

**CITY OF MEMPHIS  
COUNCIL AGENDA CHECK OFF SHEET**

**ONE ORIGINAL  
ONLY STAPLED  
TO DOCUMENTS**

**Planning & Development  
DIVISION**

**Planning & Zoning COMMITTEE: 05/18/2021**

*DATE*

**PUBLIC SESSION: 05/18/2021**

*DATE*

**ITEM (CHECK ONE)**

ORDINANCE      \_\_\_\_\_ CONDEMNATIONS      \_\_\_\_\_ GRANT ACCEPTANCE / AMENDMENT  
 \_\_\_\_\_ RESOLUTION      \_\_\_\_\_ GRANT APPLICATION       REQUEST FOR PUBLIC HEARING

\_\_\_\_\_ OTHER: \_\_\_\_\_

**ITEM DESCRIPTION:** An ordinance approving a new historic overlay district

**CASE NUMBER:** CTHD

**DEVELOPMENT:** Crosstown Historic Overlay District

**LOCATION:** Area roughly bound by Autumn Avenue to the North, North Claybrook Street to the East, Poplar Avenue to the South, and Interstate 240 to the West

**COUNCIL DISTRICTS:** District 7 and Super District 8 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Jennifer Amido and Crosstown Memphis Community Development Corporation

**REPRESENTATIVES:** Jennifer Amido and Anna Joy Tamayo

**EXISTING ZONING:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)

**REQUEST:** Historic (H) Overlay District

**AREA:** +/-81.30 acres

**RECOMMENDATION:** The Division of Planning and Development recommended *Approval*  
 The Memphis Landmarks Commission recommended *Approval*  
 The Land Use Control Board recommended *Approval*

**RECOMMENDED COUNCIL ACTION:** **Public Hearing Required**  
 Set a date for first reading – April 20, 2021  
 Adopt on third Reading – May 18, 2021

**PRIOR ACTION ON ITEM:**

(1) \_\_\_\_\_ APPROVAL - (1) APPROVED (2) DENIED  
 04/08/2021 \_\_\_\_\_ DATE  
 (1) Land Use Control Board \_\_\_\_\_ ORGANIZATION - (1) BOARD / COMMISSION  
 (2) GOV'T. ENTITY (3) COUNCIL COMMITTEE

**FUNDING:**

(2) \_\_\_\_\_ REQUIRES CITY EXPENDITURE - (1) YES (2) NO  
 \$ \_\_\_\_\_ AMOUNT OF EXPENDITURE  
 \$ \_\_\_\_\_ REVENUE TO BE RECEIVED

**SOURCE AND AMOUNT OF FUNDS**

\$ \_\_\_\_\_ OPERATING BUDGET  
 \$ \_\_\_\_\_ CIP PROJECT # \_\_\_\_\_  
 \$ \_\_\_\_\_ FEDERAL/STATE/OTHER

**ADMINISTRATIVE APPROVAL:**

	<u>DATE</u>	<u>POSITION</u>
_____	_____	MUNICIPAL PLANNER
_____	_____	DEPUTY ADMINISTRATOR
_____	_____	ADMINISTRATOR
_____	_____	DIRECTOR (JOINT APPROVAL)
_____	_____	COMPROLLER
_____	_____	FINANCE DIRECTOR
_____	_____	CITY ATTORNEY
_____	_____	<b>CHIEF ADMINISTRATIVE OFFICER</b>
_____	_____	<b>COMMITTEE CHAIRMAN</b>



## Memphis City Council Summary Sheet

### ***CTHD – Crosstown Historic Overlay District***

Zoning Ordinance approving establishment of a historic overlay district for the subject area roughly bound by Autumn Avenue to the North, North Claybrook Street to the East, Poplar Avenue to the South, and Interstate 240 to the West:

- This item is an ordinance for establishment of a Historic (H) Overlay District at the aforementioned location; and
- The Division of Planning & Development at the request of the Applicant(s): Jennifer Amido and Crosstown Memphis Community Development Corporation; and Representative(s): Jennifer Amido and Anna Joy Tamayo; and
- Approval of this establishment of historic overlay district will be reflected on the Memphis and Shelby Counting Zoning Atlas; and
- No contracts are affected by this item; and
- No expenditure of funds/budget amendments are required by this item.

