIPS	893 TRANQUIL LN
MCKINNIE CARL AND HAROLD MCKINNIE	1325 SNOWDEN
VOLLINTINE/EVERGREEN COMMUNITY ASSOC	1680 JACKSON AVE
SMOOT MARVIN & PEGGY A	2121 BROWN AVE
GAVALAS BARBARA	2133 BROWN AVE
GAVALAS BARBARA A J	2133 BROWN AVE
NEWBERN TERRY	2147 BROWN AVE
ABDI KHALID A	1098 SPRINGDALE ST
HARRIS DOROTHY R	1103 SPRINGDALE ST
JOHNSON MELVIN L & INEZ	2229 BROWN AVE
BROOM HORACE F AND ZANDRA JOHNSON	2239 BROWN AVE
LOCUST DOREY E	2146 HOWELL AVE
RAM INVESTMENTS LLC	1664 WELSH RD
JOHNSON PATSY J AND JULIETTE WALKER AND	2134 PIEDMONT AVE
PADILLA YASIR FERNANDO LILLINGSTON &	1695 MAIN AVE #2
MEMPHIS CITY OF DIV OF HOUSING & COMM D	701 S MAIN ST
JOHNSON ERNEST & JEAN	5121 ELVIS PRESLEY BLVD
WILLIAMS WILLIE & ADELINE C	2230 DEVOY AVE
ARMOR ERNEST (ESTATE OF)	2236 DEVOY AVE
GRAY LUTHER AND MARION L GRAY	2242 DEVOY AVE
SOLIE MICHAEL & BONNIE	1345 91ST AVE SE

MEMPHIS TN 38114
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
RIVERSIDE CA 92508
LOS ANGELES CA 90047
MEMPHIS TN 38101
MEMPHIS TN 38108
DETROIT MI 48234
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CHICAGO IL 60617
MEMPHIS TN 38126
CLEVELAND TN 37312
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CRIVITZ WI 54114
MEMPHIS TN 38103
MEMPHIS TN 38116
MEMPHIS TN 38108
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MEMPHIS TN 38108
TUMWATER WA 98501

SIXSTICKS8 LLC
KAHILL KLARISSA
CAVINESS ELAINE
BOYLAND SELENA F
DIVINE PROSPERITY LLC
MID SOUTH HOMEBUYERS GP
CONQUERORS TABERNACLE OF FAITH
WJD PROPERTIES LLC
COULTER CHRISTIAN J
PILGRAM OTHA L AND MARY L PILGRAM
HOLMES THELMA AND BENNIE W JENNINGS JR
FOSTER LOUISE (ESTATE OF)
YEASIN MOHAMMED
MOORE THOMAS & DOROTHY A
MCCLINTON CLORT & YVONNE W
SHERFIELD JESSE JR AND VERONICA B
THORNTON RONALD & DELOIS A
SIMMONS STEVIE L
KELESHIAN HAGOP J
WEBB CALVIN & PATRICIA
BOYD DAVID R & LETICIA V
LAVILLA PROPERTIES LLC
ANDERSEN TIMOTHY
SMITH LORINE M
LANOIS J E (ESTATE OF)
FRANKLIN WILLIAM H JR LIVING TRUST
LEWIS TERRY
LOUNSBERY TATE R
OPTIMAL SPACE PROPERTIES LLC
EUBANKS HENRY R
REDD RAYMOND C
LAVILLA PROPERTIES LLC
IVY JAMES
CALDWELL ANTHONY L
BRYANT TERRY
MASON ANTHONY
PERRY PATRINA R
FRANKLIN SHERITA
HARRIS-MARSHALL PAMELA M
CARDONE DANIEL J
LOMAX RAIFORD R
JOHNSON M C (ESTATE OF) AND
COLE LARUAN A & HELEN ZELEKA
HEARN GOLDIE V (LE) AND PAMELA C HEARN
WHERRY MATTIE S
SULMERS GEORGES
MELLOR'S PROPERTIES LLC

2809 KIRBY PKWY #116
264 SHOFNER AVE
PO BOX 27076
3236 SCOTLAND RD
7538 POINTVIEW CIR
46 FLICKER ST
1758 MEADOW BARK CV
9308 GLENGARRY LN
3330 ZIRCON DR
2138 BERKELEY
2144 BERKELEY AVE
2150 BERKELEY AVE
10510 HAWK INLET DR
2162 BERKELEY AVE
2174 BERKELEY AVE
930 N MCLEAN BLVD
1526 GOWAN DR
1057 SPRINGDALE ST
15 LOCH LN
1049 SPRINGDALE ST
1825 LITTLE JOHN RD
1184 ASHFORD LN
59808 290TH ST
1044 SEYMOUR ST
1043 SEYMOUR ST
6484 WAY DAWN DR
1932 WARNER AVE
9051 CALLE DEL VERDE
3660 DWYER LN
2169 BERKELEY
2181 BERKELEY AVE
1184 ASHFORD LN
6304 BRIERGATE DR
612 EVA ST
1026 RAMONA ST
7116 SHADOW OAKS DR
1030 SEYMOUR ST
270 DECATUR AVE
5824 LYNNFIELD CV
13 THORMTON CT
1038 SEYMORE ST
2190 ALAMEDA
8168 DARK DEN CIR
1022 SPRINGDALE ST
1015 SEYMOUR ST
806 STOCKELL ST
8493 YARROW LN

MEMPHIS TN 38119
MEMPHIS TN 38109
MEMPHIS TN 38167
MEMPHIS TN 38128
ORLANDO FL 32836
MEMPHIS TN 38104
MEMPHIS TN 38016
BRENTWOOD TN 37027
ROCKLIN CA 95677
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38108
COLLIERVILLE TN 38017
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38108
STARKVILLE MS 39759
MEMPHIS TN 38108
MILLINGTON TN 38053
LINCOLN CA 95648
CAMBRIDGE IA 50046
MEMPHIS TN 38108
MEMPHIS TN 38108
ARLINGTON TN 38002
MEMPHIS TN 38127
SANTEE CA 92071
FLORISSANT MO 63033
MEMPHIS TN 38108
MEMPHIS TN 38108
LINCOLN CA 95648
MEMPHIS TN 38134
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MEMPHIS TN 38119
SOUDERTON PA 18964
MEMPHIS TN 38108
MEMPHIS TN 38108
SPRINGFIELD VA 22153
MEMPHIS TN 38108
MEMPHIS TN 38108
NASHVILLE TN 37207
RIVERSIDE CA 92508

IVY EDWINA AND BRIDGETTE I TUCKER	1000 RAMONA ST
STREET ALMA B AND DARRELL C CURRY JR	2145 ALAMEDA AVE
CURRY DARRELL JR	2151 ALAMEDA AVE
FINNIE ROBERT & MATTIE LAMBERT	P O BOX 80274
MURPHY LATOSHIA	1298 FAVELL DR
MABON MARY E	2181 ALAMEDA AVE
JONES LEE A JR	2191 ALAMEDA AVE
BLACKMAN JEREMY	5570 KINDLE RIDGE DR
COPPERIDGE ANNIE	1007 SEYMOUR ST
BRIDGES KIMBERLY X	1008 SEYMOUR ST
PEARSON EDDIE JR	5191 WAX WING
CASEY MAURICE AND HERBERT B CASEY (RS)	966 UNIVERSITY ST
RAYFORD HORACE JR & BOBBIE J	994 RAMONA ST
COHENS MAE M AND CLARENCE K COHENS AND	2138 ALBANY AVE
BLAND LILLIAN A	2144 ALBANY AVE
BLAND MARGARET B	2156 ALBANY AVE
HARPER ROBERT & ORA L	2162 ALBANY AVE
MEJIA EVER J AND GUSTAVO A MEJIA	2174 ALBANY AVE
LACEY THOMAS & ELLEN	2180 ALBANY AVE
T LAND VENTURES LLC	4728 SPOTTSWOOD AVE #120
FIDELITY BUSINESS MANAGEMENT AND	PO BOX 16313
CANNON ERNESTINE K	983 RAMONA ST
JAMES ROBERT A & FLOYCE E	985 SPRINGDALE ST
SPEARS JANET M AND CAROL EUBANKS AND	2014 VOLLINTINE AVE
BECTON WILLIAM T JR	3702 AUBURN WAY S #L102
BRADSHAW KENYA N	950 UNIVERSITY ST
PORTER RITA H	PO BOX 27623
HALEY ARMETTA M	2127 ALBANY AVE
THOMAS PEARLIE M	2133 ALBANY AVE
CALDWELL VERONICA L	980 SPRINGDALE ST
THOMAS ANTONIO	2139 ALBANY AVE
MYERS TORRENCE S JR	5301 MOSS HOLLOW CV
GRANT EVELENA B	2151 ALBANY AVE
JONES CHARLOTTE E	2155 ALBANY AVE
JOHNSON CHARLES	2167 ALBANY AVE
AKINDONA STEPHEN	111 S HIGHLAND ST #460
WILLIAMS DON A	2173 ALBANY AVE
GLENN ANDREE	2045 HALLWOOD DR
WATKINS CAROLYN S	2084 VOLLINTINE AVE
BUTLER DARYL	PO BOX 80084
BUTLER IRMA P AND MATTIE D GOODE	2501 JENWOOD ST
KULIA PROPERTIES TN LLC	694-631 PUU OHU PL
BAK INVESTMENTS LLC	6942 AUTUMN OAKS DR
THOMAS NELLIE S AND EDNA HARRISON	968 SPRINGDALE ST
PRUDENT JAMES E SR	5127 WALDRUP ST
WILLIAMS EZELL & LOYCE L	2162 VOLLINTINE AVE
WEBB EULA	2170 VOLLINTINE AVE

MEMPHIS TN 38108
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AUBURN WA 98092
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MEMPHIS TN 38134
KAMUELA HI 96743
OLIVE BRANCH MS 38654
MEMPHIS TN 38108
MEMPHIS TN 38116
MEMPHIS TN 38108
MEMPHIS TN 38108

MEEKS CLIFFORD A	2182 VOLLINTINE AVE
CAMPBELL ASHLEY AND TERRY WHITE	830 WILLOW TREE CIR
LEWIS LILLIE K	1939 DARTFORD CV
GALLOWAY DARNELL & JOYCE D	929 OAKMONT PL
BISHOP AVA M	2061 VOLLINTINE AVE
CATON MARY P G	928 UNIVERSITY ST
BRYANT GRADY & ROSENIA	2065 VOLLINTINE AVE
REEVES RAYFIELD JR AND BONNELL REEVES	944 SPRINGDALE
ELEMENT COOL LLC	1621 CENTRAL AVE
AMIDO JENNIFER M	PO BOX 41983
GALLOWAY DARNELL & JOYCE D	930 OAKMONT PL
PALMER LINDA	2110 HALLWOOD DR
SAKAAN MAGDA-MARGARET A	920 UNIVERSITY ST
O'ROURKE JACLYN	1148 RAMBLEWOOD WAY
BRINK STEVE	919 OAKMONT PL
WHITE SARAH	2108 HALLWOOD DR
FLY INVESTMENTS AND AVERTICE LLC	1625 N COMMERCE PKWY #315
SAUNDERS ANDREW AND ADRIENNE SAUNDERS	914 UNIVERSITY ST
BAKER ANDREW D	7012 COUNTRY RD
BAKER TERRY	2104 HALLWOOD DR
RIDDLE LAVONNA L	500 KYLE RD
LEDRI MARK AND RONALD M EVANS	2006 FOOTHILL DR
REEVES RAYFIELD JR & BONNELL I	944 SPRINGDALE ST
BLANK CHRISTOPHER	915 OAKMONT PL
RUTKAUSKAS JOHN F & CLAUDIA D	918 OAKMONT PL
RRR PARTNERS GP	585 CARLTON AVE #1
MACHE ROBERT T & CANDACE C	2100 HALLWOOD DR
KEY SHIRLEY	2117 HALLWOOD DR
CARPENTER TAYLOR M AND ALICE C CARPENTER	910 UNIVERSITY ST
FRANKLIN L C JR	2155 VOLLINTINE AVE
BILLINGTON CHRISTOPHER	2175 VOLLINTINE AVE
PIRTLE AUGUSTINE AND LEVERN PIRTLE	2169 VOLLINTINE AVE
WILLIAMSON ELENA D	911 OAKMONT PL
WILLIAMS LOIS	914 OAKMONT PL
SCHMIDT JEAN I LIVING TRUST	2088 HALLWOOD DR
DONAHUE BETTYE C	2115 HALLWOOD DR
MONTGOMERY ALAN D	2064 HALLWOOD DR
FILCHOCK JOANNE V	2207 JEFFERSON AVE
SEASONS INVESTMENTS LLC	PO BOX 17851
LORRISON DAVID	908 OAKMONT PL
KURTZ HENRY A AND BETTE J ACKERMAN	2056 HALLWOOD DR
SUDA MATTHEW & KATHRYN M BRAWLEY-SUDA	900 UNIVERSITY BLVD
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
MILLER JAMES S	2111 HALLWOOD DR
RIVERS ORLANDO	2226 VOLLINTINE AVE
NORMAN CATHERINE V	905 OAKMONT PL
HAZEN CINDY L	5378 DEE CV

MEMPHIS TN 38108
CORDOVA TN 38018
CORDOVA TN 38016
MEMPHIS TN 38107
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CHEYENNE WY 82001
MEMPHIS TN 38174
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SAN MATEO CA 94403
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MEMPHIS TN 38107
FORT LAUDERDALE FL 33326
MEMPHIS TN 38107
GERMANTOWN TN 38138
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OAKLAND TN 38060
VISTA CA 92084
MEMPHIS TN 38108
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BROOKLYN NY 11238
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MEMPHIS TN 38119

JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
ROSENTHAL RENATE	2107 HALLWOOD DR
BRUNT CHRISTOPHER M AND CHANELLE BENZ	889 OAKMONT PL
LUNNEBORG ANN B	2099 HALLWOOD DR
ROBINSON MARVIN	2243 VOLLINTINE AVE
BOONE BRIAN	883 OAKMONT PL
NOEL MORRIE E	2239 VOLLINTINE AVE
GRIFFIN THOMAS R JR & E JACQUELINE P	2093 HALLWOOD DR
THOMPSON GREGORY R AND ALLISON A	2233 VOLLINTINE AVE
FEILDS LOUISE E W	901 CHARLES PL
CRAIG SLOAN O JR	2087 HALLWOOD DR
DIOP NELDRA R & MAMADOU	2227 VOLLINTINE AVE
JENNAJAMES ENTERPRISES LLC	2032 HALLWOOD DR
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
HORTON STEVE & SARA V	2223 VOLLINTINE AVE
WRIGHT KATHERYN LEE	2067 HALLWOOD DR
SY TRAINING CENTER INC AND CALIFORNIA	765 THE CITY DR S #300
BAILEY ANDREA M	2217 VOLLINTINE AVE
SCHWANKE REVOCABLE LIVING TRUST	2030 HALLWOOD DR
WRIGHT WESLEY	4063 FIR HILL DR E
LEE DARRELL D	902 CHARLES PL
CROOKS CARSON C	911 SPRINGDALE ST
HILL JERRY	895 CHARLES PL
CONNER WILLIAM P	2250 HENRY AVE
TANGIE P SEAY AND JOYCE A HENDERSON	907 SPRINGDALE ST
LANE RICHARD AND BRIANA LANE LIVING	2122 UNIVERSITY CIR
WRIGHT JERMAINE	2246 HENRY AVE
CRAWFORD CATHERINE L	2120 UNIVERSITY CIR
LIPSCOMB KIMITRA D	904 N EVERS AVE
PEDDLE JULIAN	1511 PERRY AVE
PIERCE JOE N	903 SPRINGDALE ST
LYNCH JOHN & MELANIE VAN STRY	2118 UNIVERSITY CIR
LEWIS TONJA R	2234 HENRY AVE
JOHNSTON ROBERT W JR	3700 ORLEANS #5102
ADCOX NORMAN E & SHERRY H	2037 HALLWOOD DR
WATKINS CORA	2228 HENRY AVE
WILLIAMS MILDRED	2222 HENRY AVE
PETERSON ROSETTA H	2214 HENRY AVE
DETROIT MICHAEL L & DENICE J PERKINS	2112 UNIVERSITY CIR
KAUFMAN BEN & REBECCA	2033 HALLWOOD DR
LAWSON DARLENA	889 SPRINGDALE ST
CONWAY MARGARET A AND THOMAS C STEPHENS	2108 UNIVERSITY CIR
CLARK KENNETH B & MONIQUE A	871 SPRINGDALE ST
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
WAGGONER GERALD D JR	2100 UNIVERSITY CIR
JAMERSON GREGORY AND DARLENA JAMERSON	889 SPRINGDALE ST
RAPP JAY D	2128 UNIVERSITY CIR

MEMPHIS TN 38132
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ORANGE CA 92868
MEMPHIS TN 38108
MEMPHIS TN 38107
LAKELAND TN 38002
MEMPHIS TN 38112
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COMPTON CA 90220
BREMERTON WA 98310
MEMPHIS TN 38112
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MEMPHIS TN 38108
NEW ORLEANS LA 70119
MEMPHIS TN 38107
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MEMPHIS TN 38112

MADDOX DAVID W JR AND CAMERON S SASSER (2092 UNIVERSITY CIR
SLATER CYNTHIA G	2088 UNIVERSITY CIR
HARWELL JOE & TRACEY	2249 HENRY AVE
MARTIN LYNWOOD H	717 S RIVERSIDE DR #907
MORGAN BELINDA F	582 BRANTLEY TERRACE WAY #208
WILLIAMS LENA AND EVA J PRICE (RS)	2243 HENRY AVE
AARON ASHLI D	2074 JACKSON AVE
STOVALL THIRKELL M	2237 HENRY AVE
WILLIAMS LEE AND VICKI WILLIAMS	2929 GALLEON CT NE
GOODE ADAM	1607 GOODBAR
ROWAN BRIAN C	6920 OAK FOREST DR
FORT POINT PROPERTIES LLC	1279 LENDRUM CT #B
CITY OF MEMPHIS	GENERAL DELIVERY
GOODE ADAM & CATHRINE	1607 GOODBAR AVE
WINKLER BENJAMIN J & WHITNEY M	2134 UNIVERSITY CIR
ZUNIGA AMY C & JULIO C	2138 UNIVERSITY CIR
LANGSTON SHAUN M AND LANA M ANDRADE (RS)	858 CHARLES PL
HARRIS ALAN & LINDA AND JAMES D & ROBIN	2244 CYPRESS CIR
WILLIAMS MICHAEL SR & SHERRY D	867 SPRINGDALE ST
DANIEL LUOJIA M	PO BOX 41661
CATHEDRAL OF FAITH COMMUNITY CHURCH	2212 JACKSON AVE
BREWER ANTHONY	857 CYPRESS DR
HILL ROY	1114 LEXINGTON CIR
HILL ROY	1114 LEXINGTON CIR
MURPHY MILDRED J	2192 JACKSON AVE
SPRINGDALE CHRUCH OF CHRIST	1930 UNION AVE
CATHEDRAL OF FAITH COMMUNITY CHURCH	2212 JACKSON AVE
RHODES COLLEGE	2000 N PARKWAY
COLTHARP RUSSELL N	4447 SUMMER AVE
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
GEORGE GARY	1726 WESTWOOD PL
HENSON TIMOTHY O	820 WEST DR
HAMILTON DAVID L	817 CYPRESS DR
NANDRAJOG LAKSH	PO BOX 17005
P FIN I LLC	3525 PIEDMONT RD NE #5, STE 410
NEWBERN TERRY	2147 BROWN AVE
SULLIVAN CHERI AND TERRY NEWBERN AND	2147 BROWN ST
FRANKLIN TOMMIE	2941 BIRCHFIELD DR
PARHAM CAROLYN	2159 BROWN AVE
SMITH MARY L	2165 BROWN AVE
THOMAS CHRISTINE	1524 NORRIS RD
THOMAS CHRISTINE	1524 NORRIS RD
ROBINSON TOMMY JR	7533 BOWHEAD CT
ROBINSON TOMMIE	7533 BOWHEAD CT
JACKSON MELVIN & HELEN	4974 BARRINGTON CV
BRYANT CURTIS	2152 PIEDMONT AVE
MOSLEY JASON L	3881 OLD SAVANNAH LN #10

MEMPHIS TN 38112
MEMPHIS TN 38112
MEMPHIS TN 38108
MEMPHIS TN 38103
ALTAMONTE SPRINGS FL 32714
MEMPHIS TN 38108
MEMPHIS TN 38112
MEMPHIS TN 38108
TACOMA WA 98422
MEMPHIS TN 38104
OLIVE BRANCH MS 38654
SAN FRANCISCO CA 94129
MEMPHIS TN 38101
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POMONA CA 91768
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MEMPHIS TN 38187
ATLANTA GA 30305
MEMPHIS TN 38108
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MEMPHIS TN 38106
FAIRBURN GA 30213
FAIRBURN GA 30213
MEMPHIS TN 38125
MEMPHIS TN 38108
CINCINNATI OH 45245


PURDY GEORGE & DORA
BOYLAND SELENA F
CARMO CLEMERTSON CELSO DO
ANDERSON GWENDOLYN
FIDELITY BUSINESS MANAGEMENT AND
FISHER ISAAC M JR
LETINO LLC
CITY OF MEMPHIS PARK COMMISSIO
WASHINGTON WHITNEY K
ALAA PROPERTIES LLC
DOTSON ASTERLEAN
WASHINGTON RODNEY
BOSHWIT BROS MORTGAGE CORP
BROWN MARCUS II
REEVES RAYFIELD JR & BONNELL
THOMAS WAYNE A
HUNTER AVENUE MISSIONARY
CLEAR THE WAY SUPPORTIVE HOUSING CORP
BENSON TERRI L
ZION TRUST
GRANDBERRY MARGARET
CITY OF MEMPHIS
JACKSON THOMAS & ANNIE S
PATTERSON MICHAEL & JONNA
DANIEL LUOJIA
PARHAM CAROLYN
DAVIS SAMUEL & YOLANDA B
MEMPHIS CITY OF DIVISION OF HOUSING & CO
HEALTH EDUCATIONAL AND HOUSING FACILITY
JONES RONALD RAY
PHAM DUYEN
MEMPHIS CITY OF DIV OF HOUSING & COMM DE
SHELBY COUNTY TAX SALE 13.01
JOHNSON GEORGE W & ETHEL
BRYANT PERRY & LILLIE
SEASONS INVESTMENTS LLC
MCCLESKEY KENNEDY M & BRADFORD FINIZIO
BOARD OF EDUCATION OF THE CITY OF

Section 2

COTTRELL ROSALIND
EVERETT CARLTON A
PHILLIPS MCKINLEY AND KAREN J DUNCAN(RS)
ALEXANDER ANNIE E AND LAKESHA ALEXANDER
WALLACE PHIL
VANNUCCI MAE D REVOCABLE TRUST
RHODES JARED
MULL TAYLOR N AND PAULA A MULL AND LEE E

6545 OAK CREEK CV
3236 SCOTLAND RD
8727 BRUNSWICK FOREST DR
2153 N HUBERT CIR
PO BOX 16313
PO BOX 40376
545 W 48TH ST #306S
125 N MAIN ST
854 CYPRESS DR
7489 WINTERGREEN LN
4249 MILLBRANCH RD
3148 SIGNAL ST
2595 BROAD AVE
1347 KENTUCKY ST
944 SPRINGDALE ST
988 SPRINGDALE ST
1881 POMONA
5018 EXPRESSWAY DR S #204
1059 RAMONA ST
4955 GERTRUDE DR
1045 RAMONA ST
GENERAL DELIVERY
1039 RAMONA ST
1033 RAMONA ST
PO BOX 41661
2159 BROWN AVE
2161 BROWN AVE
701 N MAIN ST
6810 CRUMPLER BLVD #200
2158 PIEDMONT AVE
1803 CRUMP AVE
701 S MAIN ST
PO BOX 2751
2242 DEVOY AVE
1069 RAMONA ST
PO BOX 17851
2014 HALLWOOD DR
160 HOLLYWOOD AVE

1017 SHERIDAN ST
954 SHERIDAN ST
893 TRANQUIL LN
1162 N MCNEIL ST
1143 N WATKINS
1941 BURNHAM AVE
PO BOX 1653
1126 N WATKINS

MEMPHIS TN 38115
MEMPHIS TN 38128
BARTLETT TN 38133
MEMPHIS TN 38108
MEMPHIS TN 38186
MEMPHIS TN 38174
NEW YORK NY 10036
MEMPHIS TN 38103
MEMPHIS TN 38112
CORDOVA TN 38016
MEMPHIS TN 38116
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MEMPHIS TN 38108
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MEMPHIS TN 38116
RONKONKOMA NY 11779
MEMPHIS TN 38108
MEMPHIS TN 38125
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MEMPHIS TN 38101
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38174
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
OLIVE BRANCH MS 38654
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38101
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38187
MEMPHIS TN 38107
MEMPHIS TN 38101

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38127
OLIVE BRANCH MS 38654
MEMPHIS TN 38107

MITCHELL ROOSEVELT & SARAH L
DOMINION ENTERPRISES FOUNDATION INC AND
BROWN KENDRICK
ROGERS FLOYD C AND KATHY R BROWN (RS)
BOSHWIT BROS MORTGAGE CORP
HERNDON ODIESTINE R
HARRIS LORENZO
PEARSON LINDA P
CEMAK LLC
STRONG EVELYN B
SHELBY COUNTY TAX SALE 16.01
PARAGON GROUP LLC
LEWIS CAROLYN B
DUNN RUBY M
BRASSWELL LUDELLE AND BETTY KING AND
MEMPHIS CITY OF
SCOTT PHYLLIS A
COOLEY SAVANNAH
SCRUGGS DOLLIE R & ARTHUR L
NATHAN MELODI AND AUSTIN COLLINS
ANHURE INVESTMENTS LLC
SKINNER WILLIAM R
MCGEE LUCINDA AND ROSALINE
LYLES RICKEYA AND ROOSEVELT BROWN
COUNTY OF SHELBY & MEMPHIS
WILLIAMS KAREN
JONES GROVER JR AND GALE G JONES
TORRES MARIA E
LEACH BAXTER & JIMMIE
JOHNSON JAMES L & BARBARA R
SILVER FOX LLC
JONES-BIGGS KELLY
KNEELAND JOYCE A
BROWN BEULAH L
EQUITY TRUST CO CUST FBO
BURNETT RODNEY
DANIEL LUOJIA
MAYSE DOROTHY J
LEE ALFONZO
BANBURY SCOTT M AND AMY K STEWART
ELMORE RUBY
COMEAX EVAN Q
GENENT LLC
CURRY KENNETH & FELICIA
THOMPSON BERNICE
HESTER EDWARD D & WILLIE A
THOMAS BROWN JR

5291 N WATKINS ST
981 ALASKA ST
7022 BALSAL GLENN
1721 GREENVIEW CIR
2595 BROAD AVE
1734 GEORGIAN
1108 N WATKINS ST
1753 GREENVIEW CIR
1753 E BROADWAY RD #101-187
1787 GREENVIEW CIR
PO BOX 2751
3770 GOODMAN RD E
1097 N BELVEDERE BLVD
1674 EDWARD AVE
1867 HUBERT AVE
125 N MAIN ST
1877 HUBERT
1692 EDWARD AVE
1704 EDWARD AVE
2202 CARNES AVE
PO BOX 1300
381 MINERAL
1927 HUBERT AVE
1114 AZELIA ST
GENERAL DELIVERY
4218 PAULA DR
4582 MATT CV
1764 EDWARD AVE
889 N WILLETT ST
1088 GARLAND ST
10200 44TH AVE #220
1770 BROWN AVE
3290 COTTON BALE CV
2365 MILLBROOK AVE
7 LONDONDERRY LN
984 SHERIDAN ST
408 FENWICK RD
1090 N BELVEDERE BLVD
1018 HAWTHORNE ST
1051 STONEWALL ST
2108 HORNSBY CV
1060 STONEWALL ST
2172 N FOX HOLLOW DR #1
1864 EDWARD AVE
3166 RHONDA DR
1087 N EVERGREEN ST
1063 MAURY ST

MEMPHIS TN 38127
MEMPHIS TN 38107
MILLINGTON TN 38053
MEMPHIS TN 38128
MEMPHIS TN 38112
MEMPHIS TN 38127
MEMPHIS TN 38107
MEMPHIS TN 38108
TEMPE AZ 85282
MEMPHIS TN 38108
MEMPHIS TN 38101
SOUTHAVEN MS 38672
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38103
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38114
COLLIERVILLE TN 38027
MEMPHIS TN 38120
MEMPHIS TN 38108
MEMPHIS TN 38106
MEMPHIS TN 38101
MEMPHIS TN 38116
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
WHEAT RIDGE CO 80033
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38127
LINCOLNSHIRE IL 60069
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38107
NIXA MO 65714
MEMPHIS TN 38107
JONESBORO GA 30236
MEMPHIS TN 38107
MEMPHIS TN 38107

INKAN TREASURES LLC
JPA SALES PARTNERSHIP
KELLEY DINO G
HAWKINS-WINFIELD DEBBIT A & JOHNNY
ZOOK MANNY
UPCHURCH SANDRA A AND INGER O UPCHURCH
CAIN DON & JACKIE N
CLEAR THE WAY SUPPORTIVE HOUSING CORP
TAYLOR GEORGIA R AND DONNA K TAYLOR
PEREZ JOSE & MELISSA N
INKAN TREASURES LLC
BAILEY STANLEY
COOPER CEVELLE C & FRANCES
THOMAS JAMES A (ESTATE OF)
HEALTH EDUCATIONAL AND HOUSING FACILITY
COOPER AL C
JAMERSON OSCAR G
GENENT LLC
HAGY TINA J
COFFEE JAMES L & EARESELENE
SMITH RUBY L
CITY OF MEMPHIS
JONES BOBBIE J
MORRIS HERMAN JR
BOYD HELEN B
LOVE BETTIE J
GENENT LLC
CRUTCHFIELD H & LOREAN S
JOHNSON SAMMIE L AND VIVIEN JOHNSON AND
CAMPBELL BRENDA J
ROBINSON DARRO & BONNIE
AYERS DOROTHY A
HARRIS LARRY A & ROBBIE A MORTON
KINARD GERTRUDE V
CLARK MATTIE M AND ELAINE D TAYLOR
WILLIAMS MAE E
HARDY L D
BROWN CRYSTAL
LICHTENSTEIN JEFFREY M AND 1026 NORTH
WILLIAMS LONNIE & NANCY R
BROWN NELLIE M
LAGRONE MOZELL JR & JEANETTE J
BERRY CHARLIE L II & LARZIE
CLEAR THE WAY SUPPORTIVE HOUSING CORP
HAMER ROY
NMDC HOLDINGS LLC
LEWIS VIRGINIA W AND ERIC B LEWIS AND

101 VILLAGE LN
5394 ESTATE OFFICE DR #3
1777 EDWARD AVE
1053 N MCNEIL ST
786 LIME QUARRY RD
9 N FENWICK RD
1079 N BELVEDERE BLVD
5018 EXPRESSWAY DR S #204
1807 EDWARD AVE
605 ASHLEY GLEN CIR W
101 VILLAGE LN
1062 MAURY ST
1059 MAURY ST
1104 N MCLEAN BLVD
65 UNION AVE #1120
1053 MAURY ST
1044 RANDLE ST
2172 N FOX HOLLOW DR #1
1936 EDWARD AVE
1058 E MICHELLE CIR
1089 N MCLEAN BLVD
125 N MAIN ST #568
984 N GARLAND
1800 OVERTON PARK
1063 N BELVEDERE BLVD
1984 EDWARD
2172 N FOX HOLLOW DR #1
1612 S MICHELLE CIR
1785 EDWARD AVE
PO BOX 80141
8330 CRAVEN RD
1030 RANDLE ST
PO BOX 305170
1053 N BELVEDERE BLVD
1032 MAURY ST
1040 E MICHELLE CIR
1035 N AVALON ST
2028 BLAKE WOOD PL
831 N AVALON ST
959 PISGAH RD N
1047 HAWTHORNE ST
110 9TH AVE S
1035 N BELVEDERE BLVD
5018 EXPRESSWAY DR S #204
1619 S MICHELLE CIR
8552 HAWKSPRINGS CV
1037 N EVERGREEN ST