**ORDINANCE NO: \_\_\_\_\_**

**ZONING ORDINANCE AMENDING ORDINANCE NO. 5367 OF THE CODE OF ORDINANCES, CITY OF MEMPHIS, TENNESSEE, ADOPTED ON AUGUST 10, 2010, AS AMENDED, KNOWN AS THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE, SO AS TO MAKE CERTAIN CHANGES IN THE USE DISTRICTS PROVIDED IN SAID ORDINANCE**

---

**WHEREAS**, a proposed amendment to the Memphis and Shelby County Unified Development Code, being Ordinance No. 5367 of the Code of Ordinances, City of Memphis, Tennessee, as amended, has been submitted to the Memphis and Shelby County Land Use Control Board for its recommendation, designated as **Case Number: CTHD**; and

**WHEREAS**, the Memphis Landmarks Commission and the Memphis and Shelby County Land Use Control Board has filed their recommendations and the Division of Planning and Development has filed its report and recommendation with the Council of the City of Memphis; and

**WHEREAS**, the Council of the City of Memphis has reviewed the aforementioned amendment pursuant to Tennessee Code Annotated Section 13-4-202(B)(2)(B)(iii) and has determined that said amendment is consistent with the Memphis 3.0 General Plan; and

**WHEREAS**, the provisions of the Code of Ordinances, City of Memphis, Tennessee, as amended, relating to the proposed amendment, have been complied with.

**NOW THEREFORE, BE IT ORDAINED, BY THE COUNCIL OF THE CITY OF MEMPHIS:**

**SECTION 1:**

**THAT**, the Memphis and Shelby County Unified Development Code, Ordinance No. 5367 of the Code of Ordinances, City of Memphis, as amended, be and the same hereby is amended with respect to Use Districts, as follows:

**BY TAKING THE FOLLOWING PROPERTIES OUT OF THE RESIDENTIAL SINGLE-FAMILY – 15 (R-15), RESIDENTIAL URBAN – 3 (RU-3), COMMERCIAL MIXED USE – 1 (CMU-1), AND COMMERCIAL MIXED USE – 3 (CMU-3) DISTRICTS AND INCLUDING THEM IN THE RESIDENTIAL SINGLE-FAMILY HISTORIC – 15 (R-15[H]), RESIDENTIAL URBAN HISTORIC – 3 (RU-3[H]), COMMERCIAL MIXED USE HISTORIC – 1 (CMU-1[H]), AND COMMERCIAL MIXED USE HISTORIC – 3 (CMU-3[H]) DISTRICTS.**

The following properties located in the City of Memphis, Tennessee being more particularly described as follows:

**BOUNDARY**

PROPERTIES GENERALLY BOUND BY AUTUMN AVENUE TO THE NORTH, NORTH CLAYBROOK STREET TO THE EAST, POPLAR AVENUE TO THE SOUTH, AND INTERSTATE 240 TO THE WEST AND AS ILLUSTRATED ON THE BOUNDARY MAP ATTACHMENT.

**SECTION 2:**

**THAT**, the Administrator of the Office of Planning and Development be, and is hereby directed to make the necessary changes in the Official Use District Maps to conform to the changes herein made; that all official maps and records of the Memphis and Shelby County Land Use Control Board and the City of Memphis be, and they hereby are, amended and changed so as to show the aforementioned amendment of the said Zoning Ordinance.

**SECTION 3:**

**THAT**, this ordinance take effect from and after the date it shall have been passed by the Council, signed by the Chairman of the Council, certified and delivered to the Office of the Mayor in writing by the comptroller, and become effective as otherwise provided by law.

**ATTEST:**

**CC: Division of Planning and Development**  
**– Land Use and Development Services**  
**– Office of Construction Code Enforcement**  
**Shelby County Assessor**

**//: ATTACHMENTS**

# HISTORIC (H) OVERLAY DISTRICT BOUNDARIES



## Legend

## Proposed Crosstown Historic District



Historic District Proposed Boundary



Parcels inside Proposed Historic District

## **LAND USE CONTROL BOARD RECOMMENDATION**

At its regular meeting on **Thursday, April 8, 2021**, the Memphis and Shelby County Land Use Control Board held a public hearing on the following application:

**CASE NUMBER:** CTHD

**LOCATION:** Area roughly bound by Autumn Avenue to the North, North Claybrook Street to the East, Poplar Avenue to the South, and Interstate 240 to the West

**COUNCIL DISTRICT(S):** District 7, Super District 8 – Positions 1, 2, and 3

**OWNER/APPLICANT:** Jennifer Amido and Crosstown Memphis Community Development Corporation

**REPRESENTATIVE:** Jennifer Amido and Anna Joy Tamayo

**REQUEST:** Historic (H) Overlay District

**EXISTING ZONING:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)

**AREA:** +/-81.30 acres

---

**The following spoke in support of the application:** None

**The following spoke in opposition of the application:** None

The Land Use Control Board reviewed the application and the staff report. A motion was made and seconded to recommend approval of the application.