MEMPHIS TN 38103
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38107
GAP PA 17527
MEMPHIS TN 38111
MEMPHIS TN 38107
RONKONKOMA NY 11779
MEMPHIS TN 38107
CORDOVA TN 38018
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38107
NIXA MO 65714
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
NIXA MO 65714
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38108
ARLINGTON TN 38002
MEMPHIS TN 38107
NASHVILLE TN 37230
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38106
MEMPHIS TN 38107
EADS TN 38028
MEMPHIS TN 38107
NASHVILLE TN 37203
MEMPHIS TN 38107
RONKONKOMA NY 11779
MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38107

TUCKER IRENE
COUGAR ENTERPRISES (DBA)
CEE BARBARA A
RAMIREZ MARIA
HARRISON ELMER JR
LASHLEY LEONARD & EVANGELINE
WHITEHEAD WALTER & ORA
BELL SAMMY L
SMITH SIMUNN S (ESTATE OF)
CROSS CLAUDIA E J
DIXON SHIRLEY
COLE BARBARA H
KELSEY RUTHAL J
HARDY ANNIE L
BAKER ROMANITA
WALKER BILLY
BECKFORD VINCENT S & RIPLEY V
HEYSER VAN D JR & JOSEPHINE M
OWENS DANNY M
KARIMOV JAHONGIR AND ALICE PAGES
DRINKWATER JASON
PREYER RADITA
P FIN I LLC
JONES YVONNE R
BRIGHT RONALD L
THOMAS TONI
BRASWELL LEUDELLA
MJC PROPERTIES LLC
JONES RUTH A AND WILLIE L JONES (RS)
LEAKE JOE H & GLADYS C
MEANS ELLA W
LEE ALFONZO D
YOON WOOSANG
DANIEL LUOJIA
FU DIANA M AND NICHOLAS E BOURJAILI
TOMPKINS MALVIN H & GLORIA D
GRACE LIFE LLC
GRAY SILAS & GLORIA
WATKINS LORICE
CONFIDENCE HOLDING LLC
DUCKETT DONNA E TATE
JOHNSON OTIS J (LE) AND ADRIAN K TAYLOR
WRIGHT HERBERT B & EDNA Y
SMITH DEBRA H
AVERY THADDEUS O AND SHERRI G ALLEN
HUMPHREYS GORDON R
TURNER HAYMOND & EVA M

1625 S MICHELLE CIR
6389 N QUAIL HOLLOW RD #202
1024 N AVALON ST
1002 RANDLE ST
1041 HAWTHORNE ST
9070 HUNTINGTON OAK DR
1031 N EVERGREEN ST
4047 BATTLEFIELD DR
1060 N MCLEAN BLVD
1049 N MCLEAN BLVD
1080 TERRY CIR
1042 MONTICELLO DR
1007 MAURY ST
1880 N RAINBOW DR
1031 HAWTHORNE ST
1064 TERRY CIR
1012 N AVALON ST
1054 TERRY CIR
4561 MILLBRANCH RD #2
1418 MARSHALL ST
600 SUMMERFIELD #333
1052 SEYMOUR ST
3525 PIEDMONT RD NE #5, STE 410
1037 MONTICELLO DR
1874 N RAINBOW DR
4800 HIGHLAND PARK CIR
1025 HAWTHORNE ST
997 MAURY ST
1027 N IDLEWILD ST
1975 EDWARD AVE
992 N WILLETT ST
1018 HAWTHRONE
3623 146TH ST SE
1646 YORK AVE

1055 TERRY CIR
2095 EXETER RD #80328
1096 TERRY CIR
983 MAURY ST
PO BOX 770914
1040 TERRY CIR
1048 SHERIDAN ST
1011 N IDLEWILD ST
1032 E RAINBOW DR
1049 UNIVERSITY ST
1855 N RAINBOW DR
1002 HAWTHORNE ST

DANIEL LUOJIA M
DAVIS BRIAN S AND SUNNY R FREIER
HARRISON TAYLOR AND LILY C PICARD
BREWER HARPER JR & PEGGY C
THOMAS PEARLETHA B
WILLIAMS THOMAS S JR & ELLEN P
SPANGLER DOUG A
ELION SAMMIE L
SWIFT VESTER L & THERESA A
O'BRIAN CARLA J
ANDRADE LANCE M
WASSMER KATHRYN M AND DAVID J JOHNSON
WILLIAMS IRA
BRASWELL CHERYLE D AND PAUL BRASWELL AND
WILLIS CAROLYN AND THURMAN WILLIS (RS)
JAMISON JACQUELINE M
BROWN JULIUS B
MORRELL MELROSE R AND PAYTON REED JR AND
WIRT WILLIE M
HEAD CAROLYN AND STEPHANIE A DARNELL
WOODS ANNICE M
WALKER DAVID J
HAMILTON SARAH M
HAWKINS SHIRLEY
GRAY LOU P
GREEN TERESA
KIDD HULETTE A & MARILYN C
DODD JOHNNIE L & HANNAH B
WASHINGTON LYNN L & SHIRLEY D
GREEN JOSEPH & EARLINE
WILLIAMS MICHAEL JR AND DAWNACAE BOLTON
MOSES JOE JR
SHINAULT WILLIE B
MILLS DANIEL R AND DAVID C MILLS (RS)
PIPPINS JAMES C & ALICE C
RUTLEDGE MICHAEL
MEEKS WANDA
SALES LAKARLA
UMBREIT JEANE
MCWHIRTER JOHN A & LILY R
PUTNAM JANET A
EDWARDS ARTHUR D & KAREN M
HARDY MARY E
JACKSON CHARLIE AND CAROLYN MALLARD (RS)
KNOP RYAN A
GORDON-EDALERE ALISON S & GREGORY D
SCHWEICKERT AGNES T AND CAROL M MCGHEE

PO BOX 41661
8585 ROCK SPRINGS RD
1875 N RAINBOW DR
1006 MONTICELLO DR
1002 N IDLEWILD ST
1029 N BARKSDALE ST
216 BRUCE DR
994 HAWTHORNE ST
1038 SHERIDAN ST
1020 E RAINBOW DR
1007 MONTICELLO DR
1868 MONTICELLO DR
983 TERRY CIR
975 TERRY CIR
1035 UNIVERSITY ST
997 TERRY CIR
1886 MONTICELLO DR
1003 TERRY CIR
3656 HAUGHTON LN #2
1026 SHERIDAN ST
1546 VOLLINTINE AVE
2720 HYDES FERRY RD
1029 UNIVERSITY ST
1020 N BARKSDALE ST
961 N AVALON ST
1014 E RAINBOW DR
1022 SHERIDAN ST
995 MONTICELLO DR
976 HAWTHORNE ST
1602 VOLLINTINE AVE
1857 MONTICELLO DR
1008 N BARKSDALE ST
1652 VOLLINTINE AVE
1875 MONTICELLO DR
1011 SHERIDAN ST
1881 MONTICELLO DR
1004 N BARKSDALE ST
150 BROOKSIDE AVE
2195 POPLAR AVE #501
1004 SHERIDAN ST
1920 TUTWILER AVE
1882 S RAINBOW DR
994 N BARKSDALE ST
1890 S RAINBOW DR
987 N BARKSDALE ST
3725 SUNNYVIEW LN
PO BOX 11355

MEMPHIS TN 38174
PENRYN CA 95663
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MANCHESTER TN 37355
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38107
NASHVILLE TN 37218
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38109
MEMPHIS TN 38107
MASON TN 38049
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
FLOWER MOUND TX 75022
MEMPHIS TN 38111

HIBLER WYNDON A	11623 ERWIN RIDGE AVE
ALAFONTE CHUPOO	PO BOX 1614
WALKER REGINA D	984 N BARKSDALE ST
COLLINS JOHN W & ALICE M	988 SHERIDAN ST
HAMPTON TAMARA L AND HERBERT THOMAS JR	956 N IDLEWILD ST
HETRICK JONATHAN M & HEATHER J	981 SHERIDAN ST
MIRELLI KELLI D	1875 S RAINBOW DR
BURNETT RODNEY T	984 SHERIDAN ST
WALKER JENNIFER L	974 N BARKSDALE
BRADLEY MONA F	983 UNIVERSITY ST
ALLEN CHARLES R	1897 S RAINBOW DR
PERK KEVIN & TERRON	710 PHILADELPHIA ST
OLIVER ELIZABETH	1856 VOLLINTINE AVE
GUERRA DANIEL	660 REAR N EVERGREEN
ANDERSON CHRISTOPHER B	2359 BENA CV
TAYLOR AUGUSTUS	904 N BARKSDALE ST
CORE CAPITAL LLC	375 LIPAN WAY
BRASWELL PETER E & LAURIE C	1021 N BARKSDALE ST
BRASWELL PETER	1021 N BARKSDALE ST
COTTRELL ROSALIND	1017 SHERIDAN ST
BENEDICT CHOLLY A & JUDY G	955 SHERIDAN ST
LAMBERT ULYSSES (TR)	4897 WHITE OAKS LN
EL-TAYECH GHASSAN	2145 LITTLEMORE DR
HOUSTON NOVAL E	1131 N WATKINS ST
ABDUL-MATEEN MIKAL	10250 JOHN SAUNDERS RD
BOOTH STANLEY	979 N IDLEWILD ST
SMITH MCLAURIN & PATRICIA W	1035 N BARKSDALE ST
CAMPBELL GREGORY	5714 JASON CV
ADAMS ARABELLA A	1888 N RAINBOW DR
SHELBY COUNTY TAX SALE #50 EXH #3793	160 N MAIN ST
BLANCHARD MARY S	1072 SHERIDAN ST
PLATT ERICK	1969 EDWARD AVE
PASQUARELL LISA M	1498 VOLLINTINE AVE
VALENTINE JAMES & AUDREY	4044 N LAKE FORREST DR
DIAMOND RUTH REVOCABLE LIVING TRUST	6756 RIVER OAKS VIEW DR
TAYLOR ROBIN C	970 N MCNEIL ST
INDOMITABLE WOMEN OF INCARCERATED MEN	4821 AMERICAN WAY #315
CHAMBERS O D & KATHERINE	976 N MCNEIL ST
GOODEN ARZELL	973 GARLAND ST
PERRY FANNIE L	985 STONEWALL ST
FORD JAMES H AND MERILYN H FORD	2967 SKYWAY
QUARLES D H JR	984 N MCNEIL ST
BIVENS STACY A	994 N MCNEIL ST
MORGAN JAMES AND JEWEL MORGAN	993 N MCNEIL ST
FULTON LEONARD	994 GARLAND ST
PARKER ALLEN JR	995 GARLAND ST
HAYNES RICHARD A & SARAH A	1005 STONEWALL ST

DANIEL LUOJIA M	PO BOX 41661
NEELY GERALD	PO BOX 34277
WILLIAMS ARMIE AND GREGORY C WILLIAMS	1005 N MCNEIL ST
WOOTEN SOLORES	1004 GARLAND ST
BOJARCZUK MARIUSZ	27 CROSS ST
STRANGE IRA & ANGELA M	1013 STONEWALL ST
VOWELL CAROLYN & WILLIAM VOWELL	995 MEDA ST
HUMPHREY LISA A	1031 GARLAND ST
HEALTH EDUCATIONAL AND HOUSING FACILITY	65 UNION AVE #1120
SCOTT MARCUS	1706 N SPRINGS DR
PERSON WALTER O	171 PERKINS EXT
GREEN BOBBYE J	1718 ROSEBERRY CV
CRESTCORE III LLC	4435 SUMMER AVE
GARRETT WILLIAM	1375 OLD SOLOMON MILLS RD
LIVIN THE DREAM LLC	3546 CYPRESS PLANTATION DR
BUTLER JOE W & BARBARA J	975 N WILLETT ST
SPARKS TIMOTHY	976 STONEWALL ST
VAREZKY INVESTMENTS LLC	
MCALLS J F INVESTMENTS LLC	5900 WALSH RD
NEIGHBORHOOD REVIVAL LLC	1400 MCKINNEY ST #3204
NOLDEN ESSIE L AND LINDA R NOLDEN (RS)	984 STONEWALL ST
FUJAILI FAMILY TRUST	2238 CENTRAL AVE
WOODY ARTRIE D & LUE E	990 STONEWALL ST
SIMON RICHARD	3858 SUMMER AVE
ADAMS VANESSA & SOLOMAN	994 STONEWALL ST
MARTENS PAULA R	1001 N WILLETT ST
JONES TIMOTHY	1041 WILLETT ST
MACE GLENDA	1040 STONEWALL ST
NEELY KAELA	PO BOX 34277
GOLDSTAR HOMES LLC	3840 WINCHESTER RD
WALKER TOVA L	1915 EDWARD AVE
ROGERS CULTON SR	1940 EDWARD CV
LEE ERMA L	1929 EDWARD CV
FREEMAN IRMA	1923 EDWARD AVE
MCINTYRE JAMES	1075 UNIVERSITY ST
TOWNSEL DOROTHY	1939 EDWARD CV
PHILIPS ROSIE B AND KAREN MILLER AND	2885 SPRING VIEW DR
WADE ALBERT & ALBERTA	1953 EDWARD CV
LOWE JOHN M & BEVERLY N	1042 N BARKSDALE ST
KIEFFER JUSTIN	1905 EDWARD AVE
COOK LARUTH E	1919 EDWARD CV
ABUSHAER MUHAMAAD	7915 DEERVIEW CT
STRONG BYRON R	121 N FOREST HILL IRENE RD
NEXAIR LLC	PO BOX 42047
NEXAIR LLC	PO BOX 42047
CHANDLER JAMES R	1223 N WATKINS
EL-TAYECH GHASSAN	2145 LITTLEMORE DR

STEELE LUELLA AND ANTHONY STEELE (RS)
MUSE TONY E AND MARTHA A MUSE AND EARL W
UPH 127 LP
BAKER DEBORAH
MITCHELL ROOSEVELT & SARAH L
DORMER ARNOLD R JR & JUANITA
HILL ROY
EMCHKE WILLIAM AND NITZA EMCHKE
LEE ALFONZO
BROWN KENDRICK
LAWTON FRANK J & LOU PATRICK-LAWTON
CITY OF MEMPHIS & SHELBY CO
PETIPAS KEITH W
CLARK KEYVA D
JOHNSON DENNIS
RODGERS FLOYD C
BROOKS ARNITA
CHATMAN GEGE A
MCAFEE MONTY
STEWARD PAMELA (LE) AND KIERRA STEWARD
GILCHRIST JAMES & SARAH A
DOMINION ENTERPRISES FOUNDATION INC
CASH NAZERINA
COBB CAROLYN
CHISM BETTY F
STRONG BYRON R
STRONG BYRON
HODGES ELIZABETH L
BOLTON OUIDA
SMITH ANNA J
WALKER JANE J AND BOBBY A WALKER AND
GP NOMINEE LLC
BLACKWELL AMANDA
BUTLER KEVIN
MEMPHIS RPF LLC
SMITH KRISTY D
PAYNE CHAPEL A M E CHURCH
SHELBY COUNTY TAX SALE 0604 EXH #4786
MEMPHIS CITY OF
THOMAS CURTIS AND MARY WILLIAMS
MEMPHIS PORTFOLIO 1 LLC
SMITH L T & ORA L
CRICHTON COLLEGE (TR)
MEMPHIS CITY OF
SHELBY COUNTY TAX SALE 85.2 EXH #4766
HENDERSON ALMA H
SHELBY COUNTY TAX SALE 85.2 EXH #4764

1135 N WATKINS ST
1132 N WATKINS ST
5099 OLD SUMMER RD #C
1127 N WATKINS ST
5291 N WATKINS ST
PO BOX 111199
1114 W LEXINGTON CIR
3531 CANONITA DR
1018 HAWTHORNE ST
7022 BALSА GLENN
P O BOX 415
GENERAL DELIVERY
5 WINNIES WAY
5633 OVERHILL DR
1145 N MCNEIL ST
1776 GREENVIEW CIR
1803 GREENVIEW CIR
3956 BROMPTON RD
305 LOCUST ST
1749 GREENVIEW CIR
1759 GREENVIEW CIR
981 ALASKA ST
7516 CRYSTAL LAKE DR
882 MAPLE DR
2884 YALE AVE
121 N FOREST HILL-IRENE RD
121 N FOREST HILL-IRENE RD
1793 GREENVIEW CIR
1797 GREENVIEW CIR
2571 RUST AVE
1104 N WATKINS ST
111 S HIGHLAND ##404
1127 N MCNEIL ST
1368 S LEXINGTON CIR
216 CENTERVIEW DR #317
1096 N WATKINS ST
1087 N WATKINS ST
PO BOX 2751
125 N MAIN ST
1114 GARLAND ST
5294 COTTONWOOD #4
1101 GARLAND ST
255 N HIGHLAND
125 N MAIN ST
160 N MAIN ST
1107 N MCNEIL ST
160 N MAIN ST

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38122
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38111
MEMPHIS TN 38107
FALLBROOK CA 92028
MEMPHIS TN 38107
MILLINGTON TN 38053
ELLEDALE TN 38029
MEMPHIS TN 38101
EAST SANDWICH MA 2537
LOS ANGELES CA 90043
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38118
ALEXANDRIA TN 37012
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
CORDOVA TN 38016
ATOKA TN 38004
MEMPHIS TN 38112
CORDOVA TN 38018
CORDOVA TN 38018
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38127
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38107
MEMPHIS TN 38107
BRENTWOOD TN 37027
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38101
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38118
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38103
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38103

SHELBY COUNTY TAX SALE 85.2 EXH #4762
LEE ALFONZO
MEMPHIS CITY OF
BUTLER JACQUELYN Y (1/2) AND JACQUELYN
LOVE JAMES
POLEY PAUL R REVOCABLE TRUST
LEE ALFONZO
MEMPHIS CITY OF
SHELBY COUNTY TAX SALE #55 EXH #5689
LY NGUYET T
PALMER ERNEST
WARLICK JESSIE J AND MONICA BRANCH (RS)
MITCHELL ROOSEVELT & SARAH L
WALKER DELORIS J
MELVIN VICKIE AND STANLEY MELVIN
VOLLINTINE-EVERGREEN COMM ASSOC COMM
SHELBY COUNTY TAX SALE 97.1 EXH #4366
THOMAS REGINALD K
SKINNER WILLIAM R
FINLEY ALICIA R
MURPHY ANDERSON JR (1/7%) AND DIANNE
EDWARDS LOUIS & BOBBIE
SHELBY COUNTY TAX SALE 85.2 EXH #4763
TAYLOR SENELL & GEORGIA R
SKINNER WILLIAM R
CYPRESS GARDENS OF MEMPHIS II LLC
SANDERS DORTHY
HARRIS PAUL
CARPENTER KARL & JENNIFER
LEE ALFONZO
INKAN TREASURES LLC
BUTLER KEVIN & JOYCE NISBY
BOWIE DEBRA H
FRITZ ANNIE B
SHELBY COUNTY TAX SALE# 89.5 EXH# 4653
WILLIAMS JAMES AND ROSALINE WILLIAMS AND
GREATER PAYNE CHAPEL AFRICAN METHODIST
DOUGLAS WILLIAM L AND WILLIAM L DOUGLAS
SHELTON KEITH L
CAVETT DENISE
GIBSON R HEMIE III & COLLEEN P
JONES WILLIAM JR & MAMIE
JEFFERSON OTHA
VOLLINTINE-EVERGREEN COMM ASSO COMM
ALDRIDGE WILMA
WOODY VIOLA G M (LE) AND
NUESCH RICHARD E

160 N MAIN ST
1018 HAWTHORNE
125 N MAIN ST
1098 GARLAND ST
1873 HUBERT AVE
1100 FOX LAKE LN
1018 HAWTHORNE ST
125 N MAIN ST
160 N MAIN ST
1079 N PARKWAY
3826 ANNETTE LN
1883 HUBERT AVE
5291 N WATKINS ST
1686 EDWARD AVE
1889 HUBERT AVE
1680 JACKSON AVE
PO BOX 2751
5310 DUELLING OAKS DR
381 MINERAL
53 ST DUNSTANS RD
1698 EDWARD AVE
4409 BENCHMARK DR
160 N MAIN ST
1907 HUBERT AVE
381 MINERAL
1915 HUBERT AVE
1822 EDWARD AVE
5430 MEADOWICK AVE
7317 RIVER BEND RD
1018 HAWTHORNE ST
101 VILLAGE LN
1368 S LEXINGTON CIR
3694 SHADY HOLLOW LN
1933 HUBERT AVE
PO BOX 2751
1837 HARTLAND ST
1087 N WATKINS
PO BOX 70003
899 DICKINSON ST
1965 HUBERT AVE
1083 N AVALON ST
1953 HUBERT AVE
2376 HUBBARD
1680 JACKSON AVE
581 MONTEIGNE BLVD
1957 HUBERT AVE
1786 EDWARD AVE

MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38108
EDMOND OK 73034
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38103
MEMPHIS TN 38105
MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38127
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38101
MEMPHIS TN 38116
MEMPHIS TN 38120
ASHEVILLE NC 28803
MEMPHIS TN 38107
ANTIOCH TN 37013
MEMPHIS TN 38103
MEMPHIS TN 38108
MEMPHIS TN 38120
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38115
NASHVILLE TN 37221
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38108
MEMPHIS TN 38101
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38108
MEMPHIS TN 38107

BERMAR ASSOCIATES-I LLC
MEMPHIS CASH FLOW GP
CAVETT DENISE M (LE) AND TAMMY M CAVETT-
NUESCH RICHARD E
SPILLMAN JASON & DAWN
BARLOW JOHN
MILLS JASON R
MCCOY ISAAC AND VICTORIA RUPP
BANBURY SCOTT M AND AMY K STEWART
CITY OF MEMPHIS
LEE ALFONZO
SANDERS SHERRY M AND DOROTHY L SANDERS
BANBURY SCOTT
NELSON A D & HELEN
JOHNSTON JOHN P
JC MEMPHIS LLC
ZIA AYHAN A
SPK FLORIPA LLC
COLLIER CHARLIE & MURETHER
ELLIS JOYCE M AND WILLIAM J ELLIS
BEACH CURTIS AND IRENE BEACH
BINS LAWRENCE E
SOLID WORK LLC
SWIFT THERESA A
SANDRIDGE JOE P JR
LEE ALFONZO
BANBURY SCOTT M AND AMY K STEWART
SILVA ROBERTO O
MEEKS LEE A AND URSULA D PATTERSON
JONES GROVER JR AND GALE G JONES
ICEBERG PROPERTIES LLC
HALL LAURENCE
MCCARROLL JAMESE S
REYNOLDS EARNESTINE
CURRIE MAJOR L
HEARD CALVIN
GONZALEZ MISAEL & SOFIA ANDRADE
ROBINSON WILLIAM R & HAZEL M
NEAL FORRESTINE (TR)
CAGE LEO D
HAIMED NABIL
PALMER ERNEST
TAYLOR CYNTHIA D AND GEORGIA R TAYLOR
INKAN TREASURES LLC
FREEMAN EARNESTINE L
BAWAZIR KULTHUM
MARTIN LESLIE R

4942 WILLIAM ARNOLD RD
310 GERMANTOWN BEND CV #102
1965 HUBERT AVE
1786 EDWARD AVE
1876 MARQUETTE RD
1798 EDWARD AVE
1822 FAXON AVE
2258 MONROE AVE
1051 STONEWALL ST
125 N MAIN ST
1018 HAWTHORNE ST
1822 EDWARD AVE
1051 STONEWALL ST
1594 N MICHELLE CIR
7000 HERITAGE OAK CT
6 BRITTA LN
45 STONEGATE CT
3904 MAGRATH RD
1074 N MCNEIL ST
1616 N MICHELLE CIR
6770 PLEASANT RDG
1622 N MICHELLE CIR
246 ADAMS AVE
1630 N MICHELLE CIR
1074 E MICHELLE CIR
1018 HAWTHORNE ST
1051 STONEWALL ST
2074 MCGEHEE CV
1075 N AVALON ST
4582 MATT CV
3663 SUMMER GLEN DR
2789 SKY LAKE CV
1606 MAY ST
3634 PRINCE ANDREW CV
411 SHAWNEE AVE
1082 HALE RD
1069 MAURY ST
1072 MAURY ST
1112 N MCLEAN BLVD
5045 COTTAGE LN
1245 N HOLLYWOOD ST
3826 ANNETTE LN
1064 N WILLET ST
101 VILLAGE LN
1071 N AVALON ST
1149 TRAVERS LN
P.O. BOX 70004

MEMPHIS TN 38116
CORDOVA TN 38018
MEMPHIS TN 38108
MEMPHIS TN 38107
CHULA VISTA CA 91913
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
ORANGEVALE CA 95662
NEW CITY NY 10956
FORT SMITH AR 72916
BELLINGHAM WA 98226
MEMPHIS TN 38107
MEMPHIS TN 38107
MILLINGTON TN 38053
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
BARTLETT TN 38133
MEMPHIS TN 38107
MEMPHIS TN 38128
MEMPHIS TN 38135
MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38106
MEMPHIS TN 38116
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MEMPHIS TN 38107
MEMPHIS TN 38125
MEMPHIS TN 38108
MEMPHIS TN 38127
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
CORDOVA TN 38018
MEMPHIS TN 38107

JOHNSON JOSEPHINE B AND CASSAUNDR A G
SMITH-DRAKE BEVERLY F
CHILDERS CHARLIE F & ALMA J
JOHNSON SAMMIE L
SHIPMON MOLLIE L
KUYKINDALL ESTELLE S
RIZZATO ALEXANDER C
WALLS JACQUELYN W
WILBURN KERRI
YOUR HOME LLC
TAYLOR PETLEE T
RUSHING RIVER LLC
BROAD ST LLC
LOWE KEITH & DEBORAH A
JOHNSON LINDA F
BROWN COURTNEY J V
BENNETT REBECCA L AND LYNN M BERNIER
NORDENSKJOLD EDVARD
JONES RUBY M(LE)AND ANTHONY JONES AND
LEWIS EPHRON H JR
TAX SALE 219 GP
HILL WALTER W AND SANDRA HILL BURKE (RS)
STRAIGHT AND NARROW PATH MINISTRIES
SHIBUYA YOSHIAKI
DAVIS ANDRE K
SMALL LEONARD C & CHRISTY M
DANIEL LUOJIA
PILGRAM ESSIE M AND ANIE M KING
HOWARD LARRY M AND JOYCE A HOWARD AND
HERRON EDNA M IRREVOCABLE TRUST
JOHNSON PEARLINE
APT2 PROPERTY LLC
GENENT LLC
STEWART LINDA
ALLEN WAMON & BARBARA
GRABBE JAY
CORN-CHRISTIE FAMILY TRUST
RAMSEY BONNIQUE
CLARK SARAH
FRIESON LISA M
KING EVELYN
MALONE DOUGLAS L & AZALEE R
YOUNG TAYLOR JOY D AND STEVEN B YOUNG
BARNETT MARTIN & JENNIFER HEPLER
ROBINSON DESIREE W LIVING TRUST
BROWN VERONICA
HAYS J T & RUTHIE M

1763 EDWARD CV
8824 BRUNSWICK FARMS DR
1791 EDWARD AVE
1785 EDWARD AVE
1070 N AVALON ST
1801 EDWARD AVE
637 ADAIR CT
1058 N WILLETT ST
1605 N MICHELLE CIR
4435 SUMMER AVE
1070 E MICHELLE CIR
P O BOX 354
2595 BROAD AVE
1054 STONEWALL ST
1504 ALTA VISTA
6475 WELLS FARMS CV
1827 EDWARD AVE
46 FLICKER ST
6369 MUSTANG SPRING AVE
1858 EDWARD AVE
1779 KIRBY PKWY #1-347
1894 EDWARD AVE
4065 HITCHCOCK DR

1051 N WILLETT ST
1064 N AVALON ST
545 STONEWALL ST
1064 E MICHELLE CIR
1052 N WILLETT ST
1900 EDWARD AVE
1061 E MICHELLE CIR
6411 COTTONWOOD PARK LN
2172 N FOX HOLLOW DR #1
1906 EDWARD AVE
1075 N EVERGREEN ST
1055 N AVALON ST
7922 MCCONNELL AVE
1922 EDWARD AVE
1058 N AVALON ST
1930 EDWARD AVE
1914 EDWARD AVE
1942 EDWARD
7522 BRITNEY WOODS CIR
1072 N EVERGREEN ST
1057 E MICHELLE CIR
1066 N BELVEDERE BLVD
1067 N EVERGREEN ST

MEMPHIS TN 38107
ARLINGTON TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MORGAN HILL CA 95037
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38122
MEMPHIS TN 38107
NEWTOWN PA 18940
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38127
BARTLETT TN 38135
MEMPHIS TN 38107
MEMPHIS TN 38104
LAS VEGAS NV 89139
MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38107
MEMPHIS TN 38128

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
HOUSTON TX 77041
NIXA MO 65714
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
LOS ANGELES CA 90045
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
ARLINGTON TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

JOHNSON MARIONETTE	4607 RUSSETT PL S
HEMINGWAY JAMISON	1025 S 112TH ST
WOODS DARRYL L	185 RIVER LIGHTS LN
AMERICAN ADVISORS GROUP	3900 CAPITAL CITY BLVD
EVANS HELEN Y	1746 BROWN AVE
RAYNER ANNIE	1042 N WILLET ST
GENENT LLC	2172 N FOX HOLLOW DR #1
WHITE MARY L	1978 EDWARD
LEE ALFONZO	1018 HAWTHORNE ST
OLSON MATTHEW J & ELIZABETH N	9468 DOGWOOD ESTATES DR
BOYD ELIZABETH & JOHN L	2809 KIRBY RD #116
CROUT HERMAN (ESTATE OF) AND PAMELA	1770 BROWN AVE
BERNARD MARYE S	8921 VALLEY MILL LN
DOUGLAS HARRIET R	1052 E MICHELLE CIR
KEY MICHAEL & DELORES	1992 EDWARD AVE
GENENT LLC	2172 N FOX HOLLOW DR #1
MARSHALL LINDA V	1044 MAURY ST
MORRIS HERMAN JR	1800 OVERTON PARK
INNOVATIVE PROPERTIES LLC	1707 POWELL RUN CV
PETERSON WALTER	1047 N AVALON ST
HICKS MICHAEL D AND ELVIN M SLEDGE	1614 S MICHELLE CIR
REINVESTMENT CO LLC	8513 EDNEY RIDGE DR
BOWERS LAWANDA D	1060 N BELVEDERE ST
JOHNSON BARBARA	1051 E MICHELLE CIR
WHITELOW RITA R	1238 DARM AVE
GASTON REGINALD	1090 N MCLEAN BLVD
GUERRERO LUIS A & OLGA OCHOA	1822 BROWN AVE
HENDERSON ALFRED L & RUTH J	1057 N BELVEDERE BLVD
DANIEL LUOJIA	1646 YORK AVE
BROOKS THOMAS H & MATTIE F	1877 EDWARD AVE
HENDERSON TERESA A	1038 N WILLET ST
THOMAS PATRICIA A	1039 MAURY ST
SHANNON JOHN E & SANDRA	2394 JAMES RD
PHILLIPS KATHERINE	1885 EDWARD AVE
COLEMAN PRESTON	1041 N AVALON ST
GELSTON BETTY W	1044 N AVALON ST
TAYLOR MEREDEE A	1054 N BELVEDERE BLVD
RALLINGS AMBER	1043 E MICHELLE CIR
BASS TINA R AND ALEXIS R BASS	1838 BROWN AVE
CITY OF MEMPHIS TAX SALE 16 EXH #4207	125 N MAIN ST #3RD
WEIBERT BLAKE	1000 KEYLON ST
DEBERRY CLIFFORD M & LAVONIA	1891 EDWARD AVE
CITY OF MEMPHIS	1729 BROWN AVE
MOLDOVAN TREVOR Q	1035 MAURY ST
WESTBROOK ELIZABETH B AND DEBRA A	1026 RANDLE ST
PHILLIPS JAMES E JR	1080 N MCLEAN BLVD
BOUJNAH SUSAN	1032 N WILLET ST

SPENCER DOROTHY
SWIFT VESTER L AND KENNETH L SWIFT
MACK JIMMY L & VERLINE
CLARK MATTIE M
BAF 1 LLC
WILSON JEFF & DOROTHY J
JONES FRANK AND SHANNON PAIGE (RS)
SHAW MARIE S
PITTMAN KIMBERLY
MTCS LLC
KAHILL ROKENYA
BAHADOSINGH KEVIN
LONDON MASON T & SHIRLEY H
CRESTCORE III LLC
ALDRIDGE WILMA D
REED MICHAEL
MID SOUTH HOMEBUYERS GP
ST JOSEPH PROPERTIES LLC
ROBINSON RICHARD B
OKAIN LENA
SEWARD KATHLEEN
IDLEWILD LAND TRUST 1049
BATES HENRY L
HINES WILMA A AND ALMA MIDDLETON
MCGREGOR EVELYN D
LONDON SHIRLEY H
ALLEN JIMMIE & FANNIE L
WALKER ANGELA Y
ALLEN MARY E
SHELBY COUNTY TAX SALE 0704 EXH #6677
BONNER WARNER J
HARPOLE ZACHARY K
WILSON TERRANCE & JACQUELINE
HILL RONALD E & CONNIE
WALKER TIMOTHY J SR
JORDAN MAYNARD III AND KIMBERLY JORDAN-
DALE MILDRED AND TONDARLAIRD CURTIS (RS)
SCOTT ARSSIE S
BRIGHT RONALD L
BUY MEMPHIS NOW GP
CLARK KOREY
SMITH EULA M
CLEAR THE WAY SUPPORTIVE HOUSING CORP
NEAL ROWAN & JOHNETTA
MTCS LLC
MERCIER GLORIA F
FUJISAWA JUNICHIRO

1899 EDWARD AVE
1040 N AVALON ST
1035 E MICHELLE CIR
1032 MAURY ST
5001 PLAZA ON THE LAKE #200
1047 N BELVEDERE BLVD
1048 BELVEDERE
1029 MAURY ST
1034 E MICHELLE CIR
PO BOX 4470
1074 N MCLEAN
4723 DYLAN VALLEY DR
1041 N BELVEDERE BLVD
4435 SUMMER AVE
581 MONTEIGNE BLVD
PO BOX 751164
46 FLICKER ST
947 TURNBERRY CV
1028 N AVALON ST
3238 W LAKEWOOD DR
17 ELM ST
4511 SUMNERS WELLS RD
1615 S MICHELLE CL
1689 ROSEBUD LN
1052 N IDLEWILD ST
1041 N BELVEDERE BLVD
1685 ROSEBUD LN
1016 N WILLETT ST
1017 MAURY ST
PO BOX 2751
1053 MONTICELLO DR
1018 MAURY ST
PO BOX 40811
1019 N AVALON ST
1747 MITTEN TER
1054 MONTICELLO DR
1057 N MCLEAN BLVD
1042 HAWTHORNE ST
1874 N RAINBOW DR
5545 MURRAY AVE #201
1043 N IDLEWILD ST
1014 MAURY ST
5018 EXPRESSWAY DR S #204
1044 N IDLEWILD ST
PO BOX 4470
1045 MONTICELLO DR

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
AUSTIN TX 78746
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
STATELINE NV 89449
MEMPHIS TN 38107
MEMPHIS TN 38135
MEMPHIS TN 38107
MEMPHIS TN 38122
MEMPHIS TN 38103
MEMPHIS TN 38175
MEMPHIS TN 38104
COLLIERVILLE TN 38017
MEMPHIS TN 38107
MEMPHIS TN 38128
BELLINGHAM MA 2019
MEMPHIS TN 38118
MEMPHIS TN 38107
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MEMPHIS TN 38107
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MEMPHIS TN 38101
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
DELTONA FL 32738
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38107
RONKONKOMA NY 11779
MEMPHIS TN 38107
STATELINE NV 89449
MEMPHIS TN 38107

MRS GENERAL PARTNERSHIP
NOTUS VENTURES LLC
SHAW JO A
PETERS GLADYS
AVERY GLORIA J
SANDERS IMA
MALONE DOUGLAS L & WARRENE S
SHAW LAVERN (LE) AND ARTIE G SHAW AND
FLUKER KIMBERLY J
JOYNER JEROME JR & FRANCES
CLUNGEON NANCY & SCOTT
TUGGLE SADIE M
REED MICHAEL E
FLUKER TERRANCE O & KIMBERLY J
SPECIALIZED IRA SERVICES FBO HEALTHY
BD OF EDUCATION CITY OF MPHS
CAMPBELL ARNELL
BROOKS LINDA K
FOX ROBERT JR & BARBARA A
DOMINION ENTERPRISES FOUNDATION INC
HARDING JADA C & JAMELL L
TCHANG BRIAN
RAGLAND LANDIS
EDWARDS ANTOINETTE
CLUNGEON SCOTT & NANCY
ROANE SARAH AND JOETTA ROANE
FIKE DONALD F JR AND KIMBER A FIKE (RS)
CLUNGEON SCOTT & NANCY
CARPENTER DAVID & MARILYN
MENDEZ NELSON Y
STREET CARL R III AND LESLIE R GORDON
ANDERSON L E JR & ELIZABETH M
SUGGS JAMES JR
NICHOLS JOSEPHINE
BROOKS ROSE H
COLEMAN LUELLE
SCOTT OLIVIA F
ELOSIEBO RENEE F
MEM INVESTMENTS LLC
CASEY IOLA C
HOLLOWAY LEROY & OLA M
COTTRELL ROSALIND S
BARLOW EARLINE S AND LEDORA BARLOW
ROBINSON MILDRED S (LE) AND NATHANIEL
SMITH ROSEMARY B
WADE IRIS L
BATES CARL D SR AND GWENDOLYN L BATES

1779 KIRBY PKWY #1-347
4016 HILLMAN AVE #12
1006 N WILLETT ST
1008 MAURY ST
1070 TERRY CIR
1009 N AVALON ST
PO BOX 70114
1025 N EVERGREEN ST
3924 OTTER DR
1035 N IDLEWILD ST
1862 N RAINBOW DR
1002 N WILLETT ST
PO BOX 751164
1005 N AVALON ST
1128 20TH AVE
2597 AVERY AVE
1006 N AVALON ST
1084 TERRY CIR
996 N WILLETT ST
981 ALASKA ST
1030 MONTICELLO DR
1856 N RAINBOW DR
1026 HAWTHORNE ST
1000 MAURY ST
1862 N RAINBOW DR
999 N AVALON ST
3655 J ALAN DR
1862 N RAINBOW DR
1065 UNIVERSITY ST
1000 N AVALON ST
1017 HAWTHORNE ST
9451 WILLIAM LITTLE DR
982 RANDLE ST
1031 MONTICELLO DR
993 MAURY ST
994 MAURY ST
345 W 145TH ST #6B1
PO BOX 11382
PO BOX 471350
1044 TERRY CIR
1059 UNIVERSITY ST
1017 SHERIDAN ST
986 N WILLETT ST
987 MAURY ST
1063 TERRY CIR
1022 MONTICELLO DR
988 MAURY

BAILEY ELSIE L
SHAW MICHAEL A & GRETCHEN E
CLARK KENNETH
WINFREY CHARLIE & ALINE R
PERRY KEITH & WENDY
MOSBEY MICHAEL L & GWENDOLYN J
SHEFFA SARAH AND OPHELIA SMITH
LARSHA WILLIAM M & AUDREY I
BIN-HASSAN JADU A
SANDERS TAKIYAH
THOMAS DARRELL K
TAYLOR ALAN R (LE) AND ALAN R TAYLOR AND
WARREN CAROLYN A
RAY BARBARA J
WILLIAMS SHERRI C
BROWN LEE JR
DANIEL LUOJIA
HIBBLER MICHAEL
BATES TERRANCE M
CGIENT LLC
WILLIAMS DEXTON L
ALLEN JAMES K & MARIE
ENGSTROM IAN C
HERRINGTON JAMES C & JOANNA E CURTIS
SARGENT ANNIE M C
TAYLOR JACKSON C & RUTH L
CED INVESTMENTS LLC
HIBBLER LENDIA B
WARREN MARVIN
PIPPIN R B JR AND ANITA T PIPPIN
JONES AUDREY P
JACKSON PAUL & DOROTHY L
POLLARD DELOIS
DYE ALONZO T & CANARY A
GUADALUPE MARIA AND MIGUEL SALGADO
WATKINS LAKRISHA M
REED MICHAEL E
RAMSEY CLEMENTINE A
WRIGHT REVOCABLE LIVING TRUST
JOHNSON MABLE L
WILLIAMS GRACE G
PATTERSON JOYCE J
BRASWELL PETER E & LAURIE
CAMPBELL SHELIA
BROWN JOE W JR & ANNIE J
MASON VERLINA
WEBSTER CHENOBIA

1019 N IDLEWILD ST
1025 MONTICELLO DR
991 N AVALON ST
1056 SHERIDAN ST
1025 N MCLEAN BLVD
4390 FOREST VALLEY CV
1014 N IDLEWILD ST
1010 HAWTHORNE ST
982 N WILLETT ST
7065 IRELAND DR
4597 TCHULAHOMA RD
1019 MONTICELLO DR
4069 RIDGEDALE ST
1861 N RAINBOW DR
1000 TERRY CIR
976 N WILLETT ST
545 STONEWALL ST
980 MAURY ST
3070 BELGRAVE DR
6706 VININGS CREEK CV E
1032 TERRY CIR
1012 TERRY CIR
1044 SHERIDAN ST
1883 N RAINBOW DR
1045 UNIVERSITY ST
1011 MONTICELLO DR
39 AMY LEIGH DR E
980 MAURY ST
973 MAURY ST
1034 N BARKSDALE
1005 N IDLEWILD ST
1030 TERRY CIR
1041 UNIVERSITY ST
1035 SHERIDAN ST
966 N WILLETT ST
967 MAURY ST
P.O. BOX 751164
1856 MONTICELLO DR
4063 FIR HILL DR
971 N AVALON ST
1860 MONTICELLO DR
996 N IDLEWILD ST
1021 N BARKSDALE ST
P O BOX 280936
1024 TERRY CIR
988 HAWTHORNE ST
1874 MONTICELLO DR

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38141
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38018
MEMPHIS TN 38118
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MEMPHIS TN 38112
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MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
DRUMMONDS TN 38023
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38175
MEMPHIS TN 38107
LAKELAND TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38168
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

CLEAR THE WAY SUPPORTIVE HOUSING CORP
MOORE FRANCES R
SEC OF HOUSING & URBAN DEV
SIMONS RICHARD
OCTOBER 16TH PRODUCTION LLC
SFR MEM LLC
RICKS MARCIA A
T LAND VENTURES LLC
TABOR TOMMY L & BETTY L
PARKER PATRICIA
COTTON WILLIE M
SOAP LLC
JENKINS CORNELIA
TURNER JULIUS C
VINSON MATTHEW & IRIS V VALENZUELA
DICKENS GRADY L AND CAROLE A DICKENS
TURNER JULIUS C
TATE TAMMARA
JECK FOUNDATION COMPANY
COLEMAN LEROY & BARBARA J
MARTIN HENRY V JR & PHYLLIS A
COULOUBARITSIS & COULOUBARITSIS
TAYLOR ROBERT JR & ANNIE P
BLACKMORE REBECCA H E
BALL LOU P G
MATHEWS TONY F AND PHYLLIS D MATHEWS
RAMOS LEONARDO
WINSTEAD DARRELL M
HIBBLER LURLINE P
PARDUE JOYCE A
ERVIN JOHN A JR & MARY A
HOUSTON ROBERT L & DONZELL
ALMORAISI HUSIEN AND SADEO A AIKABSH
NAIK DARSHAN D
THOMASON CHARLENE B AND JONATHAN D
MCNEAIL JANICE
ROGERS THELMA L
WOODFORK RUTH G
THOMAS BRUCE JR
TATE LEE N
HECKMANN JOHN
BELL SYLVIA M
INFINITY PROPERTIES TCS LLC
JACKSON ERIC A & APRIL D
REESE RESH J & WILLIE G JR
O'BRIEN SHAYNE
HANSON JAMES A & ANITA

5018 EXPRESSWAY DR S #204
3660 MASONWOOD LN
616 MARRIOTT DR #300
3858 SUMMER AVE
67 MADISON AVE #407
5400 POPLAR AVE #210
1024 N BARKSDALE ST
4728 SPOTTSWOOD AVE #120
993 N IDLEWILD ST
1019 TERRY CIR
3656 HAUGHTON LN #2
5 SWEETWATER AVE
964 N AVALON ST
809 N MCNEIL ST
1017 N BARKSDALE ST
982 HAWTHORNE ST
809 N MCNEIL ST
8513 EDNEY RIDGE DR
4821 AMERICAN WAY #101
1011 N BARKSDALE ST
1023 UNIVERSITY ST
756 E BROOKHAVEN CIR
1014 N BARKSDALE ST
987 N IDLEWILD ST
961 N AVALON ST
1008 E RAINBOW DR
1614 VOLLINTINE AVE
1620 VOLLINTINE AVE
1608 VOLLINTINE AVE
1628 VOLLINTINE AVE
1863 MONTICELLO DR
1005 N BARKSDALE ST
1009 GETWELL
1019 N UNIVERSITY ST
1867 MONTICELLO DR
1016 SHERIDAN ST
981 N MCLEAN BLVD
4889 PINEFROST CV
1004 E RAINBOW DR
1664 VOLLINTINE AVE
1887 MONTICELLO DR
6948 BISHOPS VALLEY CV
3554 DEL AMO BLVD #B
970 HAWTHORNE ST
1007 SHERIDAN ST
4322 SE YAMHILL ST
997 N BARKSDALE ST

HOWARD AUBREY & PATRICIA C	1858 S RAINBOW DR
BURNS GENEVA	3010 ROCHESTER RD
BELOATE LAUREN N	1001 SHERIDAN ST
HUCKEBA LISA L	990 E RAINBOW DR
WILLIAMS JULIAN C & EUNICE A	964 HAWTHORNE ST
PRICE ROBERT L & MARY R	991 N BARKSDALE ST
DICKSON ARLEE G	1003 UNIVERSITY ST
ADAMS ARTHUR L AND CRISTINA D ADAMS	972 N IDLEWILD ST
REHBERG WILLIAM R	2241 WASHINGTON AVE
ROBINSON EDDIE L & ELVIE R	997 SHERIDAN ST
PERRY CLARENCE B & EDNA A	971 N MCLEAN BLVD
CRAWFORD ALMA	999 UNIVERSITY ST
ANDERSON LOWDEN E JR & ELIZABETHA M	9451 WILLIAM LITTLE DR
VAUGHN VERNA B(LE) AND MAGNOLIA R	965 N IDLEWILD ST
ALLEN JAMES C	994 SHERIDAN ST
PAULUS ALEXANDER	981 N BARKSDALE ST
FOLSOM CHARLIE C & MINNIE T	954 HAWTHORNE ST
GARNER JOE E & BETTY M	993 UNIVERSITY ST
ROSTAMIANI KIANA	987 SHERIDAN ST
MID SOUTH HOMEBUYERS INC	2238 CENTRAL AVE
VELASQUEZ CARLOS (75%)AND AMANDA CASTANO	978 RAINBOW DR
FAGAN SUSAN M REVOCABLE LIVING TRUST	1855 S RAINBOW DR
DAVIS ROBERT S & CARRIE M	987 UNIVERSITY ST
CLARK CONSTANCE C	1863 S RAINBOW DR
LAMB ANGELA J AND HILLARY J PESSON (RS)	977 N BARKSDALE ST
PATIL RAJ M	1869 S RAINBOW
HAMMOND REBEKAH L	980 N BARKSDALE ST
GLOVER ROBERT Z	970 E RAINBOW DR
EDWARDS ARTHUR D	1887 S RAINBOW DR
WELLS ELIZABETH & BRANDON	525 EASTBOURNE PL
BEST MARY D	1893 S RAINBOW DR
KIZER ALFREDA	971 N BARKSDALE
CUNNING BRANDON AND JOHN CUNNING (RS)	940 JOLLY SCHOOL RD
BROWNLEE ALPHONSO	977 SHERIDAN ST
TAYLOR RONALD AND DONALD TAYLOR	6268 ELMORE RD
BERKEMEYER JON R	965 N BARKSDALE ST
NORWOOD STEPANIE C	970 N BARKSDALE ST
JONES TERESA D	947 N MCLEAN BLVD
YATES JAMES L & JACQUELINE A	971 SHERIDAN ST
GOODEN JESSIE J	974 SHERIDAN ST
FREEMAN RUBY W	1874 VOLLINTINE AVE
WELCOME HOME PROPERTIES LLC	2425 W HICKORY CT
THOMPSON JULIA S (LE) AND EVERETT	964 N BARKSDALE ST
SANCHEZ MIGUEL A	1400 ANNUNCIATION ST #1120
GOOCH MARK	1896 VOLLINTINE AVE
KING CLARA AND LUCILLE TAYLOR AND	970 SHERIDAN ST
JORDAN MARIE S	1898 VOLLINTINE AVE

WILKINS JULIA T	2604 CAMROSE CV
WATKINS LARRY SR	1902 VOLLENTINE
BRAZIER NANNIE S	1912 VOLLINTINE
MID SOUTH HOMEBUYERS INC	2238 CENTRAL AVE
KING AIR PARTNERS LLC	2883 S MENDENHALL #1
FORD RICHARD A	909 PHILADELPHIA
TARBELL KRISTINE	15537 W JOMAX RD
DIXON THOMAS & VERA	965 UNIVERSITY ST
LINDSTROM MARK E	954 N BARKSDALE ST
MCKEE CONSTANCE A AND NANCY COLEMAN (RS)	650 WHITE OAK RD
THORNBURG BRANDON W & JENNA J	959 UNIVERSITY ST
SMITH VANESSA C	951 SHERIDAN ST
CURRY RAY A	949 UNIVERSITY ST
ABDILLAHY FAYSAL & RODA ISMAEL	1449 ISLAND TOWN CV
SMALL EARNEST	3348 HOMEWOOD DR
STEVENSON VIOLET Z	1068 N WILLETT ST
WILLIAMS CALVIN C JR	1074 N WILLETT ST
HUNTER LESSYE AND PHIL WALLACE	6065 PEBBLE BEACH AVE
HILL ROY & SIDNEY J	1114 W LEXINGTON CIR
EL-TAYECH GHASSAN	2145 LITTLEMORE DR
WILSON TERRANCE & JACQUELINE	PO BOX 40811
ARIJE WESLEY	8419 WOOD SHADOWS LN
BRICKHOUSE INVESTMENTS LLC	4781 N CONGRESS AVE
HDE INVESTMENTS LLC	706 NE 191ST ST
PATTERSON CARL D	2680 MCVAY RD
RHODES CEDRICK	198 TIMBER LN
BIGGS ONTONIO S	3800 CORAL DR
STEPHEN-SWIMS TOWANDA	5083 FAIRBROOK AVE
TAYLOR JULIA	3323 DENVER ST
GRAHAM MICHAEL A	1975 HUBERT
WELLINGTON LINDA D AND INGRAM COLE JR	1969 HUBERT AVE
HOOKS ROSE MARY	971 IDLEWILD
SHORES MILDRED	978 N IDLEWILD ST
SIMONS RICHARD	3858 SUMMER AVE
MELLS LARRY & DOROTHY G	990 N IDLEWILD ST
VICK ERIC J AND MYLINDA J VICK (RS)	1026 E RAINBOW DR
CHURCH OF GOD IN CHRIST (TRS)	1740 VOLLINTINE AVE
GREGORY EARL D & COUNTESS S	1634 VOLLINTINE AVE
PACCASASSI EUGENE L	1868 S RAINBOW DR
LEAKE JOE H & GLADYS G	1975 EDWARD AVE
BAILEY BEN AND VERNA POTTS AND	1985 EDWARD
BRYANT CLEOPHUS JR	3678 TWINMONT
JONES QUINCY N	1490 VOLLINTINE AVE
TRAN TRUC-MY	750 MAURY ST
MULLINS WREATHA (LE) AND CEDRIC GARRETT	1458 VOLLINTINE AVE
WARD SARAH L	1466 VOLLINTINE AVE
SMALL BRIA	3348 HOMEWOOD DR

MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38115
MEMPHIS TN 38104
SURPRISE AZ 85387
MEMPHIS TN 38107
MEMPHIS TN 38107
SOUTHAVEN MS 38671
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38115
MEMPHIS TN 38107
CORDOVA TN 38016
MEMPHIS TN 38174
CORDOVA TN 38018
BOYNTON BEACH FL 33426
MIAMI FL 33179
MEMPHIS TN 38119
MEMPHIS TN 38112
MEMPHIS TN 38127
MEMPHIS TN 38118
MEMPHIS TN 38127
MEMPHIS TN 38108
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38128
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38128

BLUFF CITY INVESTMENTS
TATE JACQUES A AND YOLANDA W WOODS
SMALL BRIA
JONES RODERICK
JACOBS ROBERT R AND SHIRLEY N JACOBS
ANDERSON JOHNNIE C
STEVENSON GEARLINE
JONES JIMMIE E & BOBBIE C
RICHARDSON L B
DANIEL LUOJIA
HAMPTON EDGAR JR & ETHEL N
CROUCH JERRY AND LINDA CROUCH TRUST
THOMPSON SEAN
JONES WILLIE L & RUTHA B
MATHEWS DOROTHY M
DARMALI JULIUS B LIVING TRUST
KING BETTY
NELSON JAMES A & KATHERYN (LE) AND
PEEPLER FREDDIE M W
MITCHELL JACQUELYN D
MCFADGON ROY L AND GLADYS O TALLEY
WILLIAMS VICKIE N
PEGAGUS REAL ESTATE SERVICES LLC
STRONG BYRON R
PIRTLE ROCHELLE
PROSERVICES CONTRACTORS AND CONSULTING
WILLIAMS HARRISON AND SANDRA R WILLIAMS
SWENSON TROY
WELLS VALERIE J
MILLER JACOB
DANIEL LUOJIA
COINS GLADYS M
SAM WYATT RENTALS LLC
CLAYTON JOHNNIE & MILDRED A
POINDEXTER BETTY J
JOHNSON RICKEY E & SANDRA R
GUY CARMELLA R
MAYFLOWER LLC
HARRIS MARY E
NEWMAN LARRY E
MCKINLEY INVESTMENTS LLC
ELLIS LEONARD L III & IRENE W
MITCHELL GARDNER T
SANFORD LEE
SIMS VADA JR
COLAR BENJAMIN P & SAMILLIA M
PATTERSON CARL D


PO BOX 40584
963 STONEWALL ST
3348 HOMEWOOD DR
965 STONEWALL ST
8741 ROCKY TOP CV
1468 VOLLINTINE AVE
983 N MCNEIL ST
984 GARLAND ST
983 GARLAND ST
PO BOX 41661
1001 STONEWALL ST
1957 N PARKWAY
5505 BLACKHAWK DR
1027 N IDLEWILD ST
1015 GARLAND ST
5542 RYLAND AVE
5100 POPLAR AVE #2700
1024 N MCNEIL ST
1023 N MCNEIL ST
1024 GARLAND ST
1023 GARLAND ST #N
2899 MCVAY TRAIL CV
PO BOX 381373
121 FOREST HILL IRENE RD S
1029 N MCNEIL ST
2093 UNION AVE
1516 N VOLLINTINE AVE
PO BOX 5
1520 CASTALIA ST
964 STONEWALL ST
1646 YORK AVE
1926 HUBERT AVE
10 SOUTH LN
1006 STONEWALL ST #N
1009 N WILLETT ST
1012 STONEWALL ST
1015 N WILLETT ST
P O BOX 770081
1021 N WILLETT ST
1020 STONEWALL ST
1050 S BARNWELL CV
1203 N WINNETKA AVE
1031 N WILLETT ST
1030 STONEWALL ST
1035 N WILLETT ST
1034 STONEWALL ST
2680 MCVAY RD

MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38128
MEMPHIS TN 38107
CORDOVA TN 38016
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38112
ACWORTH GA 30102
MEMPHIS TN 38107
MEMPHIS TN 38107
TEMPLE CITY CA 91780
MEMPHIS TN 38137
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
GERMANTOWN TN 38183
CORDOVA TN 38018
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38107
PINOLE CA 94564
MEMPHIS TN 38114
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38108
ENGLEWOOD CO 80113
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38177
MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38018
DALLAS TX 75208
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119

JOHNSON BETTYE S AND EVERTINA S	7700 BRUNSWICK RD
TOLER ARNOLD W JR	1920 EDWARD AVE
TOPSTONE INV MEM 1 LLC	PO BOX 1478
ANDERSON BOBBY E & VIRGINIA L	1921 EDWARD AVE
HOFSTETTER KEVIN	2070 MADISON ST NE
REVERSE MORTGAGE FUNDING LLC	3900 CAPITAL CITY BLVD
NORRIS CAROLYN L AND ELMER L MAYES JR	974 GARLAND ST
JAMES DEBORAH AND RUBY J HILLIARD (RS)	1045 SHERIDAN ST
JONES IVANHOE & CLEMMIE	1933 EDWARD CV
WILLIAMS VICTORIA A	1917 EDWARD CV
HILL HARRY G	1947 EDWARD CV
EASTER MICHALYN S	1963 EDWARD AVE
HEMINGWAY ETHEL	1950 EDWARD AVE
JAMES VIVIAN	1039 SHERIDAN ST
BUCKMAN LABORATORIES INC	1256 N MCLEAN BLVD
LINCOLN HOLDINGS LLC	PO BOX 186
CITY OF MPHS FLOOD CON LAND	GENERAL DELIVERY
CITY OF MEMPHIS	GENERAL DELIVERY
MEMPHIS & SHELBY FLOOD CONTROL	GENERAL DELIVERY
ARIJE WESLEY	8419 WOOD SHADOWS LN
BROWN LEXINGTON GP	1779 KIRBY PKWY #1-347
DORMER ARNOLD R JR & JUANITA	4541 JANICE AVE
MEMPHIS & SHELBY FLOOD CONTROL	GENERAL DELIVERY
NEXAIR LLC	PO BOX 42047
DAVIS ANDRE K AND ANDRE K DAVIS II	1051 N WILLETT ST

Section 3

LEWIS MIRANDA	3824 NORTHCLIFF DR
HENDRIX WALLACE T & CAROL S AND JOHN J	2140 ALLEN FERRY RD
S AND L REAL ESTATE INVESTMENTS LLC AND	1889 WAVERLY AVE
GILES ANTIONETTE	PO BOX 24646
VO SUONG	750 MAURY
MCPETERS KEITH D & NANCY J	16935 FORREST
LENCKE JOSEPH S & CATHERINE	926 GARLAND ST
CAMPBELL LAWRENCE AND SHIRLEY A HANKINS	933 N WILLETT ST
HARRIS GLADYS AND TOMMIE HARRIS	919 GARLAND ST
CLEAVES WILLIE JR & MARY P	922 N GARLAND ST
SHELTON RODNEY D AND JEFFREY B SHELTON	918 GARLAND ST
YANCEY LEON AND PEACHER GRANDBERRY	930 N WILLETT ST
FOSTER SHIRLEY D	920 N MCNEIL ST
OUCHI KOICHI	
GOODRICH MICHAEL R	3383 GREENRIDGE CV
TEN TEN PARTNERS OF TN LLC	PO BOX 320127
HUNTER DONNIE E & CAROLYN A	909 GARLAND ST
REYES RAUL	4466 KAYLA CV
ROBINSON DOROTHY J	904 N WATKINS ST
COATES ISAIAH M	914 N MCNEIL ST
GILKEY LILLY R	918 STONEWALL ST #N

MILLINGTON TN 38053
MEMPHIS TN 38107
BLUE SPRINGS MO 64013
MEMPHIS TN 38107
SALEM OR 97301
LANSING MI 48906
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38108
HERNANDO MS 38632
MEMPHIS TN 38101
MEMPHIS TN 38101
MEMPHIS TN 38101
CORDOVA TN 38018
GERMANTOWN TN 38138
MEMPHIS TN 38122
MEMPHIS TN 38101
MEMPHIS TN 38174
MEMPHIS TN 38107

MEMPHIS TN 38128
SMITHVILLE TN 37166
MEMPHIS TN 38114
WEST PALM BEACH FL 33416
MEMPHIS TN 38107
CANYON COUNTRY CA 91351
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

MEMPHIS TN 38115
BOSTON MA 2132
MEMPHIS TN 38107
MEMPHIS TN 38141
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

HOUSTON DEDRICK & PATRICIA D G
M & H HOLDINGS
GARDNER OSCAR L & MAXINE
JOHNSON SHARON K
KELLY-PARROTT MARY
VALENCIA FRANCISCO J
DANIEL LUOJIA
GULMAN ILAN
WASHBURN BETTYE C
CADILLAC'S BAR AND GRILL INC
SAYLES EDDIE L & MARY
EDWARDS ARTHUR D & KAREN M
WRIGHT STANLEY
EL-TAYECH OUSSAMA M
POLK MANFRED
WATTS LUCILLE
CLEAR THE WAY SUPPORTIVE HOUSING CORP
GIANNINI PAUL A AND PAUL V GIANNINI
DIAZ BRANDON
DODSON LESTER
DANIEL LUOJIA
WAINWRIGHT BARBARA J
DONALD JAMES JR
BUNTING ROY N G
M & H HOLDINGS
GRISHAM ROBERT AND ROBERT A THOMPSON JR
HILL GENE
WIGGINS BETTY J
ROWLAND DEREK
BOYLAND CONNELL & MARGARET D
HAYNES MARY R
OLDEN LEWIS & WILLIE M
JOHNSON FAMILY TRUST
POWELL-ALEXANDER DEBORAH
FORD SIDNEY III
SWENSON TROY AND YOLIANA SWENSON
DANIEL LUOJIA
MCCRACKEN ARTRESSIA T
MARSHALL CHARLES
FENTRESS LARRY D
KITCHIN PROPERTIES LLC
MCKINNEY CHARLES W AND LILLIE MCKINNEY
BRADLEY CRISTOFIR & ANGELA RUSSELL
CLEAR THE WAY SUPPORTIVE HOUSING CORP
TAYLOR FRANKY AND DOLLY TAYLOR
POWELL WILLIE C & BARBARA
GOLIGHTLY GARY K

935 DICKINSON ST
4520 FLAMINGO
909 STONEWALL ST
933 N BELVEDERE BLVD
3794 HELMWOOD
3106 NAPLES DR
1646 YORK AVE
893 GARLAND ST
930 DICKINSON ST
566 N CLAYBROOK
13211 COLDWATER DR
1887 S RAINBOW DR
381 MILITARY RD
4253 RHODES AVE
PO BOX 1683
924 DICKINSON ST
5018 EXPRESSWAY DR S #204
4404 GOOD FORTUNE LN
6395 THISTLEBROOK DR
PO BOX 27156
408 S FENWICK RD
889 N MCNEIL ST
914 N AVALON ST
920 DICKINSON ST
4520 FLAMINGO
1268 SLEDGE AVE
5088 KENNET CT
925 N EVERGREEN ST
27525 LINDVOG RD NE
910 N AVALON ST
889 STONEWALL ST
879 GARLAND ST
924 N EVERGREEN ST
8660 WOOD MILL DR W
903 N AVALON ST
PO BOX 5
545 STONEWALL
890 STONEWALL ST
4903 BENJESTOWN RD
3013 DUMBARTON RD
1802 CHARRINGTON LN
924 N AUBURNDALE ST
1186 SLEDGE AVE
5018 EXPRESSWAY DR S #204
1348 FAR DR
894 MAURY ST
929 N IDLEWILD ST

MEMPHIS TN 38107
MEMPHIS TN 38117
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38127
OXNARD CA 93035
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
OLIVE BRANCH MS 38654
MEMPHIS TN 38107
COLLIERVILLE TN 38017
MEMPHIS TN 38111
BRENTWOOD TN 37024
MEMPHIS TN 38107
RONKONKOMA NY 11779
BARTLETT TN 38135
MEMPHIS TN 38115
MEMPHIS TN 38167
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MEMPHIS TN 38107
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MEMPHIS TN 38107
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MEMPHIS TN 38141
MEMPHIS TN 38107
KINGSTON WA 98346
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38016
MEMPHIS TN 38107
PINOLE CA 94564
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38128
COLLIERVILLE TN 38017
MEMPHIS TN 38107
MEMPHIS TN 38104
RONKONKOMA NY 11779
CORDOVA TN 38016
MEMPHIS TN 38107
MEMPHIS TN 38107