**The motion passed by a unanimous vote of 10-0 on the consent agenda.**

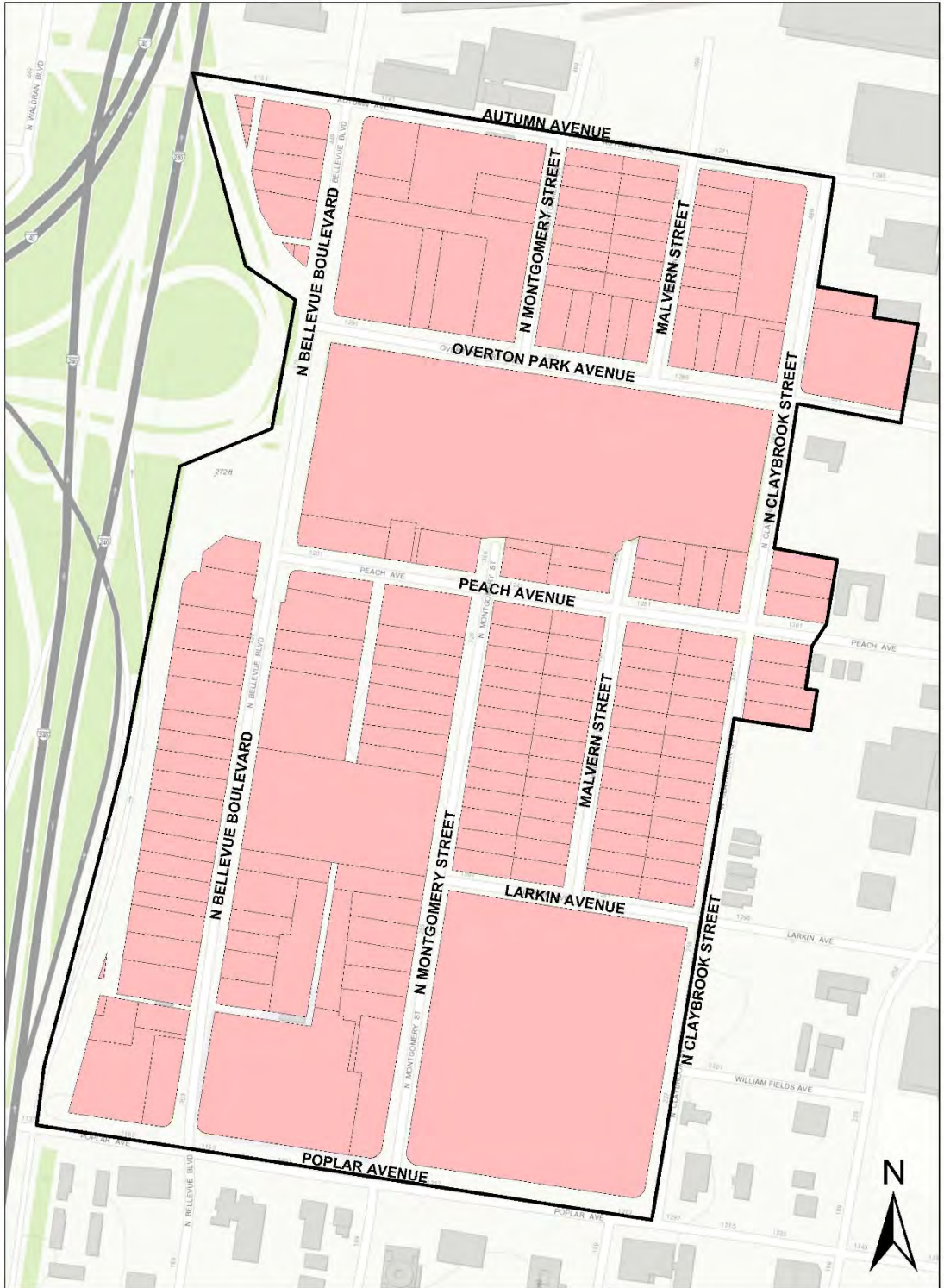
Respectfully,



Ayse Tezel  
Municipal Planner  
Land Use and Development Services  
Division of Planning and Development



Cc: Committee Members  
File

# HISTORIC (H) OVERLAY DISTRICT BOUNDARIES



**Proposed Crosstown Historic District**

**Legend**

-  Historic District Proposed Boundary
-  Parcels inside Proposed Historic District

AGENDA ITEM: 7

**CASE NUMBER:** CTHD Crosstown Historic District      **L.U.C.B. MEETING:** April 8, 2021  
**LOCATION:** Proposed boundaries are roughly Autumn Avenue to the North, North Claybrook Street to the East, Poplar Avenue to the South, and Interstate 240 to the West  
**COUNCIL DISTRICT:** District 7 and Super District 8 – Positions 1, 2, and 3  
**OWNER/APPLICANT:** Jennifer Amido & Crosstown Memphis Community Development Corporation  
**REPRESENTATIVE:** Jennifer Amido & Anna Joy Tamayo, President of the Crosstown Memphis CDC  
**REQUEST:** Designation of a new Historic (H) Overlay District  
**AREA:** +/-81.3 acres  
**EXISTING ZONING:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)

## CONCLUSIONS

1. The request is to create a historic overlay district of the Crosstown neighborhood, an area of +/-81.3 acres comprised of one hundred and eighty-eight (188) parcels. The applicants are proposing the creation of the historic overlay district with the design guidelines that were approved by the Memphis Landmarks Commission on November 19, 2020 to apply within the proposed Crosstown Historic District which will include multiple single-family and multi-family residential, commercial, and institutional properties.
2. The design guidelines approved by the Memphis Landmarks Commission on November 19, 2020 will be used by the Memphis Landmarks Commission and the Division of Planning and Development staff to review projects such as new construction, demolitions, relocations, exterior alterations, and site improvements within the proposed historic district boundaries.
3. This application was held in abeyance for one month at the March 11, 2021 Land Use Control Board meeting per the applicant's request. The applicant, the Division of Housing and Community Development (HCD), and the Crosstown Mound Development Group conducted a series of meetings that focused on the Mound property, the area east of Belvedere Boulevard and south of Overton Park Avenue, originally intended to support expressway ramps, and the planned development that is being proposed for this area. HCD Director Young provided a letter explaining the discussions and the solution that is formed as result of these meetings (see pages 2 and 3 of the staff report), a legal review of this solution was subsequently obtained, stating that the proposed solution is inconsistent with the state law (see pages 4, 5, and 6 of the staff report). Consequently, HCD Director Young provided a second letter, requesting the exclusion of the Mound property (see pages 7 and 8 of the staff report). The applicant also submitted a response letter to Director Young's renewed request letter (see page 9 of the staff report). Director Young then provided a response to the applicant's comments (see page 10 of the staff report).