WILLIAMS REGINALD B SR AND DONALD
TAYLOR TIJUANA N
GREENE ALTHEA
WHITE KRISTEN
DOUGLAS PATRICIA
BLEDSOE RODNEY M SR
MCKINNEY ALFREDIA
MCCUISTON CAROLYN T AND GRACE T PILOT
LONG JACKSON
GORDON ROBERT J AND JONATHAN GORDON AND
WILKS BLANCHIE M
GREEN SHARON K F
RIGUS ANTONIUS R & TAMI K ROBBINS-RIGUS
BRIDGES JOAN A
BORYS JULIA M
EULLS HUGH M
MCDONALD RONALD P & SUSAN J
COBBINS YVONNE AND DESHUN C BOYD AND
OSELUKWUE CHUKWUEMEKA
JOHNSON LULA AND ALFONZA JOHNSON AND
SHELBY COUNTY TAX SALE 16.01
NAYLOR AMANDA E
INKAN INVESTORS GP
WHITLOW SONJA S
WHITE MAGGIE
SNOW CHRISTOPHER S
KING KATHERINE W AND MARJORIE MILAM (RS)
ROBINSON NATHANIEL & GWENDOLYN J
GOTTIER NICOLE & ERIC HERMEYER
PEETE RICKEY W & ERNESTINE J
VAN GROUW JOHN AND TIFFANY OWENS
PARAGON GROUP LLC
BROWN JOHN & BARBARA J
NAVE JAMES E & REGENIA H
RIDDLE LUCY (ESTATE OF)
JACKSON MAGNOLIA AND MINNIE L HARRIS AND
VINCENT MICHAEL C & DEBORAH A
LONG JACKSON
HUNT MARIA E
LONDON STEVEN E & MATTIE
JAUDON KATHY JO AND MICHAEL JAUDON (RS)
MASSEY VELMA
DANIEL LUOJIA
FREEMAN CHARLOTTE M
DANIEL LUOJIA
EDWARDS MCKINLEY
MCBRIDE KIMBERLY D AND REGINALD L DENNIS

904 DICKINSON ST
910 N BELVEDERE BLVD
924 HAWTHORNE ST
930 N IDLEWILD ST
864 N WATKINS ST
890 MAURY ST
884 N WILLETT ST
PO BOX 16076
863 GARLAND ST
1594 HARBERT AVE
900 DICKINSON ST
893 DICKINSON
933 KENSINGTON PL
874 STONEWALL ST
924 N IDLEWILD ST
884 MAURY ST
919 N IDLEWILD ST
873 N WILLETT ST
879 MAURY ST
894 DICKINSON ST
PO BOX 2751
902 N EVERGREEN ST
101 VILLAGE LN
924 N MCLEAN BLVD
940 N AUBURNDALE
930 N BARKSDALE
893 N EVERGREEN ST
874 MAURY ST
899 N AUBURNDALE ST
915 N MCLEAN BLVD
1405 RED BEND CV
3770 GOODMAN RD
3575 RHODES AVE
863 N WILLETT ST
884 DICKINSON ST
869 MAURY ST
914 N MCLEAN BLVD
1783 SEA ISLE RD
1032 BROWER ST
846 N WATKINS ST
910 N IDLEWILD ST
839 N WATKINS ST
545 STONEWALL ST
899 HAWTHORNE ST
545 STONEWALL ST
869 N AVALON ST
5443 CLOISTER DR

JOHNSON KIMBLE C
MORRIS TODD O
KILGORE CAROLYN L
JOHNSON RAGAN N
LY NGUYET T
R AND R CONTRACTING GROUP LLC
BRASWELL FREDERICK L
HANDLEY DORIS J
MARTINELLI BRIAN A
TRACY PAUL J
LIN HUI YU
HANKINS JOE JR
GROSS MARSHA L
DONOVAN PATRICK & LYNNE
CUNNINGHAM LYTONIA L
INKAN INVESTORS GP
BIVINS LONNIE B AND JAMES W BIVINS AND
AUSTILL TOMMY L JR
CISARIK PATRICIA M AND DAVID L SMALLEY
GRIGSBY STEVE & CONITA
MILLER DANA
BROOKS WILLIE E
MONTROYA JUAN
914 SHERIDAN LLC
GAITHER LUCINDA M
FUKAZAWA KENICHI
SPENCER JAMES JR
HUSEMAN KENDRA
SMITH STEPHEN C AND WILLIAM S SMITH
LAUDERDALE BRENDA J
WISE SHANNON
SOWELL DAVID M & CAROL A
MCATEE LYNZEE AND RODREQUIZE MCATEE
MCDONALD DON L & HEATHER G
BREMER THOMAS S & MELANIE R
WILSON REBECCA A
WALL ROBERT B
RGH REAL ESTATE INVESTORS LLC
TAYLOR AUGUSTUS & LINDA P
COLE STEVEN N AND MITZI G COLE
PIERANTONI ANITA L REVOCABLE LIVING
SOLID WORK LLC
SMITH LISA
SIMON CRAIG M & TRACY V
JAMES REBECCA K
MYLES VALTRESA S
WARNERS DAVID K & ELIZABETH K

1346 VINTON AVE
879 BELVEDERE
904 N IDLEWILD ST
903 N MCLEAN BLVD
1079 N PARKWAY
8566 MACON RD
910 N MCLEAN BLVD
914 KENSINGTON ST
909 KENSINGTON PL
895 N IDLEWILD ST
4620 GOLDEN WEST CV
856 N WILLETT ST
894 HAWTHORNE ST
1040 CHANDELLE LAKE DR
924 SHERIDAN ST
101 VILLAGE LN
2310 DEVOY AVE
884 N AUBURNDALE ST
900 N MCLEAN BLVD
853 N AVALON ST
877 N AUBURNDALE ST
830 GARLAND ST
8160 SHALLOW GLEN TRL
5012 24TH ST S
878 N AUBURNDALE ST

846 N STONEWALL ST
835 STONEWALL ST
5477 MURFF AVE
845 MAURY ST
894 N MCLEAN BLVD
871 N AUBURNDALE ST
864 N BELVEDERE BLVD
915 UNIVERSITY ST
900 KENSINGTON PL
847 N AVALON ST
881 N IDLEWILD ST
6400 BALTIMORE NATIONAL PIKE #238
904 N BARKSDALE ST
497 WARE TRL
850 N AVALON ST
246 ADAMS
888 N MCLEAN BLVD
507 W CLOVER DR
909 UNIVERSITY ST
871 HAWTHORNE ST
849 DICKINSON ST

MEMPHIS TN 38104
MEMPHIS TN 38108
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38105
CORDOVA TN 38018
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
SOUTHAVEN MS 38671
MEMPHIS TN 38107
MEMPHIS TN 38107
PENSACOLA FL 32507
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38108
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38016
ARLINGTON VA 22206
MEMPHIS TN 38107

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38107
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MEMPHIS TN 38107
CATONSVILLE MD 21228
MEMPHIS TN 38107
PEARCY AR 71964
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38120
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

CHAMPINE ANGIE E
SPENCER TERRY G (1/3%) AND SPENCER
PERRY ALITHA A AND SUZETTE BLAKELY AND
STREET WILLIAM A III AND CAROL E STREET
CRAWFORD KENSI J
BRIGHT BERNICE L
MARTIN JAMES L SR
SKEFOS JAMES
WEBSTER STEVEN R
CAUDLE SYLVIA MATTHEWS TAPP
VEGO JOHN F
MULLIKIN SUSAN
RAWLS BARBARA J
WALKER CHARLOTTE
COLE DELMA R
MH STORES INC
CARTWRIGHT CHRISTOPHER
THOMAS BRAD & REBECCA B
SWIFT LINNIE M
ANDERSON ELAINE
GASSON STEPHEN J
WILLIAMS DOROTHY J
RICE DAWN
CREAGH DAVID W
BURCHETT LEROY & BETTY
LONG JACKSON
THOMAS LAURA C
KEELING MARCELL
HENDERSON TARA L & LLOYD CATES JR
BALTZ FAMILY REVOCABLE TRUST (THE)
VOLLINTINE EVERGREEN COMM ASSOC COMM DEV
CRAWFORD LINDA C AND PATRICIA C SHELLS
DODSON DENISE W
GARDNER GREGORY L
GRAY LAWRENCE & WILLETTE D
MOCHOW CARL R & MARIAN S
BROWN SHERMAN
DAVIS PAUL
BATTISTE EVELYN
WINDHAM JAMES T & DONNA P K
ZALESKI HANNAH AND ROBERT E HILL
CLEAR THE WAY SUPPORTIVE HOUSING CORP
BROAD ST LLC
POSTELL BRUCIE AND GLORIA SCOTT (RS)
MCKEE CHARLES D & FRANCESCA
MONTGOMERY PETER T
DAVIS PAUL J

883 N MCLEAN AVE
889 KENSINGTON PL
846 N AVALON ST
7938 US HIGHWAY 70
8238 GREENGATE CV
829 N WILLETT ST
612 BENHAM AVE
2884 WALNUT GROVE RD
856 N BELVEDERE BLVD
1708 S WHITE STATION RD
867 HAWTHORNE ST
905 UNIVERSITY ST
820 N MCNEIL ST
830 N WILLETT ST
810 N WATKINS ST
4560 SUMMER AVE
840 N AVALON ST
900 SHERIDAN ST
151 VERNON ST
805 N WATKINS ST
1283 HARBERT AVE
884 KENSINGTON PL
830 MAURY ST
877 KENSINGTON PL
846 N BELVEDERE BLVD
1783 SEA ISLE RD
862 HAWTHORNE ST
824 MAURY ST
1760 JACKSON AVE
835 DICKINSON ST
1680 JACKSON AVE
615 FATHERLAND ST
825 N AVALON ST
884 N BARKSDALE ST
809 STONEWALL ST
871 KENSINGTON PL
491 MOCKINGBIRD DR
821 MAURY ST
1778 JACKSON AVE
883 SHERIDAN ST
887 UNIVERSITY ST
5018 EXPRESSWAY DR S #204
2595 BROAD AVE
810 STONEWALL ST
1798 JACKSON AVE
861 N MCLEAN
45 FAIRWAY RDG

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38133
CORDOVA TN 38018
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38111
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NASHVILLE TN 37206
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BRIGHTON TN 38011
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
RONKONKOMA NY 11779
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
LAKE WYLIE SC 29710

PADAVIC JOHN A	865 KENSINGTON PL
MARTIN SYLVIA B	805 STONEWALL ST
SHIELD INC	2552 POPLAR AVE #215
LOWE NANCY M AND ERWIN DEAN	878 N BARKSDALE ST
GORDON GRACE L AND JOSEPHINE BERKLEY	799 N MCNEIL ST
WILLIS DEBORAH G	3079 ORDWAY DR NW #A
SYKES GERALDINE G	1626 JACKSON AVE
MCKINNIE WILLIAM A & FLORINE O	800 N MCNEIL ST
WIRT PRISCILLA	811 MAURY ST
MCGHEE FABIAN AND TONY L HOUSTON	1856 JACKSON AVE
BOYD JAMES	862 KENSINGTON PL
WEATHERLY ANGIE H (LE) AND NELLIE	805 MAURY ST
RIDDLE LAVONNA L	500 KYLE RD
STAMPHER MATTHEW J	1500 HUDSON ST #6 T
SYKES GERALDINE G	1626 JACKSON AVE
MARCH MATTHEW	1894 JACKSON AVE
WOODY WILLIE J & RUBY M	775 N WATKINS ST
HART JONATHAN	801 MAURY ST
WILSON KAY F	789 STONEWALL ST
LONG ALICIA M	795 N WILLETT ST
O'KELLEY CYNTHIA M & CHARLES K	814 N AVALON ST
SEHLING ROMAN & MICAH M TRAPP	866 SHERIDAN ST
BROADWAY GIA & DANNY	1906 JACKSON AVE
MORRIS JEANNETTE D	7205 GERMANSHIRE OAKS CV
WALKER WILLIE C & GENEVA C	786 N MCNEIL ST
KAMEOKA ANN H & HUGH E DAVEY	693 TUSCANY CT
CLANCY SEAN AND MAILE CLANCY	2724 LUPINE
GOFORTH RICHARD A	865 UNIVERSITY ST
WILLIAMS CHARLES W & LOREAN D	775 GARLAND ST
LEVY MILTON V & DESOLINE	779 N MCNEIL ST
SUDDUTH RONALD JR	3930 LIGHTHOUSE LN
ELLSBERRY JOHN L	1932 JACKSON AVE
DANIEL LUOJIA	408 FENWICK RD
MAY JESSICA A	770 N WATKINS ST
ESS INVESTMENTS LLC	2109 PEABODY AVE
LEVY DESOLINE	775 N MCNEIL ST
WATKINS GP	1910 MADISON AVE #623
DACUS DONNIE	1983 WIRILY LN
CALDWELL INVESTMENT SERVICES TRUST	9005 GANDY CV
GORDON ROBERT & TARA MCADAMS	1594 HARBERT AVE
MANSON ERLENE	779 N WILLETT ST
PERNELL LAWRENCE	357 N AVALON ST
DIAZ-LAPHAM SEAN	484 OLIVER ST
THOMAS LASHEEN E	759 GARLAND ST #N
HAMPTON BEVERLY A	775 N WILLETT ST
JETER ANNIE MAE	760 GARLAND ST
BANKS DARRELL D SR	770 STONEWALL ST

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
ROANOKE VA 24017
MEMPHIS TN 38109
MEMPHIS TN 38107
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MEMPHIS TN 38107
OAKLAND TN 38060
HOBOKEN NJ 7030
MEMPHIS TN 38107
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MEMPHIS TN 38125
MEMPHIS TN 38107
FAIRFIELD CA 94534
LAKE FOREST CA 92630
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
LAKELAND TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38111
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MEMPHIS TN 38104
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MEMPHIS TN 38104
CORDOVA TN 38016
MEMPHIS TN 38133
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38112
MILPITAS CA 95035
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

DOSHIER EDITH S
LOFTON WILLIE C & GAIL
KESSLER EMMA J REVOCABLE LIVING TRUST
HARRIS TAMMARA T
LEPPERT PAUL R
DUCKETT STEPHANIE L
EBJ HOLDINGS LLC
BELL NELSON M & BETTY J
CLAYTON JAMES E & MAE E
LISNEY FATIMA F
LMF MEMPHIS LLC
JONES BENJAMIN & CAROLYN
BATTS CLAY
THOMAS BERNICE
JORDAN BORIS A
HANSHALI ADEL M
BEARD JIMMIE L & RUBIE L
THOMAS PATRICE
CANNON HILTON A III
GARRETT JACQUELINE
MID SOUTH HOMEBUYERS GP
TAYLOR ALVIN & GLENDA
BRIDGES CAROLYN H & CECIL F SR
NELSON MILDRED J
CLARK AND LANGE LLC
MONEY BERNICE
WINFREY JESSE JR & MARGARET J
HUSSEIN PATRICIA S
DAVILA JACQUELINE S
NAKAGAWA TSUBASA
MJ ESTATES LLC
INKAN INVESTORS GP
TURNER KENNEDY P
MELLOR'S PROPERTIES LLC
AIDA MASAO
HURT DANA E
ROYSTON JAMES A & CASTELLA M
LEE TRINA P
INKAN INVESTORS GP
WOODS DEVELOPMENT INC
ASKEW LENA M
HARPER TOMMIE D AND MARSHAL V HARPER
ROBINSON VEDA L
MAYER CAITLYN E & SETH M SEGRAVES
ZHAO LI
HALEY TRAVIS
MYERS LARRY T

417 N BELLEVUE BLVD
759 N MCNEIL ST
845 UNIVERSITY ST
1528 JACKSON AVE
1516 JACKSON AVE
759 STONEWALL ST
PO BOX 1178
1490 JACKSON AVE
745 GARLAND ST
2045 MONTREAT DR
3316 S TIBERIAS RD
740 GARLAND ST
12022 ROSEBROOK LN
2238 VOLLINTINE AVE
PO BOX 1865
5354 BLUE DIAMOND ST
934 N WATKINS ST
1312 VINTON #1
934 GARLAND ST
930 N WATKINS ST
46 FLICKER ST
2984 DUMBETH RD
1621 YORK AVE
3425 VALLEY PARK CV
4575 POPLAR AVE #309
919 N WATKINS ST
934 STONEWALL ST
928 N MCNEIL ST
920 N WATKINS ST

473 CLAIRCREST DR
101 VILLAGE LN
930 STONEWALL
8493 YARROW LN

PO BOX 820951
919 N MCNEIL ST
929 N WILLETT ST
101 VILLAGE LN
10254 BUCKLAND BLUFF CV
933 MAURY ST
923 STONEWALL ST
924 STONEWALL ST
910 N WATKINS ST
1272 ISLAND HARBOR DR
4737 HARVEST PARK DR
903 N WATKINS ST

MEMPHIS TN 38105
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38088
MEMPHIS TN 38107
MEMPHIS TN 38107
BARTLETT TN 38134
WASHINGTON UT 84780
MEMPHIS TN 38107
ARLINGTON TN 38002
MEMPHIS TN 38108
CORDOVA TN 38088
MEMPHIS TN 38109
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ANTIOCH TN 37013
MEMPHIS TN 38103
MEMPHIS TN 38107
RIVERSIDE CA 92508

MEMPHIS TN 38182
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MEMPHIS TN 38103
COLLIERVILLE TN 38017
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38125
MEMPHIS TN 38107

BANGER EARNEST L & ROSE M
HARPER LILA M AND EDDIE HARPER
JACKSON MAE
VARGAS RICARDO
GOSSETT LILIE B & WILLIAM OSSETT JR
MCNEIL NORTH TRUST
TIPTON ROBERT
INKAN INVESTORS GP
SMALL ERNEST L SR & RUBY L
HOLLOWAY LOUIS B JR
MARON KEREN
KULIA PROPERTIES TN LLC
YANO CHIHIRO
THOMAS DANNY R
WATKINS GP
GLADNEY JUSTIN
ROBERTS NETTIE M
HICKS CARL S & RUBY F
DANIEL LUOJIA
MONEY MATTERS FINANCIAL
WYNN BELINDA
JONES APRIL D
LOWE SHANNON D AND JAMES W LOWE JR
HALEY GLORIA
PETERS PRISCILLA
LEWIS CHARLES & LUNA
WHALEY JOE W & INEZ M
CATRON FRANKIE L
WHITE JO A
JEFFERSON RONALD E
SMITH VERONDA K AND CHARLETON L SMITH
MOHAMMED SAID
MURRAY JERRY W
CREDENCE PROPERTIES LLC
GIBBS FANNIE M
CRESTCORE III LLC
PATEL DIVYEN AND LATHAN J HILL
JOHNSON JERRY
ROBERTSON HOWARD L JR & BEVERLY C
NILES MANILA A
CORN-CHRISTIE FAMILY TRUST
AVALON INVESTMENTS LLC
KSCCDC - NPI LLC
STOUT SHIRLEY
GWINN DAVID & REGINA H
ANDREWS BARBARA
HANKINS JOE III AND DENISE J HANKINS

4038 PAULA DR
924 N WILLETT ST
930 MAURY ST
1337 N PARKWAY
936 N AVALON ST
3225 MCLEOD DR #777
1101 BEECHWOOD AVE
101 VILLAGE LN
923 MAURY ST
915 STONEWALL ST

PUU OHU PL

914 STONEWALL ST
1779 KIRBY PKWY #1-347
9410 LAKE BRIDGE DR
904 GARLAND ST
930 N AVALON ST
408 FENWICK
8238 GREENGATE CV
899 GARLAND ST #N
915 N WILLETT ST
919 MAURY ST
934 DICKINSON ST
925 N AVALON ST
929 DICKINSON ST
900 GARLAND ST
914 N WILLETT ST
894 N WATKINS ST
924 N AVALON ST
14422 E ELK PL
2326 UNA ANTIOCH PIKE
903 STONEWALL ST
6465 QUAIL HOLLOW
934 N BELVEDERE BLVD
4435 SUMMER AVE
900 N MCNEIL ST
933 N EVERGREEN ST
970 TRANQUIL LN
3309 N 46TH ST
7922 MCCONNELL AVE
PO BOX 100
314 AW WILLIS AVE
893 N MCNEIL
889 GARLAND ST
899 STONEWALL ST
909 MAURY ST

MEMPHIS TN 38116
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38107
LAS VEGAS NV 89121
MEMPHIS TN 38106
MEMPHIS TN 38103
MEMPHIS TN 38107
MEMPHIS TN 38107

KAMUELA HI 96743

MEMPHIS TN 38107
GERMANTOWN TN 38138
ARLINGTON TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38112
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
DENVER CO 80239
ANTIOCH TN 37013
MEMPHIS TN 38107
MEMPHIS TN 38120
MEMPHIS TN 38107
MEMPHIS TN 38122
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38116
MILWAUKEE WI 53216
LOS ANGELES CA 90045
EADS TN 38028
MEMPHIS TN 38105
MEMPHIS TN 38117
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

JOHNSON MELDRICK J
CLEAR THE WAY SUPPORTIVE HOUSING CORP
EVERGREEN-MEMPHIS TRUST
MCCLUNG DONALD A & TIFFANY H
FOLEY INVESTMENTS LLC
SHORTER PORTER
WESTBROOK VERNITA R & DENNIS
EULLS HUGH
KSCCDC - NPI LLC
GASSON STEPHEN
BATISTE DONALD & LAUREN
ELLIS ELVIS J
FRIESON LISA M
WIGGINS MARCUS
NASON TIFFANY M & MATTHEW R
JAMES ROBERT C
ROGERS BOBBIE & WILLIE M
MYRLE AND DAVID LLC
MCDONALD REBECCA L AND MATTHEW F THOMAS
BFI PROPERTY GROUP LLC
TONEY MARY M
LAW DEREK W & ALISON L
BIRK BALDEV
CURRY WILBERT & WILLYE E
JONES VALERIE L
DANIEL LUOJIA
COX ANNIE B
REED MICHAEL
COLE PEARLEANE D
OBIAKO FLORENCE A
JACKSON MELVIN
KNOX WILLIE A AND WESLEY A KNOX
WATKINS GP
MOHAMMED SAID
MCKAY SARAH A
WILLIAMS LISA D
TAYLOR BARBARA
LEACH BAXTER & JIMMIE
FISHER ELITIA A
ROBINSON JAMES W
JONES WENDELL
RICHARDSON FREDDIE & DELIAL
DE LIBAN KEVIN R
HOLMES ROBERT & ALEASE
HAYES ANDRE C AND WALTER HAYES AND
PITTS DARRYL & BEVERLY
WILSON LILLIE

915 N AVALON ST
5018 EXPRESSWAY DR S #204
PO BOX 78387
919 DICKINSON

900 STONEWALL ST
929 N EVERGREEN ST
1632 KENT RD
314 AW WILLIS AVE
1283 HARBERT AVE
893 STONEWALL ST
921 N BELVEDERE BLVD
2100 SHANNON AVE
528 S MCLEAN BLVD
934 N AUBURNDALE ST
894 STONEWALL
70 NORTHERN LEAF DR
384 GOODMAN RD E #183
929 N ABURNDALE ST

PO BOX 522
420 E 500 N
5437 W TERRACE AVE
P O BOX 754185
4295 DAVIDCREST DR
1646 YORK AVE
930 N AUBURNDALE ST
P O BOX 751164
880 GARLAND ST
884 N MCNEIL
4979 BARRINGTON CV
934 HAWTHORNE ST
1779 KIRBY PKWY #1-347
2326 UNA ANTIOCH PIKE
900 MAURY ST
929 HAWTHORNE ST
904 N AVALON ST
889 N WILLETT ST
879 N MCNEIL ST
873 GARLAND ST
869 N WATKINS ST
885 STONEWALL ST
933 N IDLEWILD ST
893 MAURY ST
829 STONEWALL ST
890 N BELVERDERE
903 DICKINSON ST

HARRISON KENNETH L
SPARKS MICHAEL R AND LAMOND C SWIFT JR
TERRY WILLIE R SR AND JAMES L ANDERSON
JOHNSON NORMAN
THORNTON KIRBY A & JAPSIE C
OSWALD CAROL E
PERRY GREGORY L & JANESE
BOYCE DAVID W & DEBRA R
LONG JACKSON
LESTER LEATRICE B
BROWN MARYSE L
M & H HOLDINGS
BOYD NATHAN JR & ADA O
STOKES MARLUS
CARNELL JESSICA & KEVIN
HOLMES ROBERT AND RODNEY HOLMES
RRR PARTNERS TN GP
NAKAMURA JENITA
DYER ALVIN R
TAYLOR SHAWN L
TAYLOR ETHAN
BLUE HOSEA AND JAMES PEETE
GIBSON CHRISTINA Z
BYRD FREDDIE L
RODRIGUEZ SHAQWITA AND VEDA M PHELPS AND
RIDDLE JEFFREY T AND CALLIE A DIXON (RS)
DANDRIDGE-BYRD JUANITA L
BOUCK PETER L & LIBBIE
GATES LINDA G
GUFFIN COLUMBUS JR
GREENLEE DAVID A
LYNCH ALEXANDER P
WHITMORE BYRON K
EDWARDS BARBARA G
KINDER BRANDON M & CLAIRE P MEADE
FOUSE R T & MARY L
NEIGHBORHOOD REBUILDERS LLC
THOMPSON AMELIA
COLEMAN CHARLEY & CLEMENTINE
STAMPHER MATTHEW J
MITCHELL DAVID L & WILLETTIE
BILES WILLIE JR & ANITA
WILLIAMSON VERNASTEIN
MONTGOMERY BONITA L
LAKEVIEW LOAN SERVICING LLC
THOMAS JAMES (LE) AND JENNIFER ARRINGTON
HART BEVERLY C

930 HAWTHORNE ST
884 STONEWALL ST
915 N EVERGREEN ST
880 N MCNEIL ST
15 S EVERGREEN ST
919 N AUBURNDALE ST
934 N IDLEWILD ST
923 HAWTHORNE ST
1783 SEA ISLE RD
900 N AVALON ST
873 N MCNEIL ST
4520 FLAMINGO
863 N WATKINS ST
879 STONEWALL ST
157 S PARKWAY E
893 MAURY ST
895 N AVALON ST
933 MCLEAN BLVD
920 N AUBURNDALE ST
3838 CASTLEMAN ST
870 GARLAND ST
880 STONEWALL ST
903 N BELVEDERE BLVD
909 N EVERGREEN ST
1247 W MENTOR AVE
915 N AUBURNDALE ST
910 N EVERGREEN ST
919 HAWTHORNE ST
894 N AVALON ST
869 N MCNEIL ST
923 N IDLEWILD ST
934 N MCLEAN BLVD
883 MAURY ST
904 N BELVEDERE
889 N AVALON ST
914 N AUBURNDALE ST
7125 GETWELL RD #200
920 HAWTHORNE ST
899 N BELVEDERE BLVD
1500 HUDSON ST #6 T
864 GARLAND ST
903 N EVERGREEN ST
880 N WILLETT ST
909 N AUBURNDALE ST
1910 MADISON AVE #623
913 HAWTHORNE ST
930 N MCLEAN BLVD

MEMPHIS TN 38107
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MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38118
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
PASADENA CA 91104
MEMPHIS TN 38107
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MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
SOUTHAVEN MS 38672
MEMPHIS TN 38107
MEMPHIS TN 38107
HOBOKEN NJ 7030
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107

PHILLIPS GERALDINE AND WILLIAM REED (RS)
ANDERSON JAMES A SR & GRACIE L
GRIGSBY BOBBIE J
JTS ENTERPRISE LLC
HOUSTON CURTIS & BARBARA
SMITH ANDREW JR
HARDEMAN JAMES L & MISHA Y
JOHNSTON HEATHER N
BLAND LINDA A
WALKER JOHNNY
TATE MARCUS & TAVIA
WILLIAMS VANESSA
ADAMS PERRY N
BIVENS REGINA L
STUART WILLIAM A & PATRICIA AND CONNOR M
ELEM SHIRLEY C
EGEDEGBE AUSTIN
SGS PROPERTIES LLC
WALTON EUGENE
PLUMMER ANTHONY B AND TOYA L RIDDICK (R
BECK MEGAN E
MALONE BENJAMIN & BARBARA R AND
LAMARR ANTOINE G
CANTY EDWARD M & KAREN S
CAMPBELL MARTHA B AND JIMMY L BERRY
PIRTLE CAROLINE J AND GLADYS
ENTRUST HAWAII INC
WILLIAMS JOAN
HOUSTON CURTIS H
PORTER TODD M & GLORIA D
JAMES MAURRIETA D
THURMAN EVELYN M
MILLINGTON CATHERINE A
DICKENS PAMELA S
RYAN CAROL & TERRENCE
COLLINS SHIRLEY V
MARSHALL AUGUST C
SHOUSE WILLIAM D & TAMMERIA J
ALEA PROPERTY HOLDINGS LLC
DUGGAN SARAH B
WILLIAMS KEVIN L
MERRICK JUSTIN
MCCOY ALAN C & JENNIFER S SARGENT
TAYLOR LAUREN E
HAMPTON BILLY H & MARGIE L
PITTS DARRYL W & BEVERLY R
MOHAMMED SAID

906 N EVERGREEN ST
890 N AVALON ST
865 N MCNEIL ST
625 CABOT CT
900 N BELVEDERE BLVD
883 N AVALON ST
934 KENSINGTON PL
910 N AUBURNDALE ST
1463 RAILTON RD
850 N WATKINS ST
914 HAWTHORNE ST
PO BOX 2763
919 N MCLEAN BLVD
920 N IDLEWILD ST
895 N BELVEDERE BLVD
5375 RAMSEY RD
2394 HANOVER DR
P O BOX 115
903 N AUBURNDALE ST
933 N BARKSDALE ST
849 N WATKINS ST
907 HAWTHORNE ST
2233 FOREST HILL IRENE RD N
925 KENSINGTON PL
6925 DEERFIELD RD
875 MAURY ST
1070 W CENTURY DR #101
879 N AVALON
894 N BELVEDERE BLVD
890 DICKINSON ST
883 DICKINSON ST
856 N GARLAND ST
914 N IDLEWILD ST
864 STONEWALL ST
910 HAWTHORNE ST
889 N BELVEDERE BLVD
929 N BARKSDALE ST
924 KENSINGTON PL
PO BOX 128
905 HAWTHORNE ST
849 N GARLAND ST
880 N AVALON ST
933 SHERIDAN ST
905 IDLEWILD ST
873 N AVALON ST
890 N BELVEDERE BLVD
2326 UNA ANTIOCH PIKE

DUNN JAIME E
DW INVESTMENTS LLC
WAINWRIGHT ALBERT & BERNICE
PINDAT LIVING TRUST
MAYBRY JILL S
BLUFF CITY INVESTMENTS LLC
CARPER KELSIE & KYLE
JACKSON THOMAS
WILSON LONNIE D & ELOUISE
VANDENBERG JESSICA S AND HALEY C
WICKS EDDIE L
MCGEE EDWARD H
ROPER THURMOND G & LULA R
SELLERS TERRY
BLACK SUSAN G
DANIEL LUOJIA M
PAXTON JASON K & KATHERINE V
SEASONS INVESTMENTS LLC
SMITH SANDY
HAYS STEVEN R
DANIEL LUOJIA
PETRAUSKAS BRITTANY S
ZACKS SIMON J
WASHER CYRIL A IV & JILL L MARGARGEE
BROWN KEISHA L
EICKHOFF ELISABETH A
EVANS LASHEKA
WORLDWIDE PROPERTY HUB LLC
HICKS EDDIE & JOSIE O
TAYLOR SHARON K
DAVIS KRISTY A
CLASSIC CLEANING AND CONSTRUCTION
TAYLOR ROBERT J AND ANGELA M TAYLOR
MOORE REGINA A
MALIK-ABDUL TAHIRA & TAALIB
DOYLE JAMES
ELLIS ARLINE F
WOODBURY PARRIS M & LAURA T
KLUGE ELIZABETH F
P FIN I LLC
NANCE JAMES B
STEELE NICHOLAS W & MARY K
KEE FRANKIE D & JOSEE V
STRONG BRADLEY S AND STEPHANIE E STRONG
RUSSELL LAMA D
WILLIAMS CALVIN & CLARA R
BAF 1 LLC