## CONSISTENCY WITH MEMPHIS 3.0

Not Applicable - The Memphis 3.0 Plan does not make recommendations related to the creation of historic overlay districts.

## RECOMMENDATION

*Approval*



**Director Young's Initial Request**



**JIM STRICKLAND  
MAYOR**

**DIVISION OF HOUSING &  
COMMUNITY DEVELOPMENT**

February 2, 2021

John Zeanah  
Director  
Memphis & Shelby County Division of Planning & Development  
125 N. Main Street, Suite 443  
Memphis, TN 38103

Re: NHD 20-001 – Crosstown Historic District

Dear Director Zeanah:

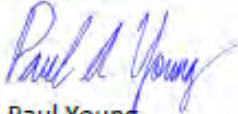
The City of Memphis Division of Housing and Community Development (HCD) desires to retract our letter submitted November 24, 2020 requesting exclusion of the 9.692-acre parcel located at the southeast corner of Bellevue Boulevard and Overton Park Avenue known as "Crosstown Mound" from the proposed Crosstown Historic District. By means of this letter, HCD tenders a new request for the treatment of the Crosstown Mound in relation to the Crosstown Historic District.

This new proposal has been developed after HCD convened three virtual meetings with the Crosstown neighborhood stakeholders (Crosstown Historic District Applicant) and the Crosstown Mound development team. The hour-long meetings were held on January 11<sup>th</sup>, January 19<sup>th</sup>, and February 2, 2021 at 3:00pm. During this series of discussions, all parties had an opportunity to talk through concerns regarding the Crosstown Mound design and the potential challenges to the development process that the historic district designation could present. As a result, HCD would like to propose the following approach.

The 9-acre Crosstown Mound site would be initially excluded from the Crosstown Historic District. Upon completion of final project plans by the development team, the site would go through the Planned Development (PD) process. In addition to the usual design information provided as part of the normal PD process, the architect for the development team would provide a library of design elements to be utilized for all proposed structures. After the public meeting for the PD process, but before approval of the PD application by the Land Use Control Board and City Council, the Crosstown Mound development team will make a presentation on their design plans to the Landmarks Committee for comments. As each structure is completed and its Certificate of Occupancy issued, that structure will automatically become a part of the historic district. Once all structures planned for the Crosstown Mound are completed, the entire Mound would officially become part of the historic district.

This request has been made after numerous discussions with stakeholders, and I believe that this will address the major concerns noted from each party. HCD will continue to work with all parties in order to ensure that the Crosstown Mound development is a source of pride for the community and the development team. We thank the applicant, Crosstown Neighborhood stakeholders, and the development team for their engagement, effort, time, and creativity working towards this outcome. If you have questions or need additional information, please do not hesitate to contact me at (901) 636-7308 or [paul.young@memphistn.gov](mailto:paul.young@memphistn.gov).

Sincerely,



Paul Young  
Director

cc: Josh Whitehead, Administrator, Office of Planning & Development  
Mairi Albertson, Deputy Director, HCD

**Legal Opinion Regarding Director Young's Initial Request**

**MEMORANDUM**

**TO:** Josh Whitehead, Administrator, Land Use Devel. Services  
Ayse Tezel, Planner, Land Use Development Services

**FROM:** Robert B. Rolwing, Assistant Shelby County Attorney

**DATE:** March 5, 2021

**RE:** Landmarks Review of Planned Developments

**ISSUE:** Is construction in a planned development that lies within a historic overlay district subject to review by the Landmarks Commission?

**ANSWER:** Yes. Landmarks Commission review applies to construction in a planned development located within a historic overlay district. A condition purporting to preclude Landmarks review would not be lawful.