919 KENSINGTON PL
2171 JUDICIAL DR
900 N AUBURNDALE ST
2239 OAK LEAF WAY
904 HAWTHORNE ST
7022 BALSAL GLENN DR
925 N BARKSDALE ST
892 N EVERGREEN ST
870 MAURY ST
893 N AUBURNDALE ST
934 SHERIDAN ST
855 STONEWALL ST
874 N AVALON ST
845 GARLAND ST
929 SHERIDAN ST
PO BOX 41661
920 KENSINGTON PL
PO BOX 17851
2562 THORNDYKE AVE W #301
894 N AUBURNDALE ST
PO BOX 41661
899 N IDLEWILD ST
24413 HENDRICKS AVE
856 STONEWALL ST
850 N MCNEIL
924 N BARKSDALE ST
497 N FRONT ST #207
6000 POPLAR AVE #250
919 N BARKSDALE ST
2494 UNION AVE
930 SHERIDAN ST
883 N EVERGREEN
327 N AVALON ST
839 GARLAND ST
855 N WILLETT ST
1276 OVERTON PARK AVE
874 DICKINSON ST
925 SHERIDAN ST
865 N AVALON ST
3525 PIEDMONT RD #5, STE 410
893 HAWTHORNE ST
880 N BELVEDERE BLVD
774 MAYS BLVD ## 10-174
929 UNIVERSITY ST
3587 CRESTWYN DR
850 STONEWALL ST
5001 PLAZA ON THE LAKE #200

MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38107
SANDY UT 84092
MEMPHIS TN 38107
MILLINGTON TN 38053
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38174
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MEMPHIS TN 38187
SEATTLE WA 98199
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
LOMITA CA 90717
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38105
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MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
ATLANTA GA 30305
MEMPHIS TN 38107
MEMPHIS TN 38107
INCLINE VILLAGE NV 89451
MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38107
AUSTIN TX 78746

FAR EAST INVESTMENTS LLC
COX MYRTICE
GLISSENDORF DAVID W
BURGESS ZOLA E
WILSON SHERRI D
BONNER FAMILY TRUST
STEIMER JACOB & CAROLINE
CASTLE MAURICE & SANDRA
BANDY JAMES E
CLAXTON HOSEA O JR & HENRIENE
GENO ROBERT
BAILEY NEDRA B
KELLY RAVEN
WISEMAN PAUL R JR & CHARLOTTE J
DAVIES SIMON L & MICHELLE L
STERLING PROPERTY INVESTMENTS LLC
MORALES MARGARITA A TRUST
PRICE LETTIE L
HIROSHIMA RITSUKO & NAOKI
STOVALL CYNTHIA A
SCHNEIDER JANE M
MOORE LINDA A
THORNE CASTADARRELL
WAINWRIGHT CHARLES
SMITH NIGEL R
SPENCER JAMES JR & LOUISE
CORNES INVESTMENT GROUP AND REAL ESTATE
BUNN EMILY N
BROWN CHARLES E & ELLA M
BRIDGEFORTH MARILYN
FOLEY KELLY J AND TIMOTHY SHIU
HORNUNG CATHERINE L
PRESLAR SAMANTHA N
HOLMES ODESSA
MALLETT ANNETTE C
BALDWIN DANA B
JOHNSON LESLIE M JR & BARBARA S
CROUCH JERRY AND LINDA CROUCH TRUST
ALLEN JAKOB H
MTJ REAL ESTATE HOLDINGS GP
STRONG NATASHA B
INKAN TREASURES LLC
HALL CALEB A
VOSS FLOYD T & JUANITA
MAXWELL JAMES R
HITCH WILLARD M III & CHRISTI
AWB PROPERTIES MEMPHIS LLC

655 S RIVERSIDE DR #1206
890 N AUBURNDALE ST
9069 N OLD BRIDGE RD
898 N IDLEWILD ST
884 N EVERGREEN ST
1001 GODETI DR
839 N MCNEIL ST
835 GARLAND ST
829 N WATKINS ST
849 N WILLETT ST
586 SIX CROWNS ST
904 N MCLEAN BLVD
845 STONEWALL ST
899 N MCLEAN BLVD
919 SHERIDAN ST
662 ANTEBELLUM CV
29941 CRAWFORD PL
865 DICKINSON ST
986 CELIA DR
925 UNIVERSITY ST
887 HAWTHORNE ST
891 N IDLEWILD ST
3702 N TREZEVANT ST
836 GARLAND ST
905 KENSINGTON PL
846 STONEWALL ST
PO BOX 770007
850 N WILLETT ST
869 N BELVEDERE BLVD
856 MAURY
914 N BARKSDALE ST
894 N IDLEWILD ST
875 N EVERGREEN ST
888 HAWTHORNE ST
878 N EVERGREEN ST
909 N BARKSDALE ST
920 SHERIDAN ST
1597 N PARKWAY
845 N WILLETT ST
5099 OLD SUMMER RD
839 STONEWALL ST
101 VILLAGE LN
9159 W DREYFUS DR
895 N MCLEAN BLVD
913 SHERIDAN ST
4320 CHICKASAW CV
408 N WORTH AVE

MEMPHIS TN 38103
MEMPHIS TN 38107
PHILLIPS WI 54555
MEMPHIS TN 38107
MEMPHIS TN 38107
REDWOOD CITY CA 94062
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
COLLIERVILLE TN 38017
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
COLLIERVILLE TN 38017
CASTAIC CA 91384
MEMPHIS TN 38107
PALO ALTO CA 94303
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38127
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MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38122
MEMPHIS TN 38107
MEMPHIS TN 38103
PEORIA AZ 85381
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38117
LAFAYETTE LA 70508

WHITEHEAD SAM
FEINSTEIN SAMANTHA AND FREDERICK T &
RYE ANNA-KATHRYN
LESS STANLEY H & VICKI L
HALL WILLIE F
836 N MCNEIL TRUST
LENZINI ROBERT D
HONAN DANIEL
GHOLSON ROBERT L JR AND MICHAEL GHOLSON
PIERANTONI ANITA L REVOCABLE LIVING
ROSS DENNIS R & HAZEL E
RILES LARRY & EVA M
SCHWARTZ MATTHEW & AMY L
KRAFT AMANDA J
PIERANTONI ANITA L REVOCABLE LIVING
HARDEN LESLIE
ECHOLS QUINTIN D
ZORN SANDRA L & ERIC AND SHAWN ZORN
SHELBY COUNTY TAX SALE #54 EXH #4520
REED SANDRA
MOUNCE REVOCABLE LIVING TRUST
DUCKWORTH DIANNE A
SCOTT EUGENE T
SILSBEE LAURA B
MCFALLS LORI J 2019 REVOCABLE TRUST
CLINE GULF COAST PROPERTIES LLC
MAURICIO ELEAZAR M
DICKENS RICKY AND SHIRLEY DICKENS
BOSI ROBERT
NIBLEY NIQUALUS
ALLEN SARAH J
PARKS ROBERT G
JONES DAVID E & KRISTA C
CASA PROPERTY MANAGEMENT LLC
AC BROTHERS LLC
HAYES ANDRE C
HUNT OLLIE
BUSH LAWSON & TONIA R CAUSEY-BUSH
DOZIER CARROLL T REV BISHOP
GOODRICH MICHAEL R
CLAY TIMOTHY M
SPENCER MARY E G
GRANDBERRY FORESTINE H
JOHNSON CORTEZ V & MICHELE A
MCCOMB CURTIS & JOYCE A
WOOLF RICHARD (LE) AND KAYLA TATE AND
HAMMOND STEVON

870 N BELVEDERE BLVD
919 UNIVERSITY ST
883 HAWTHORNE ST
6686 KIRBY OAKS CV N
840 STONEWALL ST
3225 MCLEOD DR #100
899 KENSINGTON PL
826 N WATKINS ST
5111 N SKIPPY ST
850 N AVALON ST
890 N IDLEWILD ST
869 N EVERGREEN ST
208 S COLORADO ST
903 N BARKSDALE ST
850 N AVALON ST
882 HAWTHORNE ST
825 GARLAND ST
909 SHERIDAN ST
160 N MAIN ST
533 MONTEIGNE BLVD
2616 TWIN HAWK CV
877 HAWTHORNE ST
PO BOX 41334
836 STONEWALL ST
895 KENSINGTON PL
6150 BELLA VITA PL
857 GREENDALE CIR
840 N WILLETT ST
8665 HIGHWAY 59
868 N EVERGREEN ST
878 HAWTHORNE ST
884 N IDLEWILD ST
910 SHERIDAN ST
5125 BARRY RD
4118 148TH ST #H3
829 STONEWALL ST
819 GARLAND ST
815 N WATKINS ST
1325 JEFFERSON AVE
3383 GREENRIDGE CV
867 N AUBURNDALE ST
894 KENSINGTON PL
841 N AVALON ST
2384 TARBET DR
820 GARLAND ST
816 N WATKINS ST
PO BOX 770611

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38107
LAS VEGAS NV 89121
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38116
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GUNNISON CO 81230
MEMPHIS TN 38107
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COLLIERVILLE TN 38017
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38107
AUBURN CA 95602
MEMPHIS TN 38127
MEMPHIS TN 38107
SOMERVILLE TN 38068
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38114
LYNNWOOD WA 98087
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38115
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38177

STEWART JAMES T & CARRIE W
MONTAGUE GEORGE C
SMITH GEORGE
JOHNSON MARILYN AND KRISTEN FRANKLIN
WILSON BRETT A & SARAH R
OUTLAN JOHN B & JANEY M
WRIGHT TYRONE
BROWN ANNIE J (1/6) AND ANNIE J BROWN
JERCHINA JEREMY & GRACEL
SANDERS MARY ELLEN
POSEY BRANDI L & TROY L BLAND
BRADBERRY ED
MECK BERNHARD K
WHEELER BRIGHID
POWELL MICHAEL S & ANGELA M
BREWER DOROTHY M & RUSSELL L
POINTER SAMANTHA
YOUNGSTOWN FD LLC
WRIGHT MELVIN AND BERNICE SMITH (RS)
TOWNSEND WILLIAM B & DAVID A SPECTOR
BROWN MICHAEL A & MARRIOTT M
1912 PROPERTIES LLC
FEDERAL DESPOSIT INSURANCE CORP
GREEN HARRY B & DONNA F
GLADNEY ROSALIND
HUSBAND SAMUEL & SARA TYSON
MARTIN MICHELLE
MORRIS PARKE
GLOVER BOBBIE J
HUNTER J B
MABON PAMELA W
BURTON EDMUND S & DIANA E
GALIS EVANTHEA A AND AGLAIA G CAPECE AND
KARNAGHON GARY L & CYNTHIA J
C & C RENTAL ASSOCIATES
TYNIOR ARTUR & GUELER
HENDRIX EARL J & MARCIA A
JOHNSON JILL F & CHARLES T
GOLDSTAR HOMES LLC
MCKINNEY CHARLES E & GENNIE A
MORRIS FRANKLIN D & VIVIAN A
EAST TO WEST PROPERTIES LLC
BUSINESS ALLIANCE MANAGEMENT LLC
LICHTENSTEIN JEFFREY M AND THOMAS W
RAHIM TAUHEED
MEEK CRAIG & JESSICA ELVERT
HARRIS WILLIE J & MARY J

877 N IDLEWILD ST
836 N WILLETT ST
842 MAURY ST
900 N BARKSDALE ST
904 SHERIDAN ST
893 N BARKSDALE ST
815 GARLAND ST
1024 TERRY CIR
276 E 19TH ST
872 HAWTHORNE ST
899 SHERIDAN ST
793 ROZELLE ST
878 N IDLEWILD ST
884 N MCLEAN BLVD
890 KENSINGTON PL
837 N AVALON ST
826 STONEWALL ST
4699 JAMBOREE RD
816 N GARLAND
877 N MCLEAN BLVD
871 N IDLEWILD ST
1912 PEABODY AVE
894 N BARKSDALE ST
883 KENSINGTON PL
889 N BARKSDALE ST
862 N AUBURNDALE ST
825 N WILLETT ST
1403 GOODBAR AVE
809 GARLAND ST
850 N BELVEDERE BLVD
868 HAWTHORNE ST
893 SHERIDAN ST
872 N IDLEWILD ST
880 N MCLEAN BLVD
PO BOX 770090
1060 BROOKFIELD RD #100
861 HAWTHORNE ST
899 UNIVERSITY ST
3840 WINCHESTER RD
820 STONEWALL ST
867 N IDLEWILD ST
5501 DE MARCUS BLVD #477
3212 JEAN DR
831 N AVALON ST
806 N WATKINS ST
890 N BARKSDALE ST
871 N MCLEAN BLVD

STRONG ETTA J
HEASLETT ALBERT N & ANN MARIE
POON PHILIP
WATKINS GP
WINFREY KENNETH A
ERENA ROBERT
TURNER JULIUS C
DUCKWORTH JAMES M
DAVIS PAUL J
MCALISTER BRENDA T
CODA GINA M AND NINA C HINKLE
MCHUGH STEPHEN S
LAKEY MIKE
BAKER CHRISTOPHER E & JENNIFER L
CHARLES KIMBERLY AND DANYELLE BOYD (RS)
INKAN INVESTORS GP
TUNSTALL DORIS C
LEWIS GERALDINE AND EUGENE THOMAS JR AND
TAYLOR WALTER JR
SINGLETON WILLIAM
MORRELL JONATHAN & ALISON
RUSSELL AARON A AND LAMA D RUSSELL (RS)
WILLIAMS ERICK & URSULA
HILL JEROME H JR
FOLIS PHILLIP L AND TERESA I F DOBBS
CALL SANDRA K AND GARY L GILBERT
LAMOUNTAIN MICHAEL C
LISNEY FATIMA AND ABDOU BOJANG
SCRUGGS MICHAEL E
CRISSEY THOMAS AND MARIANN STRAUB
BECTON NISA AND JAMES BECTON
RYNNE ERIC
EDWARDS ARTHUR D & KAREN M
WILLIAMSON ROMARIO
BOYD DAVID R
TOPSTONE INV MEM 1 LLC
ABENEZRA PROPERTIES LLC
CHAFFIN AMY H
FRANKLIN DENNIS
ELLIS SUSAN S
DYE ROBERT V JR
BEHAVIORAL HEALTH INITIATIVES
BOGA CHARLES V SR & KIMBERLY R
BOGGS ERIC
BOSHWIT BROS MORTGAGE CORP
DANIEL LUOJIA M
TOWNSEND WILLIAM B AND DAVID A SPECTOR

1750 JACKSON AVE
894 SHERIDAN ST
1479 AVE ASHFORD #1810
1779 KIRBY PKWY #1-347
815 STONEWALL ST #N
1547 MCLEOD PL
1893 S RAINBOW DR
883 N BARKSDALE ST
38 MOUNTAIN SITE LN
1754 JACKSON AVE
887 SHERIDAN ST
868 N IDLEWILD ST
893 UNIVERSITY ST
870 N MCLEAN BLVD
878 KENSINGTON PL
101 VILLAGE LN
816 STONEWALL ST
810 N MCNEIL ST
861 N IDLEWILD ST
820 N WILLETT ST
853 HAWTHORNE ST
3295 WOODHAVEN RD
867 N MCLEAN BLVD
795 N WATKINS ST
815 N WILLETT ST
890 SHERIDAN ST
877 N BARKSDALE ST
2045 MONTREAT DR
862 N IDLEWILD ST
777 WEST DR
829 DICKINSON ST
8613 NE 138TH AVE
1887 S RAINBOW DR
872 KENSINGTON PL
1825 LITTLEJOHN RD
PO BOX 1478
2885 SANFORD AVE SW #34261
789 N WATKINS ST
826 N AVALON
884 SHERIDAN ST
871 N BARKSDALE ST
2430 POPLAR AVE
810 N WILLETT ST
9481 WATERFALL RD
2595 BROAD AVE
PO BOX 41661
883 UNIVERSITY ST

JOHNSON JAMES M & LULA M	862 N MCLEAN BLVD
SHREWSBURY GEOFFREY B AND JANICE HICKS	525 STONEWALL ST
KYLES ALBERT B & BRENDA	798 GARLAND ST
COSTAS JORGE & MARTA-AYLEEN	2430 SW 79TH CT
MARTIN JAMES B	1830 JACKSON AVE
BOULDEN THOMAS	820 N AVALON ST
STINER MAY D	866 KENSINGTON PL
HARPER MARY	2666 CHISWOOD ST
ANDERSON ELMER L & ERMA J	789 GARLAND ST
LIGHTWEIS-GOFF PHILLIP C & JENNIFER D	799 STONEWALL AVE
ANDREWS RANDOLPH	4111 HOWARD ST #11
KILZER SUZANNE N K	1836 JACKSON AVE
BAILEY OLEN M JR & TERESA W	4505 CHICKASAW RD
HAWKINS BARBARA W	795 N MCNEIL ST
COOLEY ELIZABETH AND SUSAN STEELE	861 KENSINGTON PL
BRADBERRY ED	793 ROZELLE ST
BROWN IRMA VENITA AND RUSSELL LEE BROWN	878 SHERIDAN ST
KREMER GLENN A AND MICHELE A NOISSET	865 N BARKSDALE ST
WHITELEY MICHAEL J	786 N WATKINS ST
AL-SAIGH NAIMA & LUIS F E CABRERA	796 N MCNEIL ST
MOSELEY ERIC V & MINNIE E	800 STONEWALL ST
HARRIS MARONDA Y	806 N WILLETT ST
LAWARRE ROBERT W III AND CHRISTINA A	877 UNIVERSITY ST
WATERS DAVID A & ROBIN A	871 SHERIDAN ST
MOHAMMED SAID A (1892)	2326 UNA ANTIOCH PIKE
FLYING CLOUD REALTY LLC	530 ASTRIA ST
POLLARD LULA J AND GLORIA D POLLARD AND	816 N AVALON ST
DESAI SOHAG	64086 NW CAPITAL DR
MOORE JAYTONN T	779 N WATKINS ST
MASON DAVID V & CELIA P	1864 JACKSON AVE
REED MICHAEL E	PO BOX 751164
LESTER LANI D	801 N WILLETT ST
CHAMBERS JERRY M & BERNESE G AND	864 N BARKSDALE ST
MCLELLAN MILTON E	1868 JACKSON AVE
MCCOLGAN ANDREW & CANDICE	872 SHERIDAN ST
SANCHEZ MARSHALL D AND ELIZABETH A SANCH	1874 JACKSON AVE
MRG MEMPHIS 4 LLC	11 S ORLEANS ST
BRANCH ISAAC & GEORGIA L	790 N MCNEIL ST
JENSEN MATTHEW D LIVING TRUST	800 N WILLETT ST
GOENS LOUISE E AND CHARLOTTE GOENS (RS)	780 N WATKINS ST
PASCAL BETTY J 2015 REVOCABLE TRUST	796 STONEWALL ST
DUNN CECIL E & HELEN A	865 SHERIDAN ST
WARD CAROLYN J & TRENT	2828 STONEHURST
ROWLAND DEREK	27525 LINDVOG RD NE
ZIA AYHAN A	1861 MADISON AVE
GREER JANICE R	1584 S PARKWAY E
THOMPSON SAMUEL	1614 JACKSON AVE

MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MIAMI FL 33155
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38134
MEMPHIS TN 38107
MEMPHIS TN 38107
LOS ALAMITOS CA 90720
MEMPHIS TN 38107
MEMPHIS TN 38117
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
ANTIOCH TN 37013
ALTAMONTE SPRINGS FL 32701
MEMPHIS TN 38107
LEES SUMMIT MO 64086
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38175
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38127
KINGSTON WA 98346
MEMPHIS TN 38104
MEMPHIS TN 38106
MEMPHIS TN 38107

WHITE MARY L
MCMULLAN MICHAEL S & NANCY L
PARKER KEITH J & SARAH A H
BOULDEN CATHERINE
LEWIS FREDA M
CURTIS VIVIAN
GREER STEVEN C & LEA HOLLAND
BROWN IRMA VENITA AND STEVEN RAY BROWN
WRIGHT J B & DIANN
EDWARDS ARTHUR D & KAREN M
DIETZLER TERRY L & STACY D
MARSH PROPERTIES LLC
ESS INVESTMENTS LLC
SMITH MICHAEL D JR
KALADIN INTERNATIONAL LLC
GANNON EDWIN W III & OLIVIA M
BRADFORD KAY T
NGUYEN CONG & HONG DAO THI BUI
FIRST EPISCOPAL CME DISTRICT
BUTLER ERNIE L & LISA S
GUNN CALLIE A
MC ESTATES GROUP LLC
CARSON KERRI L
AMAZING REAL ESTATE LLC
MTJ REAL ESTATE HOLDINGS GP
WEHLAN JULIE W LIVING TRUST
GORFEL PRODUCTIONS
GOODWIN JOHN B & LISA T
DANIEL LUOJIA
BILLINGTON JILL V AND BILLINGTON M
WARD KATIE P
JMJL ENTERPRISES LLC
HEBERT SHEILA K (50%) AND PAUL TREMMEL
FIRST UNITED LUTHERAN CHURCH OF MPHS TN
JEN HENRY
SHAW KENNETH & BARBARA
FARRIS BRUCE R
BROWN JEANETTE
WINFREY JAIRUS P
FIRST UNITED LUTHERAN CHURCH
CLARK MICHAEL
ALEXANDER DEBORAH
HALL SARA C & JAMES
JACKSON SHERYL A
EQUITY TRUST CO CUSTODIAN FBO
DANIEL LUOJIA
DODSON JAMES E


785 N MCNEIL ST
862 N BARKSDALE ST
37 BASSWOOD CIR
1900 JACKSON AVE
3970 GRACELAND DR
782 GARLAND ST
1914 JACKSON AVE
878 SHERIDAN ST
769 N WATKINS ST
1887 S RAINBOW DR
579 S FRONT ST
1176 POCKETWATCH DR
2109 PEABODY AVE
1747 GALLOWAY AVE
2109 BRADBURN DR
1940 JACKSON AVE
786 STONEWALL ST
776 GARLAND ST
4466 ELVIS PRESLEY BLVD #222
1946 JACKSON AVE
769 GARLAND ST
1165 HARBOR RIVER DR
861 UNIVERSITY ST
5798 FERGUSON RD
5099 OLD SUMMER RD
1952 JACKSON AVE
22 N FRONT ST #1055
856 SHERIDAN ST
545 STONEWALL ST
786 N WILLETT ST
765 GARLAND ST
1385 CORPORATE AVE
759 N WATKINS ST
1542 JACKSON AVE
805 RIDGESIDE DR
760 N WATKINS ST
850 SHERIDAN ST
764 GARLAND ST
776 STONEWALL ST
1548 JACKSON AVE
755 N WATKINS ST
8660 WOOD MILLS DR W
765 N MCNEIL ST
849 UNIVERSITY ST
1 EQUITY WAY
408 S FENWICK RD
755 N GARLAND ST

MEMPHIS TN 38107
MEMPHIS TN 38107
ATLANTA GA 30328
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
HERNANDO MS 38632
MEMPHIS TN 38104
MEMPHIS TN 38112
SACRAMENTO CA 95835
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38116
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MEMPHIS TN 38103
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BARTLETT TN 38134
MEMPHIS TN 38122
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MEMPHIS TN 38107
MEMPHIS TN 38112
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MEMPHIS TN 38107
MEMPHIS TN 38132
MEMPHIS TN 38107
MEMPHIS TN 38107
MONTEREY PARK CA 91754
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38016
MEMPHIS TN 38107
MEMPHIS TN 38107
WESTLAKE OH 44145
MEMPHIS TN 38111
MEMPHIS TN 38107

HENDERSON R DAN JR & CATHY D	765 STONEWALL ST
HEARNE JUDITH A	1522 JACKSON AVE
HAMILTON SEIRRA	4751 BRADFIELD RUN
SIMMONS PATRICIA A	756 GARLAND ST
FULTON WALTER AND JEROME FULTON	1510 JACKSON AVE
DYE BOBBIE L	750 N WATKINS ST
M & H INVESTMENT LLC	760 N MCNEIL ST
FIRST NATIONAL BANK OF MPHS	1755 LYNNFIELD RD #D
JOHNSON WILLIE D	755 N MCNEIL ST
JEFFERSON ROBERT	4911 FARMWOOD
ELTON BANKS AND BRIAN MOORE AND	750 GARLAND ST
KAMEOKA ANN H & HUGH E DAVEY	693 TUSCANY CT
FIRST NATIONAL BANK OF MEMPHIS	1755 LYNNFIELD RD #D
MAKRIS STEVE AND M JUANITA MAKRIS	184 S BARKSDALE ST
SMILING FORTUNE LLC	219 E 2ND ST
HILLIARD ARTHUR R	890 HILLIARD RD
MITCHELL ANDREW & DOROTHY	745 N MCNEIL ST
BENNETT HERMAN L AND TERRI L JONES (RS)	2326 HILLSIDE AVE
PRECISE REALTORS INVESTING LLC	739 GARLAND ST
TANGANYIKA ENTERPRISES LLC	689 EAST DR
YALE ROAD LEARNING CENTER LLC	4400 YALE RD
JONES SAMUEL E	5608 KAITLYN DR W
NEAL ERIC T	2308 FALCON RD
NEAL ERIC T	34 HAMILTON ST
BATTS CLAY	12022 ROSEBROOK LN
S AND L REAL ESTATE INVESTMENTS LLC	1889 WAVERLY DR
HANSHALI ADEL	5354 BLUE DIAMOND ST
BROWN JOE W & ANNIE J	1024 TERRY CIR
M2Z2 LLC	1707 MOUNT VERNON RD
EMPIRE CHEMICAL SUPPLY CO INC	PO BOX 1096
WILLIAMS MINNIE & JAMES A	936 BARKSDALE ST

Section 4

LMB LOGISTICS LLC	7662 BROOKBRIAR CV
HARRIS TERRANCE	1683 JACKSON AVE
FOX CHARLES F & MARY W	672 N IDLEWILD ST
PORTER THOMAS A AND MARY MABON (RS)	1649 JACKSON AVE
KITCHIN PROPERTIES LLC	1802 N CHARRINGTON LN
CHOCKLEY PETER J	806 N BELVEDERE BLVD
GAMMON CHARLES B	419 MALVERN ST
MTJ REAL ESTATE HOLDINGS GP	5099 OLD SUMMER RD
MESKOVIC EMMA L	789 N BELVEDERE BLVD
T LAND VENTURES LLC	4728 SPOTTSWOOD AVE #120
ANDERSON CALVIN L	1655 CARR AVE
MYNATT DON E	789 N EVERGREEN ST
TOPSTONE INV MEM 1 LLC	PO BOX 1478
AUSTIN BENJAMIN	779 N BELVEDERE BLVD
LEGACY CAPITAL LLC	5137 BEACH RIVER RD

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38125
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38107
FAIRFIELD CA 94534
MEMPHIS TN 38119
MEMPHIS TN 38104
NEW YORK NY 10009
OAKLAND TN 38060
MEMPHIS TN 38107
MEMPHIS TN 38127
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38128
WALLS MS 38680
N CHARLESTON SC 29406
GOOSE CREEK SC 29445
ARLINGTON TN 38002
MEMPHIS TN 38114
MEMPHIS TN 38104
MEMPHIS TN 38107
DUNWOODY GA 30338
MEMPHIS TN 38101
MEMPHIS TN 38107

MEMPHIS TN 38125
MEMPHIS TN 38107
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MEMPHIS TN 38107
COLLIERVILLE TN 38017
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MEMPHIS TN 38104
MEMPHIS TN 38122
MEMPHIS TN 38107
MEMPHIS TN 38117
MEMPHIS TN 38104
MEMPHIS TN 38107
BLUE SPRINGS MO 64013
MEMPHIS TN 38107
WINDERMERE FL 34786

DEMOSS STANLEY
VAUGHN JACK & HANNE
DONALDSON MARY & TAYLOR ST. JOHN
JACKSON ALEXANDER & ANNA
COSBY JANINA & JOSH
MORRIS STEVEN & MEGAN W
TRAN KHA-MY AND NGA-MY TRAN (RS)
BIELSKIS JULIA K
BLAKEBURN LESLIE L
HULETT JEFF & ANN-MARIE
RUSSOTTO JOHN C & TINA M
WHITE JULIA B G
MYERS JENNIFER
MIRANDA ANA
LARSON SARAH
WILLIAMS JAMES E
MORMAN HATTIE
MCHANEY GERALDINE L
MAHRT NATHAN P & ANNIE C
BRUCE FLORENCE M
FOREMAN CALEY A III & ALYSON O
JONES MADISON P
WALTON DAPHNE B AND MICHAEL L SHAMLEY
TAYLOR JUDITH
KENDRICK MARY
INGRAM LINDA O
TAYLOR MARCHAND AND DONALD W TAYLOR
MITCHEL ROBERT B & MARY R
HAGAR CENTER INC
HURST SAMUEL
SEAVIEW INTERNATIONAL LLC
VB ONE LLC
ADAMSON DAVID
GARRETT LAMETRICE D
JOHNSON TERRELL O
HARRIS JANET H
S AND L REAL ESTATE INVESTMENTS LLC
WILLIAMS OREE B AND APRIL W MCLAUGHLIN
BURSI CELESTE J
HAGELBERG FRANK
O'KELLY ROSEMARY B
ROWE COY
JIANG XIN XIN
MOORE KRISTINA M
JOHNSON SHAUNTRICE N
WILLIAMS CHRISTINE
MILLER CHARLES R

779 N EVERGREEN ST
15 BROAD ST #1926
766 DICKINSON ST
781 DICKINSON ST
765 N BELVEDERE BLVD
769 N EVERGREEN ST
750 MAURY ST
756 N AVALON ST
749 N AVALON ST
759 BELVEDERE ST
765 N EVERGREEN ST
250 CAMPER RD
760 N BELVERDERE ST
759 N EVERGREEN ST
746 N AVALON ST
729 N WILLETT ST
1477 JACKSON AVE
730 N WILLETT ST
740 N AVALON ST
745 N BELVEDERE BLVD
736 N AVALON ST
725 MAURY ST
739 N BELVEDERE BLVD
2032 W 99TH ST
729 DICKINSON ST
624 STONEWALL ST
6394 COTESWOOD RD
719 N AVALON ST
PO BOX 41831
726 DICKINSON ST
8046 N BROTHER BLVD #103
3500 PARK CENTER DR
725 N BELVEDERE BLVD
9011 PEMBROKE ELLIS DR
1477 LYNDAL AVE
705 MAURY ST
1889 WAVERLY AVE
1379 TUTWILER AVE
715 DICKINSON ST
2002 DEERE VALLEY DR
719 N BELVEDERE ST
700 N WILLETT ST
28 BALDWIN ST
710 N AVALON ST
1428 SNOWDEN AVE
1434 SNOWDEN AVE
5512 FIESTA DR

MEMPHIS TN 38107
NEW YORK NY 10005
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
DECATURVILLE TN 38329
MEMPHIS TN 38112
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MEMPHIS TN 38107
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MEMPHIS TN 38107
LOS ANGELES CA 90047
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38134
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MEMPHIS TN 38174
MEMPHIS TN 38107
BARTLETT TN 38133
DAYTON OH 45414
MEMPHIS TN 38107
MEMPHIS TN 38133
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MEMPHIS TN 38114
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MEMPHIS TN 38107
LAYTON UT 84040
MEMPHIS TN 38107
MEMPHIS TN 38107
WINCHESTER MA 1890
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38120

RANKIN NANCY C AND NELDA F GRAY
EMMAUS PROPERTIES LLC
GRIGGS TYRONE & CHERYL D AND MARY F WATK
EDWARDS ANDREW & LI ZHU
PAUL MARC & MADONNA
CRESTCORE III LLC
WRANOVIX FRANKLIN K & ANN M
LESS STANLEY H
HUEY WALKER
DUNLAP BRAD W & KATHRYN G
BURFORD CLARA M
BIRCHFIELD LESLIE H LIVING TRUST
HADLEY DEBRA L
GREENE PROPERTIES LLC
DANIEL LUOJIA
REDWING CRYSTAL R
KIRBY-BASS KIMBERLY & JOSEPH BASS
NOUTEE III LLC
GARRETT KIM & PATRICIA A
BELL SUSAN K
PITTMAN MICHAEL A REVOCABLE LIVING TRUST
DU JIAYU
SINGH HARPREET
HANEWALD CHRISTOPHER R
JORDAN MARK AND SHERI MCKELVIE
SLAUSON AMANDA
HILLER NATHAN J
ECTOR JEAN R
SUNWEST TRUST FBO KEN MURAI IRA
CHURCH JACOB L
WILLIAMS OREE B
BOOTH ROBERT
WIERONSKI JOSEPH P
THREET DONLEY C AND GARRETT G THREET
LINBARGER JUDY I
MITCHELL LAKEESA
HAYES BRENDA J
RENNIE BENJAMIN P
V & E GREENLINE COMMUNITY CORPORATION
FRAZER MATTHEW P & KATHERINE M
EISKAMP ANDREW A
O'BRIEN CATHERINE
LENTZ JANEITA
HUNT DEBBIE S
MEMPHIS LIGHT GAS & WATER
WILSON ELIZABETH A AND PATTY W LIDDELL
BORGMAN FAMILY TRUST

715 N EVERGREEN ST
P O BOX 1813
1448 SNOWDEN AVE
695 MAURY ST
1357 HARBERT AVE
4435 SUMMER AVE
710 N BELVEDERE BLVD
6686 KIRBY OAKS CV N
PO BOX 522
699 N BELVEDERE BLVD
1901 MYRNA LN
1806 CRUMP AVE
1419 SNOWDEN AVE
120 W 97TH ST #5C
545 STONEWALL ST
1479 SNOWDEN AVE
1489 SNOWDEN AVE
PO BOX 931191
658 STONEWALL ST
674 N AVALON ST
669 DICKINSON ST
673 N BELVEDERE BLVD
1817 OAK SPRINGS DR
670 N AVALON ST
1474 TUTWILER AVE
670 DICKINSON ST
663 DICKINSON ST
640 STONEWALL ST
3240 JUAN TABO BLVD NE #D
660 DICKINSON ST
1379 TUTWILER AVE
634 STONEWALL ST
1634 TUTWILER AVE
508 RIVERTRACE CV
652 DICKINSON ST
1419 TUTWILER AVE
1562 TUTWILER AVE
1439 TUTWILER AVE
1680 JACKSON AVE
1706 TUTWILER AVE
1700 TUTWILER AVE
270 N WATKINS ST
623 N WILLETT ST
1479 TUTWILER
220 S MAIN ST
1485 TUTWILER AVE
PO BOX 921316

MEMPHIS TN 38107
SOUTHAVEN MS 38671
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38122
MEMPHIS TN 38107
MEMPHIS TN 38119
MILAN TN 38358
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MEMPHIS TN 38107
NEW YORK NY 10025
MEMPHIS TN 38112
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MEMPHIS TN 38107
NORCROSS GA 30003
MEMPHIS TN 38107
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MEMPHIS TN 38107
CORDOVA TN 38016
MEMPHIS TN 38107
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MEMPHIS TN 38107
ALBUQUERQUE NM 87111
MEMPHIS TN 38107
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MEMPHIS TN 38107
MARION AR 72364
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MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38107
SYLMAR CA 91392

KOLHEIM TRACI	600 STONEWALL ST
MID SOUTH HOMEBUYERS INC	2238 CENTRAL AVE
ST JOHN ORTHODOX CHURCH	1663 TUTWILER AVE
ST JOHN ORTHODOX CHURCH	1675 TUTWILER AVE
ELOSIEBO RENEE F	P O BOX 11382
DOCKERY ODIS N AND RYAN N DOCKERY (RS)	7761 OCTOBER ROSE DR
RICHEY JONATHAN D & ARDIS N B	1685 TUTWILER AVE
MCKINLEY CHRISTOPHER	4293 CHEVY CHASE DR
SAVAGE JOSHUA L & NIKI M	PO BOX 8697
PIEROTTI PETE A & BICHTHUY	1387 FAXON AVE
TIGER PROPERTIES LLC	375 N AVALON ST
HALE BRENDA A	1634 FAXON AVE
SUGGS JAMES L III & BRANDY J	1515 TUTWILER AVE
WALLACE WILLIAM C & BARBARA W	1638 FAXON AVE
ELDRED JONAS	1409 FAXON AVE
HUGHES JAMES	PO BOX 18648
BROWN JOANNE E AND AMBER BROWN	298 MARPOSA
BRINKMAN TARA M	1670 FAXON AVE
DE NORIEGA ISIDORA	1692 FAXON AVE
IVES ELLIOTT L	1704 FAXON AVE
LIEBERMAN GREGORY	1479 FAXON AVE
HAMILTON CLEMENT L AND DAVID HAMILTON	1495 FAXON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
HOOVER PAULA B TRUST	1783 COBBHAM RD
COLLINS BERNARD G	2197 WASHINGTON
COLLINS BERNARD G	2197 WASHINGTON
CREWS JAMES W	1641 FAXON AVE
COLLINS GREER	2197 WASHINGTON
HICKS JANICE	1524 N PARKWAY
COLLINS BERNARD G	2197 WASHINGTON AVE
SCHNEIDER ROBERT & HARRIET F	1660 N PARKWAY
CAMPBELL WAYNE J & GEOFF FENLONG	1670 N PARKWAY
ZANONE DIANNE B	1515 N PARKWAY
SHARPE GOLDA M	1519 N PARKWAY
ERVIN RODNEY J & ERICA R G	1537 N PARKWAY
THOMPSON DAVID C	537 STONEWALL
KYLES JOSEPH B AND AVA A KYLES	1465 N PARKWAY
WOOTEN DAVID	4450 JON STONE LN
CHISM STEVE	4202 DUNN RD
TONG KARINA	7170 HARROD CV
PANVANOUVONG KHAMCHANH & PHOMMY	1407 N PARKWAY
VONGPACHANN KHAMSENE & DOUANE V	1401 N PARKWAY
CITY OF MEMPHIS	GENERAL DELIVERY
ESS INVESTMENTS LLC	2109 PEABODY AVE
HICKS JERRY L	634 N WILLETT ST
UMBREIT JEANE	2195 POPLAR AVE #501
JACOBS THERESA E	1192 HUNTSMAN LN

MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38111
MEMPHIS TN 38119
MEMPHIS TN 38107
LA CANADA FLINTRIDGE CA 91011
BEND OR 97708
MEMPHIS TN 38104
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MEMPHIS TN 38181
SIERRA MADRE CA 91024
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THOMSON GA 30824
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ARLINGTON TN 38002
MEMPHIS TN 38111
GERMANTOWN TN 38138
MEMPHIS TN 38104
MEMPHIS TN 38104
MEMPHIS TN 38101
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38120

BOBBITT VERA A	12314 STRONG HEART TRL
BUSSEY SPENCER MARY	674 N WILLETT ST
THIBEAULT JOSEPH	653 N AVALON ST
RATTS ANDREW A & COURTNEY L	654 MAURY ST
PHILLIPS ANN J	659 N AVALON ST
MCKINNON ALENA	660 MAURY ST
WYATT BROOKE C	673 N AVALON ST
DIBIASI WILLIAM A AND MARY A DIBIASI	674 MAURY ST
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
QUINN HUNTER	2231 E GLENALDEN DR
DALTON JAMES & MADISON K	1578 N PARKWAY
HILE JOHN C	1586 N PARKWAY
ARMSTRONG STEPHEN O AND TROY A LIEBSHWAG	5390 BANBURY AVE
DEMETRIO GEORGE E II LIVING TRUST	521 WILSON LAKE DR
PELLEW LANE K	669 N AVALON ST
DORSEY JASMINE	670 MAURY ST
CITY OF MEMPHIS	1396 TUTWILER AVE
ADEM MELIKA H	23919 FAIRPORT HARBOR LN
GLENN ANDREE AND STEVE GADBOIS	1679 JACKSON AVE
TEAM ENTERPRISES	PO BOX 40834
WILSON SONJA & PETERA	815 N EVERGREEN ST
UV HOLDINGS LLC	1784 AMBER GROVE CV
S B MILLBRANCH PARTNERS	6500 STAGE RD #2
COOPER JACQUELE E	1643 JACKSON AVE
FITZHUGH QUINCY C & LYNDA F L	805 N EVERGREEN ST
SOTOLONGO PEARLIE M	1629 JACKSON AVE
JOHNSON ALVIN L & ETHEL W	1623 JACKSON AVE
GREEN JOE AND ELLA M EDWARDS AND	1619 JACKSON AVE
BOLDEN ALBERT JR	795 N BELVEDERE BLVD
MCEACHRAN ANN B	988 RIVER LANDING DR
BAKARSKI ORIT BAR-ON AND GAL FRIDMAN	8369 WHITES CROSSING DR
SMITH CAROL J	790 DICKINSON ST
SNYDER CATHERINE L	780 N AVALON ST
CLAYTON JAMES S AND WADW WALTON AND	681 CRESTOVER
CARTWRIGHT JOSEPH T & SHARI N HALEY	795 N EVERGREEN ST
WINDHAM DEANA P	786 DICKINSON ST
SHELBY AND SHELBY PROPERTIES LLC	1589 W JACKSON AVE
LEPPERT DONALD E JR AND	790 N BELVEDERE BLVD
WEBBER CHRISTINA	1585 JACKSON AVE
JACKSON ALEXANDER & JACKSON	781 DICKINSON ST
PHAM FAMILY PROPERTY LLC	375 STONEWALL ST
GRISHAM ROBERT AND ROBERT A THOMPSON JR	1268 SLEDGE AVE
BROOKS EARL H & GLADYS	2023 JOHNSON RD
ROOF4ALL MCI 2 LLC	309 NW CAPITAL DR
STARNER GARY (49%) AND GREAT MEMPHIS	528 S MCLEAN BLVD
LAWRENCE PAUL B	785 N EVERGREEN ST
TODD ALEXANDER T	9300 S RIVEREDGE DR

ARLINGTON TN 38002
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38112
MEMPHIS TN 38112
MEMPHIS TN 38135
MUSCLE SHOALS AL 35661
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
RICHMOND TX 77407
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
COLLIERVILLE TN 38017
BARTLETT TN 38134
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38103
OLIVE BRANCH MS 38654
MEMPHIS TN 38107
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COLLIERVILLE TN 38017
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38104
GERMANTOWN TN 38139
LEES SUMMIT MO 64086
MEMPHIS TN 38104
MEMPHIS TN 38107
CORDOVA TN 38018

MCCULLOUGH CARNEY M AND BRADFORD E
ALLEN JAMES & JAMIE
GORFEL PRODUCTIONS
OLSON KARL A
RICH ROBERT S III & THERESA H
FRANKLIN JAMES M AND MARY J FRANKLIN AND
NOBLE SANDRA J
KATOE ANTIONETTE
WARD PATRICIA A
WALKER BURKE D
BROWN CHERYL L
TROUT ALICJA
DEASON DEAN
WALTON JOE R AND VERIA J BLUE (RS)
TOWNSEL WILLIE L
CASA PROPERTY MANAGEMENT LLC
NICHOLS J BENJAMIN
HILL AUDREY R
SARDEN LINDA
JOHNS CHRISTIE M
JENKINS LATONYA AND KIANA JENKINS
MOORE REGINALD R
1511 JACKSON LLC
DTC VENTURES LLC
BAILEY ANDREA M
GODFREY OLLIN
GREENWALT NANCY L
DSV SPV3 LLC
TN BIG ROCKS PROPERTIES LLC
FORSTER BRIAN L
ROBINSON JENNIFER J
WEHBY LEAH B AND NANCY-MARGARET WEHBY
BOLDEN EUGENE AND MARY BOLDEN
NOEL NINA
FREEMAN LES E & JANET G
CIENFUEGOS ANNA C & AL D
TRITONE GLOBAL INVESTMENTS LLC
PHAM FAMILY PROPERTY LLC
GEORGE VAUGHNDELLA A
BOSHWIT BROS MORTGAGE CORP
BUTLER GEORGE F II
BUTTERFIELD MARY R
LYNCH MATTHEW J
FREEMAN LES E & JANET G
GINN ROBERT & ASHLEY
THOMAS JONATHAN & PATRICE
BURCH WANDA AND CHARLEY BURCH (RS)

770 N AVALON ST
774 DICKINSON ST
22 N FRONT ST #1055
6745 LENOX CENTER CT #3
769 DICKINSON ST
775 N BELVEDERE BLVD
6926 SHERWOOD CV
766 N AVALON ST
770 DICKINSON ST
1448 BLUEBIRD AVE
776 N BELVEDERE BLVD
PO BOX 40632
765 DICKINSON ST
769 N BELVEDERE BLVD
775 N EVERGREEN ST
5125 BARRY RD
760 N AVALON ST
772 N BELVEDERE BLVD
1525 JACKSON AVE
759 DICKINSON ST
1211 KEEL AVE
745 MAURY ST
719 DOUGLAS AVE #14
PO BOX 4360
766 N BELVEDERE BLVD
1505 W JACKSON AVE
755 DICKINSON ST
16 BERRYHILL RD #200
1507 16TH AVE S #V8
750 N AVALON ST
739 MAURY ST
754 DICKINSON ST
745 N AVALON ST
2085 MAPLECREST
4950 PRINCETON GROVE CV
755 N BELVEDERE ST
1574 GULF RD ## 264
375 STONEWALL ST
740 MAURY
2595 BROAD AVE
735 MAURY ST
754 N BELVEDERE BLVD
2442 PRINCE ALBERT DR
4950 PRINCETON GROVE CV
746 DICKINSON ST
8362 CEDAR BEND CV
7657 SPIRIT LAKE CV

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38115
MEMPHIS TN 38107
MEMPHIS TN 38107
SOUTHAVEN MS 38671
MEMPHIS TN 38107
MEMPHIS TN 38107
VENTURA CA 93003
MEMPHIS TN 38107
MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38117
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
NASHVILLE TN 37207
CORDOVA TN 38088
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
COLUMBIA SC 29210
NASHVILLE TN 37212
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38116
MEMPHIS TN 38117
MEMPHIS TN 38107
POINT ROBERTS WA 98281
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
RIVERSIDE CA 92507
MEMPHIS TN 38117
MEMPHIS TN 38107
CORDOVA TN 38018
CORDOVA TN 38016

LAMMERS JAMES E AND MARK A LAMMERS
HANSHEW RAYMOND L
LE NHA K
REED MICHAEL E
CARR DEVIN A & KELSEE MCKIM
HAIMED EMADADDIN N
BURTON GEORGE & VIRGIE M
FRANKLIN DEBORAH A
BOND WILLIE L JR & LAVERNE
CHAMBERS LOIS
HATTILOO THEATRE
STEINHOFF NATHANIEL T
UMBREIT JEANE
LESTER EUNICE D
BUTKIEWCZ JOHN E & LAVERNE R
MULLINS KENTON
FRIES ROSEANNE
DU JIAYU
GRANDBERRY WILLIAM H
BRAR HARMINDER S
STARR NATHAN
KASAFTES ALEX E
BEESON CHARLENE H REVOCABLE TRUST
MAPP ESTHER L
GOODWIN JAMES M & BETH A
TURNER-BROWN BARBARA A
DOUGLAS MARGARET A
SHIVE EMILY S AND LORNE SHIVE
TURNER BARBARA A
MINC
SALTON ELIZABETH
WILLIAMS OREE B AND APRIL W MCLAUGHLIN
TAYLOR ELIZABETH A AND BARNEY J CIMMINS
LESTER EUNICE
PENNA JAMES D & MARIA T
STEWART LINDA
AMMONS JAMES B & SHARON K
RED DOOR MEMPHIS LLC
HORTON GENA A
TPB REAL ESTATE LLC
ENG FAMILY TRUST (TRS)
WILLIAMS RALPH W & TWYLA
UTT SANDRA H
RANDOLPH PHYLLIS A
SMITH JACOB H AND CAROLE A S SAMUELS
EDRINGTON JULIE AND DONALD C BOOK (RS)
RUMBLE JAMES D & PAM B

751 N EVERGREEN
736 MAURY ST
1467 JACKSON AVE
PO BOX 751164
729 MAURY ST
1463 JACKSON AVE
735 N AVALON ST
2227 CURRY
739 DICKINSON ST
726 N WILLETT ST
37 S COOPER
720 STONEWALL ST
2195 POPLAR AVE #501
1454 LYNDALE AVE
3049 E GLENGARRY RD
8701 BLUFFSTONE CV #8303
740 DICKINSON ST
745 N EVERGREEN ST
1447 JACKSON AVE
3520 HIGHTIDE DR
1482 CARLTON RIDGE DR
3664 SHIRLWOOD AVE
2125 BLACK OAK DR
1482 LYNDALE AVE
1695 AUTUMN AVE
118 SEGRETТА RD
1478 LYNDALE AVE
5885 RIDGEWAY CENTER PKWY #104
118 SEGRETТА RD
1996 E MCLEMORE AVE
1496 LYNDALE AVE
1379 TUTWILER AVE
726 MAURY ST
1454 LYNDALE AVE
730 N AVALON ST
715 N WILLETT ST
736 DICKINSON ST
7500 CAPITAL DR
740 N BELVEDERE BLVD
5840 FAIRWOOD LN
43101 CALLE CAMELLIA
729 N WILLETT ST
735 N BELVEDERE BLVD
739 N EVERGREEN ST
720 MAURY ST
726 N AVALON ST
730 DICKINSON ST

MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38175
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MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38108
MEMPHIS TN 38107
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MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38128
AUSTIN TX 78759
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
RANCHO PALOS VERDES CA 90275
CORDOVA TN 38016
MEMPHIS TN 38122
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38112
BYHALIA MS 38611
MEMPHIS TN 38107
MEMPHIS TN 38120
BYHALIA MS 38611
MEMPHIS TN 38114
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38107
MEMPHIS TN 38120
TEMECULA CA 92592
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107

HICKS JEFFREY D
MARRION BRONA L
MCCHRISTIAN MONICA D
SHELBY AND SHELBY PROPERTIES LLC
COHOON LORINDA B
MCGHEE ROY & TONYA
OLLISON SHEILA
ELLIS ROBERT N AND JUNIPER E JOSEPH (RS)
BROWN ANTONIA A
WEST BANKHEAD PROPERTIES INC
KARIMOV JAHONGIR AND ALICE PAGES (RS)
ACCORSI MICHELE
WILLIAMS OREE B AND APRIL W MCLAUGHLIN
BAILEY MARTHA L AND EDGAR BAILEY
STONEHOLLOW HOLDINGS VI LLC
MRM LLC
BAGGETT BENJAMIN R
WRIGHT RICHARD A & DEBRA C
CHIANG MARK
LEWIS TERI R
EDMISTEN ELIZABETH A
BRIDGMAN GARY A & MELISSA H M
HARVEY HOME INVESTMENTS LLC
HENSON GARY E
MORRELL NOAH JR
LEONARD VIRGINIA L
STANFILL JOY W
PEARSON ZACHARY E & CHEYENNE L
TURNAGE CARLA
AFT DAKOTA
SMITH BONNIE
PARTEE MARGARET
JACOBS THERESA E
JACKSON ANNIE AND CURRY JACKSON AND
HUYNH SON K
HAWKINS KEVIN
STEPHENS PHILLIP W
FISHER DARRELL E JR AND VIRGINIA
GEM REVOCABLE TRUST
DANIEL LUOJIA M
MDM INVESTMENTS OF MEMPHIS LLC
SANYIKA-BROOKS SHANI
LEWIS BENJAMIN H
FIRST JOSHUA J & SARA B
WHITE ANNIE L
GRIFFITH LEWIS K JR & FRANCES
ROOKS GWENDOLYN

715 MAURY ST
734 N BELVEDERE BLVD
709 N WILLETT ST
1589 W JACKSON AVE
725 DICKSON ST
1431 LYNDALE AVE
710 N WILLETT ST
729 N BELVEDERE BLVD
2909 CRYE CREST CV
4561 MINDEN RD
1418 MARSHALL ST
335 49TH ST
1379 TUTWILER AVE
1445 LYNDALE
4111 GWYNNE RD
1555 FORTUNE RD
709 MAURY ST
730 N BELVEDERE BLVD
332 VIRGINIA AVE
715 N AVALON ST
308 W 19TH ST
719 DICKINSON ST
11800 ANTWERP AVE
8141 DONNELL RD
729 N EVERGREEN ST
710 MAURY ST
1473 LYNDALE AVE
716 N AVALON ST
1481 LYNDALE AVE
720 DICKINSON ST
1485 LYNDALE
1604 LINDEN AVE
1192 HUNTSMAN LN
1491 LYNDALE AVE
2401 FORREST AVE
564 BROADMOOR BLVD
1410 SNOWDEN AVE
706 MAURY ST
505 TENNESSEE ST #508
PO BOX 41661
5100 POPLAR AVE #612
710 DICKINSON ST
699 MAURY ST
705 N AVALON ST
3798 LOWNDES CV
720 N BELVEDERE BLVD
1630 WESTLAWN DR

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
GERMANTOWN TN 38138
MEMPHIS TN 38117
HOUSTON TX 77006
OAKLAND CA 94609
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38117
MOSCOW TN 38057
MEMPHIS TN 38107
MEMPHIS TN 38107
SAN FRANCISCO CA 94110
MEMPHIS TN 38107
CARUTHERSVILLE MO 63830
MEMPHIS TN 38107
LOS ANGELES CA 90059
MILLINGTON TN 38053
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38104
MEMPHIS TN 38120
MEMPHIS TN 38107
MEMPHIS TN 38112
SAN LEANDRO CA 94577
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38103
MEMPHIS TN 38174
MEMPHIS TN 38137
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38115
MEMPHIS TN 38107
MEMPHIS TN 38114

FLASDICK AMY O
BURKHEAD JUSTIN & BRITTANY
PHAM FAMILY PROPERTY LLC
MCKINNEY MICHAEL
SCHECHTMAN JAY C
PARRISH CRAIG
RANAIVO PATRICIA
LOVE GREGORY
CHILDS ELAINE A
LAMBERT GEORGE C
VANHUUSTEE COREY
AKRIDGE ROBERT
EATON JOHN W
COLLINS RANDALL AND BREANA COLLINS
CSMA BLT LLC
CLEAN/GREEN LLC
GALLOWAY CHARLES R SR
CORUM CANDICE R
RODGERS GREGORY L
LUTRELL BARBARA A
FEASTER FREDHA F
HICKS BRIAN J & FELICIA A
CAIN LUTHER B JR & EVELYN C
STEVERSON-WILSON EVON
GAMBOLD BARRY
TROUT ALICJA
BLAKE MATTHEW B AND NOBUKO IGARASHI
BARNETT J CLAIRE
WILLIAMS LAWRENCE S
CORDOVA OSCAR C
STEPHENS JOHN R & ROBIN L BORCZON
HAYES ANITA H AND ISSAC HARRIS (RS)
JOHNSON STAN E & DEBRA L
MEMPHIS CITY OF
OWEN MICHAEL
O QUINN SILAS SR & PATRICIA
WILLIAMS JAMES M & KESHIA L
SMITH MICHAEL & CAROLINE
MORROW NANCY M
LE BICH THUY T AND NGHIA Q LE
DUNLAP HULON H JR & LYNN Y
FLANAGAN KATHERINE H
POWERS SAMUEL D
HESTER KATHY
SEW & SEW LLC
RIDDLE LAVONNA
DISMUKE LASHAWN W

709 DICKINSON ST
715 N BELVEDERE BLVD
375 STONEWALL ST
8893 VALLEY CREEK DR
419 MIRACLE PT
706 N AVALON ST
708 DICKINSON ST
320 MALVERN
1456 SNOWDEN AVE
716 N BELVEDERE BLVD
699 N AVALON ST
1458 SNOWDEWN
1466 SNOWDEN AVE
3185 HEARTHSTONE DR
1850 PARKWAY PL #900
130 N COURT AVE
711 N EVERGREEN ST
696 MAURY ST
1721 CRYSTAL WAY
700 N AVALON ST
706 DICKINSON ST
689 MAURY ST
3816 WALDEN MEADOW DR
1488 SNOWDEN AVE
447 3RD ST #811
PO BOX 40632
705 N BELVEDERE BLVD
1733 PEACH AVE
703 N EVERGREEN ST
700 DICKINSON ST
706 N BELVEDERE BLVD
1876 WOOD OAK DR
695 DICKINSON ST
1399 SNOWDEN AVE
690 N AVALON ST
1403 SNOWDEN AVE
674 STONEWALL ST
1747 GALLOWAY
700 N BELVEDERE BLVD
1413 SNOWDEN AVE
699 N EVERGREEN ST
2811 ARGYLE RD
693 N BELVEDERE BLVD
1429 SNOWDEN AVE
1652 BARKLEY ESTATES DR
500 KYLE RD
1443 SNOWDEN AVE

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38112
ARLINGTON TN 38002
MEMPHIS TN 38120
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
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MEMPHIS TN 38107
SPRINGDALE AR 72764
MARIETTA GA 30067
MEMPHIS TN 38103
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MEMPHIS TN 38107
PLANO TX 75074
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38135
MEMPHIS TN 38107
BATON ROUGE LA 70802
MEMPHIS TN 38174
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
CORDOVA TN 38018
MEMPHIS TN 38107
MEMPHIS TN 38107
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MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
BIRMINGHAM AL 35213
MEMPHIS TN 38107
MEMPHIS TN 38107
COLLIERVILLE TN 38017
OAKLAND TN 38060
MEMPHIS TN 38107

SADOFF JUSTINE
STAGE JEFFERY W
TRAN DUY K
BOSHWIT BROS MORTGAGE CORP
SFR MEM LLC
STEPHEN TERESA A
HARRIS MATTHEW C
PERKINS GLORIA J
BLABEY GARY A
DAVIS KAREN D
BROWN VIRGINIA A
MOKHTARI REVOCABLE LAND TRUST
WILSON VERUSHKA D
TATE BETTY P
PIERCE SPENCER D
CHATMAN CHARLES H JR
CLEAN GREEN MEMPHIS LLC
HART LEE A JR & DEBORAH A
JACKSON MELISSA M
MYNATT THERESA M
MITCHELL ANNIE & RILEY T
BLAKE CHERYL A
AHMED IRA INVESTMENTS LLC
GOGGINS CHARLES E JR AND JOHN W OLIVER
MORGAN HAZEL
AHMED IRA INVESTMENTS LLC
SHETFALL MONICA
CARTER MICHAEL E & ROBIN M
MOORE JOANN
CRESTCORE III LLC
POWELL ANGILINE
SIMMONS JOE A & HATTIE F
PELLICCIOTTI JOHN
ANDERSON RITA
WATLINGOTN VIRGINIA S
EDWARDS THOMAS H
SMITH TOLLIE J AND DOROTHY L M SMITH
JESSUP PATRICIA S AND MELISSA J RITTER
CUNNINGHAM GRACIE A
WILSON ELIZABETH W AND ELIZABETH A
HANNON KERRY
CLARK YOLANDREA Y
HARRISON GARY
MERCADO MARION M
TORINA LEIGH A
V & E GREENLINE COMMUNITY CORPORATION
REDFERN WALTER W AND SAMMY M GULLET

690 DICKINSON ST
696 N BELVEDERE BLVD
1449 SNOWDEN AVE
2595 BROAD AVE
1169 UNION AVE #255
1459 SNOWDEN AVE
689 N BELVEDERE BLVD
1465 SNOWDEN AVE
11562 LILTING LN
662 STONEWALL ST
6534 KARISTA ST
640 VALLEYBROOK DR
1483 SNOWDEN AVE
663 N WILLETT ST
1504 KATHLEEN ST #303
4354 HUDGINS RD
130 N COURT AVE
1408 TUTWILER AVE
673 DICKINSON ST
1412 TUTWILER AVE
1416 TUTWILER AVE
1418 TUTWILER AVE
10773 WHISPER TRL
654 STONEWALL ST
672 N AVALON ST
10773 WHISPER TRL
674 DICKINSON ST
1162 ISLAND PL E
653 N WILLETT ST
4435 SUMMER AVE
1461 TUTWILER AVE
1458 TUTWILER AVE
2511 BIRCH TREE DR
1462 TUTWILER AVE
55 ALLISON ST
672 N BELVEDERE BLVD
647 N WILLETT ST
1478 TUTWILER AVE
1482 TUTWILER AVE
1486 TUTWILER AVE
1492 TUTWILER AVE
669 N BELVEDERE BLVD
644 STONEWALL ST
664 N AVALON ST
643 N WILLETT ST
1680 JACKSON AVE
664 DICKINSON ST

HALEY STEPHEN W & SYLVIA D BELL
BLAKEBURN LESLIE & ROBERT
SCOTT AUSTIN
DROZD KELLY C
NELSON WILLIAM R
FINLEY JOEL & SARAH
PEGRAM AMANDA L
WEIMAN KATHLEEN B
CAPITAL WEALTH INVESTMENT PROPERTIES GP
WATSON ROBERT & DANIA
DUCKWORTH LEWIS
MEMPHIS CITY LIG GAS&WAT DIV
SMILEY TALENA M & AUSTIN D
CROSSROADS INVESTMENTS LLC
CROSSROADS INVESTMENTS LLC
CROSSROADS INVESTMENTS LLC
HOLT PATRICIA A
MILLER PETER J & DYLLAN
MCLELLAN KEVIN
WHITE JARED R & KIMBERLI
BRUNO ELIZABETH
ANTONIOTTI NINA M
HICKS DEVIN N
KAUR AMANDEEP & GURMUKH SINGH
SMITH DAVIS S
FRAGA CHARLES AND BRET SANDERS
JEFFORDS NANCY S
JOYCE SHANNON B
SHELBY AND SHELBY PROPERTIES LLC
POWELL ANGILINE
INGRAM LINDA
STRAIGHT LINE INVESTMENTS LLC
IVERSON MADONNA
DUCKWORTH LEWIS N
SCUDDER WILLIAM M & JUNE M
PROUNITED REALTORS LLC
GREGORY CLIFFORD G
LEE LISA G
LIDDELL JAMES C & PATTY W
STATHAM KYLE
MID-SOUTH HOMEBUYERS INC
GRAHAM MARCUS
BLIZZARD JOHN L & LINDA D
MCGOWAN THOMAS G
ST JOHN ORTHODOX CHURCH
MCGOWAN THOMAS G
FRIEDI ERIC

659 DICKINSON ST
1608 TUTWILER AVE
661 N BELVEDERE BLVD
1614 TUTWILER AVE
5452 BAY VILLAGE DR
1618 TUTWILER AVE
1576 TUTWILER AVE
5528 PECAN GROVE LN
PO BOX 3174
3615 COWDEN AVE
816 CHARLES PL
EVERGREEN
1590 TUTWILER AVE
1910 MADISON AVE #31
1910 MADISON AVE #31
1910 MADISON AVE #31
633 N WILLETT ST
1413 TUTWILER AVE
1823 N PARKWAY
1556 TUTWILER AVE
1423 TUTWILER AVE
1429 TUTWILER AVE
628 STONEWALL ST
1817 OAK SPRINGS DR
627 N WILLETT TER
280 N AVALON ST
644 DICKINSON ST
1449 TUTWILER AVE
1589 W JACKSON AVE
1461 TUTWILER AVE
624 STONEWALL
5865 RIDGEWAY CENTER PKWY #101
1357 HARBERT AVE
816 CHARLES PL
1253 N PARKWAY
7975 ATWATER LN #101
1688 TUTWILER AVE
1489 TUTWILER AVE
1495 TUTWILER AVE
618 STONEWALL ST
2238 CENTRAL
P O BOX 91223
475 CR 602
290 STONEWALL ST
1663 TUTWILER AVE
1458 FAXON AVE
1462 FAXON AVE

MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
ATHENS AL 35611
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38120
MEMPHIS TN 38187
MEMPHIS TN 38111
MEMPHIS TN 38112
MEMPHIS TN
MEMPHIS TN 38107
MEMPHIS TN 38104
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MEMPHIS TN 38107
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MEMPHIS TN 38112
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CORDOVA TN 38016
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MEMPHIS TN 38112
MEMPHIS TN 38104
MEMPHIS TN 38119
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38107
MEMPHIS TN 38104
WASHINGTON DC 20090
DAYTON TX 77535
MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38104
MEMPHIS TN 38104

GILMORE MARY R	1468 FAXON AVE
HANUSOVSKY ROBERT	3294 POPLAR AVE #304
HESTER ELMER JR (4/6) AND JAMES RIVER	1490 FAXON AVE
TRAVIS STACY D	45 FOREST RD
EQUITY TRUST CO CUST FBO	136 S MONTEREY FARMS CV
RUSHAKOFF SARAH B	1608 FAXON AVE
TOLBERT RALPH F & HELEN V	1614 FAXON AVE
HARTER COURTENAY L	1620 FAXON AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
SMITH DAVID A & SARAH R	1628 FAXON AVE
BODRY SARAH	1403 FAXON AVE
BAILEY EMILY B & BENJAMIN	1511 TUTWILER AVE
LEMM ALLISON A	1644 FAXON AVE
WEGENKE TAMARA J	1413 FAXON AVE
BURTCH WILLIAM R AND PETER T RACCASI	1650 FAXON AVE
SOLID WORK LLC	246 ADAMS AVE
MORRIS MAXWELL S	1423 FAXON AVE
WASHBURN MATTHEW G & MARY ELIZABETH N	1662 FAXON AVE
BAIN STELLA A	1433 FAXON AVE
FIELDS RICHARD	1439 FAXON AVE
FOROPOULOS MICHELLE	1503 TUTWILER AVE
SCHOSTAL ZIA C	1674 FAXON AVE
BRAINERD ANN	1680 FAXON AVE
LI HUA JU AND XIU JUN YE (RS)	1455 FAXON AVE
STUART MARK	1686 FAXON AVE
FRIEDI ERIC	1459 FAXON AVE
WEBSTER JANET	1463 FAXON AVE
MITCHELL DANNY A	1469 FAXON AVE
TGM LLC	1700 FAXON AVE
CITY OF MEMPHIS LIGHT GAS&WATE	220 S MAIN ST
SALTMARSH BRUCE A & JEAN M TOMLINSON	1475 FAXON AVE
LIBERMAN GREGORY H	1479 FAXON AVE
MOORE TAMARA D	1489 FAXON AVE
TU THANH HUYEN	1406 SOMERSET AVE
COLLINS GREER B	2197 WASHINGTON AVE
SHAFER AARON M & MICHELLE G	1607 FAXON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
JONES WALTER III	PO BOX 40024
QUINTON NOAH	1617 FAXON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
DAVEY LUCY A TRUST	2570 DIVIDING CREEK PATH
COLLINS GREER	2197 WASHINGTON AVE
SIDES STEVE A	1530 N PARKWAY
WALDEN AMANDA A	1633 FAXON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
BLACK THOMAS M	7590 CHAPEL CREEK PKWY N

COLLINS BERNARD G	2197 WASHINGTON AVE
COLLINS BERNARD G	2197 WASHINGTON AVE
HARRIS JOHN P JR	1645 FAXON AVE
MEMPHIS LIGHT GAS & WATER	179 MADISON AVE
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
BUTCHER SUSAN K	1780 FOREST AVE
PITTS DARRYL W & BEVERLY R	890 N BELVEDERE
ANDERSON MICHAEL & LAUREN GERARD	1512 N PARKWAY
COLLINS BERNARD G	2197 WASHINGTON AVE
MORTON CHARLES A	P O BOX 201
THOMSON LENI	1667 FAXON AVE
EVERETT JOHN S III	PO BOX 1259850
IVES ELLIOTT L	1704 FAXON AVE
CRAWFORD CHARLES	1681 FAXON AVE
SIDES STEVE A	1530 N PARKWAY
FARMER CLAIRE K	1685 FAXON AVE
MARCINKO ANDREW J	1691 FAXON AVE
PRUDE WILLIAM A	1695 FAXON AVE
BALLEW E LING	2651 SWEET OAKS CIR
MASON NORMA G	579 N EVERGREEN ST
CITY OF MEMPHIS	125 N MAIN ST
COLLINS BRIAN T	283 REED CIR
BOYD LISA A	1624 N PARKWAY
COLLINS GREER	2197 WASHINGTON AVE
HODGES MICKEY R & SARAH P	1630 N PARKWAY
TUCKER JIMMIE E & CLEORA F	1634 N PARKWAY
COLLINS GREER BERNARD	2197 WASHINGTON
HUMPHRIES DAVID	1429 SOMERSET AVE
CIANCIOLA CHARLES A & KELLI S	1650 N PARKWAY
CSX TRANSPORTATION INC	500 WATER ST
JOHNSON LIZA-MARIE	1678 N PARKWAY
PINTO JOHN P	1686 N PARKWAY AVE
PETTYJOHN JEFF P & HEIDI L	1690 N PARKWAY
WILLIAMS STEVEN M	1678 OVERTON PARK AVE
LOGAN CHASITY	60 E 119TH ST #2
SICOLA JOHN W & DEBORAH B	1706 N PARKWAY
TAYLOR LOGAN	1527 N PARKWAY
LYMAN KENNETH L & KATELYN E STRICKLING	1539 N PARKWAY
WILLIAMS CLAY	545 STONEWALL ST
DEYONKER NATHAN & APRIL PIERCE	1541 N PARKWAY
LEE ETHEL E	1545 N PARKWAY
PITTS ROBERT R IV & MICHAEL M AND	1547 N PARKWAY
CAPRICE DENISE INVESTMENTS LLC	PO BOX 1722
DIAMOND LIFE INVESTMENTS LLC	9160 HIGHWAY 64
ENGBRETSON REVOCABLE LIVING TRUST	1694 AUTUMN AVE
SLAYDEN ALEXANDRIA V AND ROBERT D SCOTT	1475 N PARKWAY
FRANKLIN HOMES INC	PO BOX 18634

MEMPHIS TN 38104
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TOWNSEND TN 37882
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SIOUX FALLS SD 57186
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GERMANTOWN TN 38138
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MEDINA TN 38355
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JACKSONVILLE FL 32202
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MEMPHIS TN 38112
NEW YORK NY 10035
MEMPHIS TN 38112
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MEMPHIS TN 38112
COLLIERVILLE TN 38027
LAKELAND TN 38002
MEMPHIS TN 38112
MEMPHIS TN 38112
MEMPHIS TN 38181

JOHNSON NEIL	1455 N PARKWAY
LAINE REAL ESTATE LLC	PO BOX 17462
BULLWINKLE MEMPHIS LLC	
MCAFFEE MARTY	246 ADAMS AVE
MY NGOC TAT AND JOHN NGO (RS)	4991 GERTRUDE DR
WILLIAMS EMMA AND MARY A MARSHALL (RS)	643 MAURY ST
HARTLEY BRYAN E	644 N WILLETT AVE
KNIGHT ERNEST L	647 MAURY ST
ANWELL TN BELVEDERE LLC	300 HAWTHORNE ST
KNERR WAYNE S	653 MAURY ST
JOHNSON JANICE M	654 N WILLETT ST
DELANEY KRISTEN E	659 MAURY ST
TWENTY-ONE THIRTY-FIVE 15TH AVE LLC	1507 16TH AVE S #V8
HAWKINS GLORIA M AND TONI M HAWKINS (RS)	663 MAURY ST
FUNCHES JIMMY & DOROTHY	664 N WILLETT ST
RENFROW GREGORY	669 MAURY
MEMPHIS LIGHT GAS & WATER	220 S MAIN ST
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
EDWARDS STEPHANIE	202 N MCNEIL ST
TIGER PROPERTIES LLC	375 N AVALON ST
DUCKWORTH DANIEL L & RUBY L	581 N AVALON ST
MEMPHIS LIGHT & WATER	TUTWILER
NATIONWIDE HEALTH PROPERTIES INC	PO BOX 71970
COOPER ROBERT R & JANET M	693 N EVERGREEN ST
GRABER MICHAEL B	1614 N PARKWAY
GUYER APRIL E	663 N AVALON ST
FOSTER KAREN E	664 MAURY ST
POPE JANICE M	5287 OAK MEADOW AVE
BENTON TINA S AND LENA M SALUPPO	1449 FAXON AVE
CITY OF MEMPHIS L G & W D	220 S MAIN ST #1234
MEMPHIS CENTER CITY REVENUE FINANCE CORP	114 N MAIN ST
KIRKPATRICK JAYE A	1650 N PARKWAY
FOSTER PEGGY M AND FRANCES WEBB	1408 FAXON AVE
LANDIS DAVID C	1412 FAXON AVE
THOMPSON BILLY F JR AND DONALD J MAY(RS)	1418 FAXON AVE
PETERSEN MELISSA	1422 FAXON AVE
MID SOUTH HOMEBUYERS INC	959 N GRAHAM ST
SCUDDER JAMES M AND AMY M ROST	1432 FAXON AVE
WILLIAMS DANESHA	1438 FAXON AVE
COCHRAN JAMES C	1442 FAXON AVE
PANYANOUVONG XAYPHONE J & THRONGSAVANH J	7112 MARYLAND CT

Section 5

SASSONS SUNS REAL ESTATE TENNESSEE LLC	1507 16TH AVE S #V8
1912 PROPERTIES LLC	1912 PEABODY AVE
LOPEZ MARIA	1777 JACKSON AVE
MIDTOWN RESTORATION LLC AND RED DOOR	1268 SLEDGE AVE

MEMPHIS TN 38112
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NASHVILLE TN 37212
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MEMPHIS TN 38133

NASHVILLE TN 37212
MEMPHIS TN 38104
MEMPHIS TN 38107
MEMPHIS TN 38104

GRISHAM ROBERT AND ROBERT A THOMPSON JR	1268 SLEDGE AVE
MIDTOWN RESTORATION LLC AND RED DOOR	1268 SLEDGE AVE
GERMANN WILLIAM J	1819 JACKSON AVE
TRUEMAN STENNIS B JR	1728 CRUMP AVE
HEINZ BRADLEY V & SARA J	1870 LYNDALE AVE
HEINZ BRADLEY & SARA	1870 LYNDALE AVE
OROX LLC	PO BOX 1104
RAINS LARRY R & SUZANNE L ASKEW	1875 JACKSON AVE
MOSAIC CHURCH	815 N MCLEAN BLVD
FULKERSON JUSTIN S	866 N MCLEAN BLVD
SIMPSON CAROLINE M	794 N EVERGREEN ST
DANEHOWER CAROL	1925 JACKSON AVE
HARRISON RICHARD A III AND KATHARINE P	1933 JACKSON AVE
ANDERSON WILLIAM E	1949 JACKSON AVE
KIRBY GLENDA K	1747 CRUMP AVE
LEMESSURIER KIM	1749 CRUMP AVE
KOVARIK JAMES AND PAULA KOVARIK	1957 JACKSON AVE
CHURCH OF THE GOOD SHEPHERD OF	1963 JACKSON AVE
PASLEY LAUREN	1872 CRUMP AVE
CAMPBELL CHARLES W & DOROTHY A	1877 MADISON AVE
LYLES MARCUS	7466 CORDOVA CLUB DR E
BOZEMAN JOHN L & AMANDA L	1809 CRUMP AVE
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
PARDUE OLIVIA C	4064 S LAKEWOOD DR
RABURN MAURICE T & LORI F	1833 CRUMP AVE
THORNTON AMANDA W	1796 MIGNON AVE
AZADA RANEY M AND ARYA R AZADA AND MARIA	766 N EVERGREEN ST
FINNEY GEORGE M	807 UNIVERSITY ST
HOLMES SANDRA G	1806 MIGNON AVE
BURGESS TARYN E	765 N AUBURNDALE ST
GREAT MEMPHIS HOMES LLC	528 S MCLEAN BLVD
HODGES JOHN M JR	760 N EVERGREEN ST
WHITFIELD KATHERINE E	PO BOX 20005
OEFFINGER ELIZABETH J	1783 MIGNON AVE
HANLEY WILLIAM AND JOHN D JOSLIN	750 N EVERGREEN ST
WHITE SAM A & KATHLEEN M	1799 MIGNON AVE
TAGUE JOSEPH T & RACHEL L WORTHINGTON	1805 MIGNON AVE
WEBSTER EVAN D	1811 MIGNON AVE
CROWDER AUSTIN A	749 N AUBURNDALE ST
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
SULLINS PATRICIA & STEVEN S	746 N EVERGREEN ST
STEVENS MARY J B	1833 MIGNON AVE
GANDY CHRISTINE A	1941 CRUMP AVE
PATRICK ADAM B & KATHRYN E BERLIN	1947 CRUMP AVE
FRANKLIN GREGORY S & SHERRY L	6112 SOTER PKWY
JONES ROBERT	1965 CRUMP AVE
TOMPKINS AMANDA	1796 LYNDALE AVE

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AUSTIN TX 78735
MEMPHIS TN 38107
MEMPHIS TN 38107

CHATMAN ANDRE M	1808 LYNDALE AVE
BELL MARY L	1828 LYNDALE AVE
PARKS HELEN J	1896 MIGNON AVE
DAILEY THOMAS R & SHEILA S	1910 MIGNON AVE
HICKEY MARGARET J	1890 MIGNON AVE
BROWN DAVID A & PHYLLIS D	1930 MIGNON AVE
SING JASVIR AND ASHMEET SINGH (RS)	8093 MEADOW GLEN DR
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
YOUNG MARILYN J	738 HAWTHORNE ST
PASCUAL-ARGENTE CLARA & JUAN ROJO-ACEBES	1960 MIGNON AVE
JOHNSON HELEN B	726 N EVERGREEN ST
BRADLEY BENJAMIN F	1795 LYNDALE AVE
SCHNEIDER BARBARA R	8241 SAN AUGUSTINE LN
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
LALLO CHRIS & CYNTHIA	151 MOOLU CIR
GLATT EDWARD E & DONNA J	719 N AUBURNDALE ST
WONG YIT H & MELANIE C	9351 GROVE HOLLOW LN
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
CONLEE STEVEN A	730 HAWTHORNE ST
REYNOLDS REVOCABLE LIVING TRUST	PO BOX 3194
BAUER RACHEL N & ALBERTO D P MARTINEZ	755 UNIVERSITY ST
TROUT JOE M & LILLY M	1911 MIGNON AVE
CRANDALL ZACHARY A AND KAREN A	1937 MIGNON AVE
OLIPHANT PHILIP E & MIRIAM L	1951 MIGNON AVE
THOMPSON SARAH M AND JEROME W	1852 LYNDALE AVE
BAILEY WILLIAM	1961 MIGNON AVE
KAUFFMAN MICHAEL T & MELINDA D	1858 LYNDALE AVE
BAUCUM DALE G& BRINSON A	1864 LYNDALE AVE
CITY OF MEMPHIS LGT GAS & WTRD	220 S MAIN ST
MARTIN JAMES B	1830 JACKSON AVE
OPIEL MICHAEL	1910 LYNDALE AVE
MASON DAVID V & CELLA P	1864 JACKSON AVE
SIANI ELENA R	1920 LYNDALE AVE
MAGDALENA AMANDA B	1930 LYNDALE AVE
VU TRI	708 N IDLEWILD ST
ELLIS ALMETA AND AMBER ELLIS AND	698 HAWTHORNE ST
FRANKS JOHN S & ASHLEY M	1950 LYNDALE AVE
LANIER LAURA E AND WENDY S DOUDRICK (RS)	340 N AVALON ST
ASHBY BRYCE AND JULIE ASHBY	1966 LYNDALE AVE
KT ALLEN PROPERTIES LLC	2746 OLD POST CRK
WILLIAMS DONNA K	697 N IDLEWILD ST
DURAN RICARDO AND ANA C DURAN (RS)	1877 LYNDALE AVE
MEMPHIS CITY OF	125 N MAIN ST
MOORE FRANCES	697 N MCLEAN BLVD
WILSON EDWARD A & CLARA	693 N IDLEWILD ST
MACHEN ROBERT W & CHARLENE D	680 N AUBURNDALE ST
MICHAELS ANGELA P AND KEVIN D MICHAELS	1907 LYNDALE AVE

MEMPHIS TN 38107
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GERMANTOWN TN 38138
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GANDY ALBERT A & VIRGINIA P	1921 LYNDALE AVE
RYAN JOHN F & CARLA	1937 LYNDALE AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
SEASONS INVESTMENTS LLC	PO BOX 17851
ASHBY BRYCE & JULIE	1966 LYNDALE AVE
SIGLER WILLIAM C & CASEY L	684 N IDLEWILD ST
YEATES ARTHUR AND JENNY D YEATES	453 JACK KRAMER DR
SIMONS RICHARD A FAMILY (PARTNERSHIP)	3858 SUMMER AVE
SCOTT GLADYS J (LE) AND BRYAN S DAVIS	673 HAWTHORNE ST
TOLLISON WILLIAM T & ELISABETH A	683 N MCLEAN BLVD
KIRBY MICHAEL P & JANET M	679 N IDLEWILD ST
WONG MELANIE C & YIT H	9351 GROVE HOLLOW LN
SMITH BEN B	1896 SNOWDEN AVE
COONIN ARNOLD V & ANNA L KWAPIEN	675 N IDLEWILD ST
DUNNE GREGORY & SARAH K LAVIERA	1910 SNOWDEN AVE
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
BLUSTEIN DANIEL H	667 N IDLEWILD ST
FRENCH LIVING TRUST	506 PRINCETON CV
HIESTAND KATHERINE R AND AUDREY M DAVIS	1722 TUTWILER AVE
ISHEE DEWANA A	1732 TUTWILER ST
CITY OF MEMPHIS	GENERAL DELIVERY
YOUNG RICHARD T AND KATHLEEN A MARSH (RS	667 N MCLEAN BLVD
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
HARES CELIA V H	1762 TUTWILER AVE
CHRISTIANS WILLIAM B & SARA DORRIEN-	1893 SNOWDEN AVE
TRINITY METHODIST CHURCH TRS OF	1738 GALLOWAY AVE
MALL ELIZABETH G	1897 SNOWDEN AVE
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
TAGUE CHRISTINE M	1913 SNOWDEN AVE
MCLEAN PROPERTY MANAGEMENT INC	8582 BAY ORCHARD LN
ZENG BAO R AND ZHEN Y ZENG	8305 RED CREEK DR
HOLTON JANE P	1717 TUTWILER AVE
ENGELBERG ARNOLD AND DOLORES ENGELBERY	588 HARWOOD
TATUM GEORGE J & CYNTHIA E	1729 TUTWILER AVE
AMIS ELAINE G LIVING TRUST (TR)	1870 TUTWILER AVE
JMJL ENTERPRISES LLC	1350 CONCOURSE AVE #103
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
PENNINGTON STACY S & AMANDA K L	1910 TUTWILER AVE
BULLARD ANDREW M JR & JANET M	1916 TUTWILER AVE
RESTIVO ALISON	1861 MADISON AVE
SOHNGEN ROBERT L & JUDITH C	1940 TUTWILER AVE
SMITH TERESA & JAMES COWLING	2430 SWIFT BLVD
FRINK DAVID E & JULIETTE I	1823 TUTWILER AVE
MELTON MARY C	1720 FAXON AVE
FOX CHARLES F & MARY WILDER	672 N IDLEWILD ST
HANNA DEBORAH J	1766 FAXON AVE
PELLEGRA RICK C	1798 FAXON AVE

MEMPHIS TN 38107
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STUBBLEFIELD ANNE C	1719 FAXON AVE
JORGENSEN ROBERT G JR & KAREN I PETERSON	1731 FAXON AVE
IVES AMY	1737 FAXON AVE
MASHBURN TROY JR & PAMELA	1743 FAXON AVE
MITCHELL NATE	1910 MADISON AVE #37
BAKKE JOSHUA N C AND CHRISTINE M	1773 FAXON AVE
DEAN EMILY D & THOMAS P II	1777 FAXON AVE
PHAM SON & LOAN T T	1797 FAXON AVE
LAVALLEE WALTER J III AND CHRISTOPHER C	1716 N PARKWAY
MOORE JOHN J	1736 N PARKWAY
PASS KASSEY	1742 N PARKWAY
LEE DANA C AND TAMMY E HARDISON (RS)	1760 N PARKWAY
OPEN DOOR BIBLE CHURCH (TRS)	1792 N PARKWAY
BOWIE WILLIAM C & NELL H	1840 N PARKWAY
GURLEY SARAH H AND SARAH L BROWN	1960 N PARKWAY #1207
SCHWARTZ SUSAN K LIVING TRUST	597 LEXINGTON CLUB CT #304
DUNCAN GRETHREN J AND KIRBY R DUNCAN AND	6567 S XENON ST
EARNEST MICHAEL & APARECIDA F	1960 N PARKWAY #1203
MOORE CHARLES B	1960 N PARKWAY
CURTIS EDWIN C & NAOMI M AND	4234 MAPLE PATH CIR
THOMAS KEVIN AND TAMMY L THOMAS AND	311 GERMANTOWN BEND CV
GRAY JOAN M REVOCABLE TRUST	1960 N PARKWAY #1102
DES TRUST	1960 N PARKWAY #1007
BEAUREGARD MICHAEL A	1960 N PARKWAY #911
DAS DHARMESH (40%) AND KALPESH DAS (40%)	803 E LAKESHORE DR
DUGGAN ROY T & JULIA B	1960 N PARKWAY #1003
ELMINGER ELIZABETH A AND SYLVAN J	1960 N PARKWAY #1002
WHITE TIMOTHY O & MICHAEL E BRIGGS	1960 N PARKWAY #811
KIS ZELIKO	1960 N PARKWAY #905
SCHWARTZ SUSAN K LIVING TRUST	597 LEXINGTON CLUB CT #304
GAUPP JOHN & LAURA P	12047 CHESTER DR
LOEWENBERG CINDY S AND HANNAH R	1960 N PARKWAY #806
GANN PATRICIA A	1960 N PARKWAY #710
HUNT WALTER E III	1960 N PARKWAY #802
ANDERTON MICHAEL L & SONYA J	1960 N PARKWAY #708
MOSS FRANCES W TRUST	1960 N PARKWAY #707
CORBETT CHARLES M	1960 N PARKWAY ##703
MCDONALD SUZANNE	1960 N PARKWAY #608
MORNINGSTAR ELIZABETH 2013 TRUST	1960 N PARKWAY #606
MORAN NATALIE (1/2%) AND CAMILLE T	1863 BROOKSEGE DR
MORRIS TROY AND HANNAH MORRIS	1960 N PARKWAY #605
JENSEN ANNETTE E	1960 N PARKWAY #411
CLEMENTS SUSAN M	1960 N PARKWAY #505
SHIDELER MICHAEL B	1960 N PARKWAY #408
FARSHEE CAROLYN J S AND ROBERT K SMITH	1960 N PARKWAY #501
CAMPBELL CHARLES F	1023 S YATES RD
RHODES COLLEGE	2000 N PARKWAY

CRANWELL HELEN ELIZABETH	1960 N PARKWAY #402
SHELDON MARIE I	1960 N PARKWAY #304
MARZETTE CYNTHIA A	1960 N PARKWAY #208
RUTLAND ANGELA AND HAYES RUTLAND AND	1960 N PARKWAY #203
DOUBRAVA JASON R	1960 N PARKWAY #105
TRENTHAM DENNIS L & NANCY K	1960 N PARKWAY #104
GO GRIZZLIES LLC	11 S ORLEANS ST
BROWN ROBERT JR & BETTY M	1867 CRUMP AVE
SHIPMAN MICHAEL E	1871 CRUMP AVE
LUCAS KOFI O	774 N MCLEAN BLVD
SMITH CHRISTIANA E AND MICHAEL E FORCE	11122 VALLEYDALE DR #D
HESS ROBERT A	778 N MCLEAN BLVD
MCDERMOTT RAYNA M & JENNIFER	1887 CRUMP AVE
SHEPARD JONATHAN H	1893 CRUMP AVE
ROGERS ROBERT H & CLAUDE M	1897 CRUMP AVE
LUJANO JUAN M	1903 CRUMP AVE
POWERS MARY C & THOMAS H BAILEY JR	1881 CRUMP AVE
LEGGETT ROBERT M AND MARGARET A DICKSON	1877 CRUMP AVE
PECAN PARK HOLDINGS LLC	9054 VALLEY CREST LN #201
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PECAN PARK HOLDINGS LLC	9054 VALLEY CREST LN #201
CADY STEVEN M & SARA E	733 UNIVERSITY ST
COUNCIL OF CO OWNERS OF PARKWAY HOUSE	1960 N PARKWAY
MEMPHIS CITY OF	125 N MAIN ST
MILLER ALICE F	1960 N PARKWAY #805
LYNXCO LLC	2000 N PARKWAY AVE
TURNER J MARIE	1960 N PARKWAY #805
NASR INVESTMENT LLC	4646 POPLAR AVE
MCCLELLAN CARRIE M	1733 JACKSON AVE
MCKINNON ALENA	1743 JACKSON AVE
HADASH MIRI	
BRADLEY TREBOR D	1749 JACKSON AVE
THOMPSON OBIE L & JANICE Y	1769 JACKSON AVE
CLEAR THE WAY SUPPORTIVE HOUSING CORP	5018 EXPRESSWAY DR S #204
EPPS SHARON A	1789 JACKSON AVE
SEGERSON JONATHAN E	1797 JACKSON AVE
COX TONY L	1801 JACKSON AVE
HOLTROP JOSEPH AND SHANNON SATTLER (RS)	1720 CRUMP AVE
LIGGETT MARJEAN AND KRISTI ESTES AND	1793 FORREST AVE
MOSAIC CHURCH	815 N MCLEAN BLVD
OYLER NICHOLAS & MARIA	1732 CRUMP AVE
ADAMS SUSAN D	1740 CRUMP AVE

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BULLOCK MARY M	1746 CRUMP AVE
REBER DONALD J & CAROL N	1750 CRUMP AVE
LIGHT GONI & JONATAN SELA	1760 CRUMP AVE
SHARP BIRDER J	1855 JACKSON AVE
PARHAM MONICA A & MICHAEL A	1766 CRUMP AVE
FIELDS JOHN D & JENNIE W	1865 JACKSON AVE
STIGLER JARED D & KAIITYN T	1780 CRUMP AVE
TAYLOR JESSICA L	1790 CRUMP AVE
TAYLOR JESSICA L	1790 CRUMP AVE
GARZA MAROON INVESTMENTS LLC	2754 LOMBARDY AVE
CHAPPELL JAMES C & REBECCA S	2271 MADISON AVE
DOERING JOHN H & PATRICIA B	1885 JACKSON AVE
BIRCHFIELD LESLIE AND TIA BIRCHFIELD	1806 CRUMP AVE
MOSAIC CHURCH	815 N MCLEAN BLVD
MOSAIC CHURCH	815 N MCLEAN BLVD
FULKERSON JUSTIN S	866 N MCLEAN BLVD
WARD MAGGIE	1905 JACKSON AVE
WALTON GRANDERSON F JR & JESSLYN A	459 ANGELUS ST
MASHBURN BRENT	2040 RIDGEWAY RD
PATRICK LOUIS D JR & SHEILA A	1733 CRUMP AVE
MARTIN LYNWOOD	3231 HARRIS AVE
CHAPPELL JAMES C & REBECCA S	2271 MADISON AVE
PAPA HANNAH	790 N EVERGREEN ST
CAMPBELL JAMES W III AND FRANCIS M	1755 CRUMP AVE
BRYEANS AUSTIN C & MALINA	1759 CRUMP AVE
ROSS ROBIN M	1765 CRUMP AVE
RADTKE INA & SEBASTIAN KNOEPPPEL	55 LN
CARTER KELLY K	1862 CRUMP AVE
MID SOUTH HOMEBUYERS INC	2238 CENTRAL AVE
CHURCH OF THE GOOD SHEPHERD OF	1971 JACKSON AVE
HOLLAND AMELIA T	1777 CRUMP AVE
DAVIS ASHLEY E	786 N EVERGREEN ST
SIDES CARL & JANET	1866 CRUMP AVE
MOBLEY JAMES W & TIFFANY D	1876 CRUMP AVE
HOLTZMAN JOHN K AND RICKY J CACCAMISI	1882 CRUMP AVE
TRAN CHI Q & DUYNEN D T PHAM	1803 CRUMP AVE
WILLIAMS WALTER K AND SANDRA D TALLEY	1882 CRUMP AVE
VANDERVORT THOMAS R	3356 RICHARDS XING
BIRCHFIELD TIA AND DEVIN BROWN (RS)	802 N MCLEAN BLVD
KIEHL OTTO C	1896 CRUMP AVE
PARDUE OLIVIA C	4064 S LAKEWOOD DR
SMOTHERS RONALD K & TEDRAH G	1815 CRUMP AVE
PATTON RUSSELL J	1819 CRUMP AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
YOUNG HAROLD G	776 N EVERGREEN ST
SHARP BARBARA H	1839 CRUMP AVE
EDMUNDSON STEPHEN G & CATHY C	775 N AUBURNDALE ST

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FORT MILL SC 29708
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ALLEN RILEY B	813 UNIVERSITY ST
LAZURE WALTER & MARY A	1999 GLENBUCK CV
MANERS LISA A	777 HAWTHORNE ST
TAPIA RUTH E	776 N AUBURNDALE ST
FRENCH BARRY	789 N MCLEAN BLVD
HEFLEY EMILY C & GEOFFREY C FETZERGILL	769 N AUBURNDALE ST
GORFEL PRODUCTIONS	22 N FRONT ST #1055
FERGUSON HARRISON S	773 HAWTHORNE ST
EVANS JENNIFER A	217 MINUET CIR
STUART GWEN T	1905 CRUMP AVE
HOLMES GERALDINE AND JOHN BEST AND	785 N MCLEAN BLVD
ARCHIBALD SARALYN	770 N AUBURNDALE ST
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
DEERE JUSTIN	1812 MIGNON AVE
THOMAS GENEVA P	1974 CRUMP AVE
RICHARDSON GARY J & STACYE L	1822 MIGNON AVE
UMBREIT JEANE	2195 POPLAR AVE #501
PLEASANTS MICHAEL & VIRGINIA	767 HAWTHORNE ST
NASH RODNEY S	6383 RICKS RD
NEMETH JOHN AND JAKI TAYLOR AND HAROLD	766 N AUBURNDALE ST
ALLEN RILEY B	2746 OLD POST CRK
MCCULLEY STEVE & TAMMY	391 FOREST HILL IRENE RD S
LOCKLEAR COLE G & HENRIETTA H P	759 N AUBURNDALE ST
JMJL ENTERPRISES LLC	1956 CRUMP AVE
CUTRELL KERRY A	756 N EVERGREEN ST
WEAVER JOE D	797 UNIVERSITY ST
SHAFFER TARA D & JOHN P	760 N AUBURNDALE ST
DROPE DAVID C & PHYLLIS C	761 HAWTHORNE ST
MOORE STEPHEN K	5647 GLADE VIEW DR
HAYS MARGARET K	1789 MIGNON AVE
BROWN DEMETRIUS	1795 MIGNON AVE
SNELL COLT J	756 N AUBURNDALE ST
JOHNSON MARK A AND ANDREA E GALLIMORE(RS	5255 COLLINGWOOD RD
WILLIAMSON RAY D AND MICHAEL K KENNEDY	1754 TUTWILER AVE
ARNOULT THOMAS M	1815 MIGNON AVE
DUNN ROBERTA R	1827 MIGNON AVE
HAND JUSTIN W	1839 MIGNON AVE
FLANDERS JESSIE Y	750 N AUBURNDALE ST
MATHIS ELIZABETH L	751 HAWTHORNE ST
ALLEN KERRY R REVOCABLE LIVING TRUST	2746 OLD POST CRK
HAYS ANDREW J III	1935 CRUMP AVE
THOMAS MICHAEL L	1951 CRUMP AVE
FRENCH SUZANNE A	1955 CRUMP AVE
BROWN DAVID M & ELINOR S	752 HAWTHORNE ST
HERNDON TIMOTHY C	1931 CRUMP AVE
WHITE ROY D	1961 CRUMP AVE
NAYLOR ADAM C & MOLLIE M	1790 LYNDALE AVE

GOODE AMY M	740 N EVERGREEN ST
SUBITS MARY L	746 N AUBURNDALE ST
MOORE KEITH A	1971 CRUMP AVE
YOUNG MINNIE C	1802 LYNDALE AVE
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
EDDY MARY D AND KENNETH W ALLEN (RS)	745 HAWTHORNE ST
JMJL ENTERPRISES LLC	1981 CRUMP AVE
WIRLS STEPHEN H & ELIZABETH A	1906 MIGNON AVE
SEATON SHANNON & SUZANNE CANON	739 N AUBURNDALE ST
MARDIS NANCY A REVOCABLE TRUST	1812 LYNDALE AVE
ANTLEY RANDAL G & CAROL C	779 UNIVERSITY ST
HARPER JANICE R	1818 LYNDALE AVE
ADAMS ALBERT & MARISSA	767 N BARKSDALE ST
MILES CORBIN F	1834 LYNDALE AVE
HARDING JOHN T & DENISE B	1824 LYNDALE AVE
SMITH RYAN G	1900 MIGNON AVE
URSIN TERRY	753 N MCLEAN BLVD
PRUDE TAMMY M	736 N EVERGREEN ST
PRATHER JOHN AND HERMENIA PRATHER	740 N AUBURNDALE ST
BERRY MATTHEW R	735 N AUBURNDALE ST
JONES KYLE & SANDRA FAMILY TRUST	1505 TRIMINGHAM DR
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
HAGEMAN SAMUEL S	1920 MIGNON AVE
HANKINS EDWARD W & JANE S	773 UNIVERSITY ST
PRIDY THOMAS H	730 N EVERGREEN ST
HASELOFF KAY E	734 N AUBURNDALE ST
CRAWFORD VICTORIA L	729 N AUBURNDALE ST
LOEWENBERG PHILLIP A	1940 MIGNON AVE
POWERS WILLIAM P & LAUREN R AND	1946 MIGNON AVE
SMITH SAMUEL C	735 HAWTHORNE ST
MATLOCK LISA M	1791 LYNDALE AVE
HAIRSTON REGINA J	1956 MIGNON AVE
CLAYBROOK MARJORIE M REVOCABLE TRUST	545 LEMASTER ST
DEMSTER JESSICA M AND TRAVIS G WHITE	730 N AUBURNDALE ST
MOORE CHARLES M & GLORIA J	8353 PLEASANT RIDGE RD
BROWN JEFFREY & LAUREN D	1805 LYNDALE AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
FRYE VIVIAN E	725 N AUBURNDALE ST
MASON CHRISTIAN W	1980 MIGNON AVE
SEYMOUR DOUGLAS B	731 HAWTHORNE ST
CHILDS DONA S	2253 SEGO LILLY DR
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
ADCOCK JAMES T	720 N EVERGREEN ST
MCCAIN LLOYD D & JEAN M	761 UNIVERSITY ST
STEPHENSON ROBERT H	2731 ROCKCREEK PKWY
PELLEGRIN STEPHEN P	1871 MIGNON AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE

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CORDOVA TN 38016
MEMPHIS TN 38107
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PARACHUTE INVESTMENT CO LLC	47 GOODWAY LN
HEINZ BRADLEY V & SARA J	1870 LYNDALE
BAGWELL JOHN & GLORIA J	725 HAWTHORNE ST
WONG ERIC	1891 MIGNON AVE
WHITE-PENN CAROL E	716 N EVERGREEN ST
SIMS KATHLEENE A LIVING TRUST	1901 MIGNON AVE
MCCLUNEY SUSAN C AND PATRICIA C ONEAL	720 N AUBURNDALE ST
COLLINGE MARY & WADE M GIBSON	1905 MIGNON AVE
MEMPHIS GAS & LIGHT	220 S MAIN ST
HUANG SUJUAN	5115 BARRY RD
LARUE GERALD H & MELANIE S (LE) AND	8020 MAGNOLIA WAY
SMITH GARRETT	1921 MIGNON AVE
OSTROW DENNIS D	PO BOX 40263
COFIELD MICHEAL D REVOCABLE TRUST	3312A WESTHILL DR
LINEBERRY WILLIAM C (ESTATE OF)	4648 DESOTO RD
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
FREEMAN SHERRY L	716 N AUBURNDALE ST
HOFFMANN MELISSA L & JON E SORENSON	1941 MIGNON AVE
BLYTHE CHARLES W & MARGARET W	1947 MIGNON AVE
SMITH HOLLY M	709 N AUBURNDALE ST
CORBROOK PROPERTIES LLC	2565 HEATHERBROOK LN
BREEDLOVE CALVIN R II	1957 MIGNON AVE
OVERTURF KENT B AND MICHAEL W RADCLIFF	710 N AUBURNDALE ST
HENSLEY REBECCA S	1967 MIGNON AVE
ASHLEY RODNEY H & HEATHER G	1971 MIGNON AVE
BARNES KATHY D	1977 MIGNON AVE
HEINZ BRADLEY V & SARA J	1870 LYNDALE AVE
WONG YIT H & MELANIE	9351 GROVE HOLLOW LN
HAWKINS RONALD R (50%) AND BRENDA K	1876 LYNDALE AVE
ARIAN JUSTINE J A	16082 WARREN LN
OWENS STEPHENS C & SHELLI E	1999 MIGNON AVE
MCALISTER AMBER L & DAVID G	714 N IDLEWILD ST
JOYCE ROBIN P	1886 LYNDALE AVE
HENLEY MARC & VANESSA	1890 LYNDALE AVE
RODRIGUEZ DIEGO A & SWANTJE LIEDMANN	1896 LYNDALE AVE
BROADHEAD MEREDITH	1900 LYNDALE AVE
BROADHEAD ANN	1900 LYNDALE AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
EDWARDS DONALD W & KAREN K	711 N MCLEAN BLVD
BEAIRD W BENJAMIN & JUDITH M	1936 LYNDALE AVE
SHIRLEY CARLA D	1940 LYNDALE AVE
MEMPHIS CITY OF	125 N MAIN ST
RIZZO PETER T	1946 LYNDALE AVE
HACKLEMAN RICHARD L	PO BOX 41057
PERDUE KATRINA S AND HAMLETT R DOBBINS	701 N IDLEWILD ST
V & E GREENLINE COMMUNITY CORPORATION	1680 JACKSON AVE
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE

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WALLS MS 38680
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MISSAK MARY	704 N IDLEWILD ST
RUBIN WILLIAM E & MARY A	1970 LYNDALE AVE
ROLLINS TIMOTHY L & KRISTEN THOMAS	1853 LYNDALE AVE
LANE JANET M	693 HAWTHORNE ST
HUDDLESTON RICHARD F & SARAH C L	1859 LYNDALE AVE
BOND CHARLES M	725 UNIVERSITY ST
JOHNSON PATRICK & SHELLEY	1865 LYNDALE AVE
GERKEN CASSIE M	1871 LYNDALE AVE
BROWN SHELLEY R	698 N IDLEWILD ST
RAWLES JULIA G	694 HAWTHORNE ST
SNYDER CATHERINE L	1881 LYNDALE AVE
STRONG KENNETH AND SUN STRONG LIVING	1887 LYNDALE AVE
JACOBS JEFFREY & SUZETTE C	1891 LYNDALE AVE
JACKSON JEFFREY H & ELLEN K DAUGHERTY	719 UNIVERSITY ST
RAGLAND EMILY	689 HAWTHORNE ST
DELACY CECELIA A	1897 LYNDALE AVE
SMITH CHRISTA B	1901 LYNDALE AVE
NG JULIENNE AND ROBERT G LAPORT	694 N IDLEWILD ST
WILLIAMS THOMAS C	688 HAWTHORNE ST
DANIEL AARON E	1911 LYNDALE AVE
JMJL ENTERPRISES LLC	1917 LYNDALE AVE
FOX CHARLES & MARY WILDER	672 N IDLEWILD
ROGIN ALEX	687 N IDLEWILD ST
UNGARO WILLIE L	683 HAWTHORNE ST
RIZER BERLYNN A JR & PATSY T	1931 LYNDALE AVE
COLVIN BENJAMIN	688 N IDLEWILD ST
SHEA JESSICA AND ERIC M FREY	673 N AUBURNDALE ST
SHEEHAN CAROL M	684 HAWTHORNE ST
COWAN BENJAMIN D & AMELIA M	1947 LYNDALE
ROGERS WAYNE	1951 LYNDALE AVE
CHALK DANIEL C JR	677 HAWTHORNE ST
LIEBSCHWAGER TROY A & LISA D	5390 BANBURY AVE
MCCARTHY DAVID P & MARINA E P	1957 LYNDALE AVE
HEFLEY AMY AND JENNIFER HEFLEY	1852 SNOWDEN AVE
PARDUE OLIVIA C AND RONALD P PARDUE	4064 S LAKEWOOD DR
HANNAH FLEETIS P JR & JANET T	1967 LYNDALE AVE
TERRELL HAROLD C	674 N AUBURNDALE ST
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
JOHNSON ROBERT W & DEBBIE	1971 LYNDALE AVE
SWETT MARGARET L	678 HAWTHORNE ST
MOSHREF ARIAN	1977 LYNDALE AVE
GUERRA MONJE DANIEL	660 N EVERGREEN
JENNAJAMES ENTERPRISES LLC	1385 CORPORATE AVE
RACHELS MIRIAM	530 OAK COURT DR #100
CURTIS JOHN	1910 MADISON ##28
GOLDSTEIN PAUL D	1886 SNOWDEN AVE
DYCUS JAMES A & JESSICA J	1892 SNOWDEN AVE

LANGLEY JOHN M & ALYCE F	668 N AUBURNDALE ST
AVERY CHRISTOPHER R	678 N IDLEWILD ST
HICKS JANICE H	674 HAWTHORNE ST
LIU KEAWE & JORI H	1900 SNOWDEN AVE
GRANDI ROMNEY	1906 SNOWDEN AVE
MCGUIRE MIKI	677 N MCLEAN BLVD
DAVIS BOBBY B & VICKIE A	667 HAWTHORNE ST
BARNETT CLAIR B	6525 QUAIL HOLLOW #300
COX LANA	1732 TUTWILER AVE
FOX CHARLES F AND MARY WILDER	672 N IDLEWILD ST
COLTURI HOMES INC	390 MULBERRY ST
TERRELL KIMBERLY A	1930 SNOWDEN AVE
QUAD II LLC	14720 EBY ST
BRADDOCK JOSHUA	663 HAWTHORNE ST
GROSS FORREST G JR & SHARI M	1716 TUTWILER AVE
STARK PAMELA D & JOE	673 N MCLEAN BLVD
RIKARD JUSTIN L AND LAURA E FOGLEMAN	1940 SNOWDEN AVE
MCQUIRTER HENRY G	8924 WINDING WAY
JANSSEN MEGAN N & STUART T	1726 TUTWILER AVE
KT ALLEN PROPERTIES LLC	2746 OLD POST CRK
LOCKWOOD MARTHA LYNN	1956 SNOWDEN AVE
LAND SARAH G & DAVID G	668 N IDLEWILD ST
HEFFINGTON DONALD W & RAPHAELIA W	1910 MADISON AVE #4
SCHILD ALISSA D	1962 SNOWDEN AVE
TRAGARZ ROBERT B JR	664 HAWTHORNE ST
FLOYD JOHN B & CHRISTINE K	1742 TUTWILER
SHADE PATRICK A	1966 SNOWDEN AVE
CITY OF MEMPHIS	125 N MAIL ST
HOUK KENNETH W & ANITA L	1970 SNOWDEN AVE
KEVRON PROPERTIES LLC	710 PHILADELPHIA ST
JONES MARGARET	1000 MURRAY HILL LN
WILLIAMSON RAY D AND MICHAEL K KENNEDY	1754 TUTWILER AVE
CHUGDEN ROBERT J	6005 WALDEN PL
FINGER MICHAEL C & SHERRI L	691 UNIVERSITY ST
RAU TERRI J AND MYRTLE C RAU (RS)	1859 SNOWDEN AVE
BRADEN CYNTHIA E	1865 SNOWDEN AVE
WESSON SCOTT M & ELIZABETH M	14 THE FALLS DR
CANNON WILLIAM J AND RACHAEL A MERCER	1871 SNOWDEN AVE
CITY OF MEMPHIS	125 N MAIN ST
DUNATHAN HARMON C & MARY PITTS-DUNATHAN	1770 TUTWILER AVE
EDWARDS THOMAS & MADELEINE	1877 SNOWDEN AVE
WONG YIT H & MELANIE C	9351 GROVE HOLLOW LN
JIMENEZ ABIGAIL R	1778 TUTWILER AVE
KEVRON PROPERTIES LLC	710 PHILADELPHIA ST
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
PERK KEVIN A AND TERRON K PERK	710 PHILADELPHIA
ELKINGTON GREEN GP	4928 WILLIAM ARNOLD RD

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VESTAVIA HILLS AL 35216
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GERMANTOWN TN 38139
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MEMPHIS TN 38117

OKINS JOHN AND CHRISTOPHER TEETER (RS)	963 AUTUMN OAKS CIR
MORALES KATHERINE M	1796 TUTWILER AVE
HARLAN JANE R	72 N EDGEWOOD ST
KELLY FRANK A	1800 TUTWILER AVE
TIGER PROPERTIES LLC	357 N AVALON ST
DUNN JEFFREY S & SHEILAH T	1804 TUTWILER AVE
FOX CARL IV & SHEA S	1917 SNOWDEN AVE
STENGEL SANDY K	22675 HWY 64
LOMAX OLIVIA M	1923 SNOWDEN AVE
MCCAIN LLOYD D JR	761 UNIVERSITY ST
BABICH TAYLOR	1931 SNOWDEN AVE
LAWRENZ BRIAN J AND DANIEL COLTURI	717 GOODMAN
STEPHENS GARNETTE LIVING TRUST	1937 SNOWDEN AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
HENNESSEY LYNN K	1947 SNOWDEN AVE
KATZ KATHRYN J	6329 SHELBY TRAIL RD
BURKE JOSEPH A & KATHERINE M	1957 SNOWDEN AVE
CARROZZA VICTOR J	1961 SNOWDEN AVE
ABNEY MICHAEL	1721 TUTWILER AVE
PAKIS MARINA E REVOCABLE TRUST	1967 SNOWDEN AVE
FRAZIER SHARON G	1864 TUTWILER
FISHER CHARLOTTE W LIVING TRUST	1725 TUTWILER AVE
CLARK ROBERT AND BRITTANY BODINE	1971 SNOWDEN AVE
GARNER ROBERT S & LORI A	1977 SNOWDEN AVE
HALEY ROBERT	1735 TUTWILER AVE
CHILDERS EMMA	1981 UNION AVE
SPENCE MITCHEL L & BETTY J	1876 TUTWILER AVE
FLANAGAN KATHERINE H	2811 ARGYLE RD
SIMPSON ELIZABETH D	1880 TUTWILER AVE
RHODES COLLEGE	2080 N PARKWAY
CWB PROPERTIES LLC	8744 DUMFRIES CV
TAYLOR JEFFREY G	8082 EVERGREEN DR
HUGHES KENT S & DIANNE M	1890 TUTWILER AVE
SHEPHERD CONNIE Y & HURLEY S	1753 TUTWILER AVE
KRAUSSER TED M & ROXIE J	1896 TUTWILER AVE
LUKAS AARON P & CAROLYN L	UNIT 7600 BOX 3008
CORAH DANIEL W	2565 HEATHERBROOK LN
NELSON DAVID R & SUSAN F	1763 TUTWILER AVE
HAWKS STEPHEN D & ROSALYN M B	1769 TUTWILER AVE
HUGO FAMILY REVOCABLE TRUST	1773 TUTWILER AVE
WALTZ JILL L	1777 TUTWILER AVE
SACHRITZ SHERYL AND JANET A PUTNAM (RS)	1920 TUTWILER AVE
KIRBY THOMAS & ELIZABETH A	1789 TUTWILER AVE
SEHNERT MARK H & SYLVIA M	1932 TUTWILER AVE
WILLIAMS JAMES A & LISA	1936 TUTWILER AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE

BRAWNER BRANDON W & RAMONA W	1803 TUTWILER AVE
HIGGINS CHARLES S S & TESSA E S	1946 TUTWILER AVE
OMNI CONSULTING SERVICES INC	2940 KERRY FOREST PKWY #101
CAUGHRON RICHARD A & LINDA I	3875 TUTWILER AVE
PEPPER BARBARA B	5528 WOODLAWN
MORIARTY EDWARD J REVOCABLE TRUST	7122 TULIP TRAIL DR
HARRELL ETHEL A TRUST FBO GRANT HARRELL	5050 POPLAR AVE #415
HOUSTON JERRY N & SUSAN J	1716 FAXON AVE
OWENS MATTHEW A & REBEKAH L BERLIN	1966 TUTWILER AVE
MCGUIRE DANIEL G	222 STONEWALL ST
POWELL JOHN S & CAROLYN K	1724 FAXON AVE
FOX CHARLES & MARY WILDER	672 N IDLEWILD ST
CLEANHTES JEFFREY M & KAITLIN E HARRIS	1978 TUTWILER AVE
JEMISON SARAH	1730 FAXON AVE
FOX CHARLES & MARY W	672 N IDLEWILD ST
RHODES COLLEGE	2080 N PARKWAY
BRASFIELD WILLIAM M JR & CHARLSIE A	1736 FAXON AVE
ORSLAND RHOBERTA & BRET	1742 FAXON AVE
BOARD OF EDUCATION OF MPHS	2597 AVERY AVE
BRASFIELD CHARLSIE	1736 FAXON AVE
PERRY EVELYN M AND DANIEL O'GRADY (RS)	1754 FAXON AVE
SCRUGGS JARVIS	2550 N PARKWAY
HUME JOHN S	1772 FAXON AVE
TETTEH MICHAELENE	1519 UNION AVE #125
ANDERSON BARRY L & LISA H	1790 FAXON AVE
RHODES COLLEGE	2000 N PARKWAY
POLLAN BRIAN D & LEIGH T MANASCO	1804 FAXON AVE
NGUYEN HOA	403 LOCUST GROVE DR
RANDOLPH DAVID R	2014 NELSON AVE
MILLS MARK D (LE) AND ALICIA A BRUNO AND	1822 FAXON AVE
MCWHIRTER KIM	1824 FAXON AVE
MANNING SONJA D	1828 FAXON AVE
BLACKWELL CEYLON B JR REVOCABLE	2246 HEATHERWOOD CV
GRANT ROBERT D IV & RACHAEL F	1755 FAXON AVE
MCKELROY CHARLES K & MARGARET F	1761 FAXON AVE
DAUGHERTY KASCANDRA M	1767 FAXON AVE
KUS SUSAN M AND VICTOR RAHARIJAONA	1771 FAXON AVE
TRANS FARM LLC	1789 FAXON AVE
PHUNG KIEM V	1795 FAXON AVE
OPEN DOOR BIBLE CHURCH TR	1792 N PARKWAY
HEINZ BRADLEY V & SARA J	1870 LYNDALE AVE
YANASE RYAN	1811 FAXON AVE
LOWE MARY E AND NANCY F LOWE	1815 FAXON AVE
LEVERETT DONNA L AND KIM MCWHIRTER	1821 FAXON AVE
JMJL ENTERPRISES LLC	1385 CORPORATE AVE
CHILDRESS JUDD L	1829 FAXON AVE
LARKIN JAMES T & JENNIFER A	1724 N PARKWAY

MEMPHIS TN 38107
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TALLAHASSEE FL 32309
MEMPHIS TN 38122
BARTLETT TN 38134
MEMPHIS TN 38133
MEMPHIS TN 38157
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RIVALTO REBECCA	1833 FAXON AVE
HIGBIE AMANDA AND MARCY HIGBIE	4623 SHETLAND LN
RIVALTO M A & REBECCA	1420 STONEBROOK AVE
MCCRAW FAMILY IRREVOCABLE TRUST	3623 IRONWOOD DR
CARLSON GARY L	1754 N PARKWAY
THOMAS DANIELLE	1766 N PARKWAY
ROBBINS RICHARD B & AMANDA M	1776 N PARKWAY
RODGERS JOAN W	1782 N PARKWAY
OPEN DOOR BIBLE CH TRUSTEES	1792 N PARKWAY
RIVALTO REBECCA B	1420 STONEBROOK AVE
LOST LAKE LLC	1804 N PARKWAY
569 NORTH MCLEAN LLC	569 S MAIN ST #209
REYNOLDS WALTER W AND DRUANN YOUNG (RS)	1715 AARON BRENNER DR #100
SCHLOSSBERG MICHAEL L AND ADAM J	1960 N PARKWAY #1211
HALFORD JACK H	1960 N PARKWAY #1210
JENKINS HARVEY & SUSAN (97%) AND	1960 N PARKWAY #1209
CRUM JAMES AND MARTHA CRUM LIVING TRUST	2280 EVELYN AVE
WILIS ROSALYN	1960 N PARKWAY #1206
STARCK VINCENT & JENNIFER THOMAS-STARCK	6 STEARNS RD
HANCOCK III ALVIN AND LESLIE C HANCOCK	5507 HOLSTON HILLS RD
EDMISTON BRIAN D & JULIA A AND	1960 N PARKWAY #1109
HAIGHT JANE A G AND MOLLY HAIGHT AND	1960 N PARKWAY
MOORE CHARLES B	1960 N PARKWAY #1107
COOP SYLVIA H	1960 N PARKWAY #1106B
STANLEY CYNTHIA D	1960 N PARKWAY #1011
HURLEY LEAH A	1960 N PARKWAY #101
HICKS JULIA E	1960 N PARKWAY #1104
GRANT APRIL	1960 N PARKWAY #1009
INMAN KENNETH R JR	1960 N PARKWAY #1008
NEAL ANNA & ELAINE BLANCHARD	1960 N PARKWAY #1006
HICKS-MUSOLINO PROPERTIES LLC	1960 N PARKWAY #1005
WALDRIP JANE B	1960 N PARKWAY
BARCH DAVID C	1960 N PARKWAY #909
FITZGERALD ELIZABETH M	1960 N PARKWAY #908
DELACY JULIA	1960 N PARKWAY #907
MUSOLINO VIRGINIA K H	1960 N PARKWAY #906
LANGFORD LEAH AND NANCY CLIFTON (RS)	1960 N PARKWAY ## 904
MALONE WILLIAM D	1960 N PARKWAY #810
MARTIN FRED F JR	1960 N PARKWAY
LOCKWOOD LINDA J	1960 N PARKWAY
ANDERSON-ROE NENA & TONY AND CAROLYN ROE	1960 N PARKWAY #807
HENSON LINDA S & GARY N	1960 N PARKWAY #711
JOHNSON STACY R & CHARLOTTE C	1960 N PARKWAY #709
GRAY WILLIAM	1960 N PARKWAY #804
GURLEY SARAH A	1960 N PARKWAY #706
SEDBERRY LAKE B	1960 N PARKWAY #705
KEITH RANDY A	1960 N PARKWAY ##611

KING BETSY	1960 N PARKWAY #704
GUDMUNDSSON FAMILY TRUST	1960 N PARKWAY #610
PHILLIPS LISA E	27 GREEN VALLEY RD
CHATFIELD LORA REVOCABLE LIVING TRUST	1960 N PARKWAY #702
WHARTON ANDRE & MONICA	46 BELLEAIR DR
COLLINS LIVING TRUST	PO BOX 2005
PANNELL DUANE A	1960 N PARKWAY #604
JACKMAN KIMBERLY M AND CARYE A JACKMAN	1960 N PARKWAY #509
FERRELL SANDRA E	1960 N PARKWAY #603
JONES GREGORY AND JOSEPH S LEARY (RS)	1960 N PARKWAY
BROTHERTON MICHAEL & RENEE	1960 N PARKWAY #602
FAULKNER CHELSEA M AND CHRISTY D TANNER	1960 N PARKWAY #507
DEBERRY DAVID T SURVIVOR'S TRUST (99%)	1471 ROZELLE ST
BOBAY ANNEMARIE	1960 N PARKWAY #506
CASEY KAREN J REVOCABLE LIVING TRUST	1960 N PARKWAY #410
PEACHER-RYAN REVOCABLE TRUST	1960 N PARKWAY #504
TANNER JANICE MAE AND TIMOTHY C TANNER	1960 N PARKWAY #409
ADAMS ANNIE M T	1960 N PARKWAY #503
GURLEY SARAH A	1960 N PARKWAY #502
GRAVES PAULINE D AND XAVIER M GRAVES	1960 N PARKWAY #407
DIXON BEVERLY H	1960 N PARKWAY #406
SPEARS DIANE C	1960 N PARKWAY #404
GATES JEWELL E AND DOMINIQUE M GATES	1960 N PARKWAY #310
BLANKENSHIP SARAH (99%) AND BRADLEY K	3800 WALNUT GROVE RD
FERRELL ZACHARIAH F	1960 N PARKWAY #309
OWEN ROBERT K AND MEREDITH A OWEN (RS)	1408 COMO PARK CIR
ARGO LAINE N & JAIME E DUNN (99%) AND	1960 N PARKWAY #401
CRAIG JEFFREY L AND TODD SMOYER-GARRICK	1960 N PARKWAY AVE #307
TUCKER SHERRY B	1960 N PARKWAY #306
EASY WAY STORES INC	4545 S MENDENHALL RD
NEAL ELLEN K AND GLORIOUS V POTTER	1960 N PARKWAY #305
HOLDER JESSIE L	1960 N PARKWAY #210
EVANS PEGGY	1960 N PARKWAY
DIFFEE SHIRLEY J	137 HAWTHORNE RD
TUCKER ROBERT D & SHERRY B	1960 N PARKWAY #302
WEIR MARTHA J TRUST	1960 N PARKWAY #207
WIGGINTON RUSSELL T JR	1960 N PARKWAY AVE ## 206
CAPPS MELLANIE A	1960 N PARKWAY #205
DOGGRELL HENRY P JR TRUST (TR)	495 TENNESSEE ST #701
MILLER CAROL M AND HERMAN MORRIS JR	5362 PAVILION GREEN N
HILL JOAN J (90%) AND JENNIFER E	1960 N PARKWAY #109
WENKER ROBERT W & REBECCA A (99%) AND	3705 CLASSIC DR S
POWELL MICHAEL & ANGELA MILES-POWELL	890 KENSINGTON PL
GRIESBECK SHELLY D	1960 N PARKWAY #106
TAYLOR HUGH B	1960 N PARKWAY #103
WOODS JOHN B JR & PATRICIA AND	1960 N PARKWAY #102
MEMPHIS CITY OF	125 N MAIN ST

DALRYMPLE CHRISTINE D
TIJERINA VICTORIA C
ROGERS VANESSA L & ZAK OZMO
HEINZ BRADLEY V & SARA J
ALDERSON JOHN M
ENSMINGER GEORGE & NANCY J
WILLIAMS ALAN D II & PATRICIA K
MEIER KATHLEEN M AND FERGUS NOLAN (RS)
PECAN PARK HOLDINGS LLC
PECAN PARK HOLDINGS LLC
PECAN PARK HOLDINGS LLC
PECAN PARK HOLDINGS LLC
HANNAFORD JULIANNE T
BARTON TED C & CHERYL M
BARTON TED C & CHERYL M
KEADLE PATRICK T AND LYDIA L HOLLAND
CLARK CHRISTOPHER S & ALECIA
PECAN PARK CONDOMINIUMS
DYCUS IRENE B
MEADOWS MARY L
HORN MICHAEL
WARREN PAMELA G
HUNT WALTER E III
MARSHALL KATHLEEN J
LORMAN TRUST
MITCHELL WILLIAM
HUGHES MARY J
GREEN ROSIE L
RHODES COLLEGE
GORFEL PRODUCTIONS

706 N EVERGREEN ST
705 N AUBURNDALE ST
700 N EVERGREEN ST
1870 LYNDALE AVE
690 N EVERGREEN ST
790 N MCLEAN BLVD
768 N MCLEAN BLVD
758 N MCLEAN BLVD
9054 VALLEY CREST LN #201
9054 VALLEY CREST LN #201
9054 VALLEY CREST LN #201
9054 VALLEY CREST LN #201
1960 N PARKWAY #1300
1838 MIGNON AVE
1838 MIGNON AVE
1976 LYNDALE AVE
1828 N PARKWAY
138 TIMBER CREEK DR
1960 N PARKWAY #1201
1960 N PARKWAY #1101
1960 N PARKWAY #1001
1960 N PARKWAY
1960 N PARKWAY #801
1960 N PARKWAY ## 701
1960 N PARKWAY #301
1960 N PARKWAY #111
1960 N PARKWAY
947 N MCLEAN BLVD
577 UNIVERSITY ST
22 N FRONT ST #1055

MEMPHIS TN 38107
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MEMPHIS TN 38112
MEMPHIS TN 38107
MEMPHIS TN 38112
MEMPHIS TN 38103

Evergreen Gardens addition.

HOUSTON DANIEL
1756 GREENVIEW CIR
MEMPHIS TN 38108

PATTERSON LUCILLE H (LE) AND
769 ALASKA
MEMPHIS TN 38107

GRAY M L & MALINDA G ETAL
1816 GREENVIEW CIR
MEMPHIS TN 38108

VANARSDALE REGINA
1760 GREENVIEW CIR
MEMPHIS TN 38108

INGRAM CLAUDE E
1728 GREENVIEW CIR
MEMPHIS TN 38108

GOODEN DERRY L
3790 BLUE JAY RD
MEMPHIS TN 38116

JOHNSON CLARENCE (ESTATE OF)
1770 GREENVIEW CIR
MEMPHIS TN 38108

TAYLOR SANDRA
1732 GREENVIEW CIR
MEMPHIS TN 38108

ZARIF ABDUL
1809 GREENVIEW CIR
MEMPHIS TN 38108

BOSHWIT BROS MORTGAGE CORP
2595 BROAD AVE
MEMPHIS TN 38112

MALONE LEE AND TERRY LAMONE AND
1738 GREENVIEW CIR
MEMPHIS TN 38108

RODGERS FLOYD C
1776 GREENVIEW CIR
MEMPHIS TN 38108

ROGERS FLOYD C AND KATHY R BROWN (RS)
1721 GREENVIEW CIR
MEMPHIS TN 38128

THOMAS VIRGINIA L
1742 GREENVIEW CIR
MEMPHIS TN 38108

BROOKS ARNITA
1803 GREENVIEW CIR
MEMPHIS TN 38108

BOSHWIT BROS MORTGAGE CORP
2595 BROAD AVE
MEMPHIS TN 38112

HOLLINS BEATRICE II
14011 IRISH GRV
SAN ANTONIO TX 78247

MCAFEE MONTY
305 LOCUST ST
ALEXANDRIA TN 37012

HERNDON ODIESTINE R
1734 GEORGIAN
MEMPHIS TN 38127

WILLIAMS JANICE O
1752 GREENVIEW CIR
MEMPHIS TN 38108

STEWART PAMELA (LE) AND KIERRA STEWARD
1749 GREENVIEW CIR
MEMPHIS TN 38108

PEARSON LINDA P
1753 GREENVIEW CIR
MEMPHIS TN 38108

HOWELL BELINDA J C
1766 GREENVIEW CIR
MEMPHIS TN 38108

GILCHRIST JAMES & SARAH A
1759 GREENVIEW CIR
MEMPHIS TN 38108

STRONG EVELYN B
1787 GREENVIEW CIR
MEMPHIS TN 38108

RODGERS FLOYD C AND KIMBERLY A ROGERS
1721 GREENVIEW CIR
MEMPHIS TN 38108

CASH NAZERINA
7516 CRYSTAL LAKE DR
CORDOVA TN 38016

STRONG BYRON R
121 N FOREST HILL IRENE RD
CORDOVA TN 38018

MILLER CLINTON E
1782 GREENVIEW CIR
MEMPHIS TN 38107

COBB CAROLYN
882 MAPLE DR
ATOKA TN 38004

Evergreen Gardens addition.

CHISM BETTY F
2884 YALE AVE
MEMPHIS TN 38112

STRONG BYRON R
121 N FOREST HILL-IRENE RD
CORDOVA TN 38018

STRONG BYRON
121 N FOREST HILL-IRENE RD
CORDOVA TN 38018

HODGES ELIZABETH L
1793 GREENVIEW CIR
MEMPHIS TN 38108

BOLTON OUIDA
1797 GREENVIEW CIR
MEMPHIS TN 38108

Hunter Ave. addition.

HD TOLEDO REI VENTURES LLC
94 HYTHE AVE N
BURNABY BRITISH COLUMBIA CA

FULTON BILLIE A AND TANYA GOODWIN
1750 HUNTER AVE
MEMPHIS TN 38108

GRACELAND HOME LLC
1734 HUNTER AVE
MEMPHIS TN 38108

BOYD ADELLA
4983 WEMBERLEY DR
MEMPHIS TN 38125

FULTON CARETHA
1752 HUNTER
MEMPHIS TN 38108

LEAKE MELVENA C
4632 HONEYSUCKLE LN
MEMPHIS TN 38109

GARMON CHARLES T AND CONTEE SPEARS
1750 HUNTER
MEMPHIS TN 38108

UPH 127 GP
5099 OLD SUMMER RD #C
MEMPHIS TN 38122

SNOWBALL 221 LP
5099 OLD SUMMER RD #C
MEMPHIS TN 38122

STRONG BYRON
121 FOREST HILL IRENE RD S
CORDOVA TN 38018

T & L INVESTMENTS (DBA)
4632 HONETYSUCKLE LN
MEMPHIS TN 38109

PERKINS ARTHUR JR & ELIZABETH
1794 HUNTER AVE
MEMPHIS TN 38108

PAYNE EARNEST B & BEATRICE W
P O BOX 1962
CORDOVA TN 38088

STRONG BYRON
121 FOREST HILL IRENE S
CORDOVA TN 38018

VOLLINTINE EVERGREEN COMMUNITY ASSOC
1680 JACKSON AVE
MEMPHIS TN 38107

CLARK KAREN
1814 HUNTER AVE
MEMPHIS TN 38108

THOMPSON ROMINITA M AND ROMINITIA M
2238 VOLLINTINE AVE
MEMPHIS TN 38108

DAVIS PARLEE & MINNIE WILSON
794 CHELSEA AVE
MEMPHIS TN 38107