**ANALYSIS:**

**I. State historic zoning law.** State law on historic zoning provides that “[a]ll applications for permits for construction, alteration, repair, rehabilitation, relocation or demolition of any building, structure or other improvement to real estate situated within a historic zone or district shall be referred to the historic zoning commission,” which in Memphis is called the Landmarks Commission. The law also allows the local government to include review for construction that does not require a permit. T.C.A. §13-7-407(a).

No such “improvement to real estate situated within a historic district or zone, for which the historic zoning commission or regional historic zoning commission has been granted the authority to review and to grant or deny a certificate of appropriateness, shall be performed without the issuance of a certificate of appropriateness.” T.C.A. §13-7-407(a). Under state law, then, Landmarks Commission review is mandatory within a historic district.

**II. Planned developments may not exempted.** Local governments derive their zoning authority over private property from the state legislature. Local governments must “exercise their delegated power consistently with the delegation statutes from which they derive their power.”

Josh Whitehead  
Ayse Tezel  
March 5, 2021  
Page Two

*421 Corporation v. Metro. Gov't*, 36 S.W.3d 469, 475-476 (Tenn.App. 2000),  
*permission to appeal to the Tenn. Supreme Court denied.*

The Memphis and Shelby County Unified Development Code authorizes the Land Use Control Board and the governing bodies to “establish standards and procedures for planned developments,” i.e., conditions, apart from the parcel’s zoning, in order “to facilitate the use of flexible techniques of land development and site design, by providing relief from [zoning] district requirements designed for conventional developments.” UDC §§ 4.10.2; 9.6.8(B).

But state historic-zoning law makes clear that, once established, historic-zoning review supersedes any local zoning procedure or regulation to the contrary:

(b) A historic district or zone may be superimposed on other districts or zones, including the zoning maps, established by any other zoning ordinance or regulation, whether established before or after the establishment of a historic district or zone.

(c) The permitted or prohibited property uses, the zoning procedures and other regulations otherwise applicable within a historic district or zone under the provisions of any other zoning ordinance or regulation shall apply to a historic district or zone, except when in conflict with this part or any ordinance or regulation adopted pursuant to this part, but in the event of such conflict, this part and any ordinance or regulation adopted pursuant to this part shall control.

T.C.A. § 13-7-402. In the case of historic districts, then, state law mandates (“shall”) Landmarks review of construction within a historic district. No condition to a planned development may lawfully override that state law requirement.

The provision in state law, that where there is a conflict between zoning done pursuant to state law and zoning done pursuant to a private act (a state law that applies only to one city or county), then the private act prevails, is not applicable. T.C.A. §13-7-210. That law specifies that it applies only to certain parts of the state code, and the historic-zoning law is

Josh Whitehead  
Ayse Tezel  
March 5, 2021  
Page Three

not one of those. I raise the point because that law has been key in litigating other conflicts between our local zoning and state zoning law. *See esp. Prime Locations v. Shelby County and City of Memphis*, Circuit Court No. CT-006449-04 (2010, Judge Stokes)(upholding local regulation of nonconforming billboards), *affirmed on other grounds* by the Tennessee Court of Appeals (2011).

**III. Alternatives to review by the Landmarks Commission.** The applicants, neighbors, and you, have already identified the grounds for by-passing Landmarks review of development at the Crosstown Mound, the area cleared out years ago in anticipation of I-40 construction, and which lies within the proposed Crosstown Historic District. The first and simplest alternative is, of course, not to include the Crosstown Mound in the historic district.

The second alternative is to exclude Crosstown Mound now, at the creation of the historic district, with the expectation of bringing it into the district after construction has begun or is completed. Bringing the Mound into the district would require an ordinance by City Council at some later date, to amend the proposed Crosstown Historic District Overlay ordinance that is before the Land Use Control Board now.

A third alternative is to exclude the Mound now, but bring each parcel into the district after construction is complete. This alternative is lawful but presents practical difficulties. Once a district is established by ordinance, then it may be amended only by ordinance. This alternative would thus require numerous and repeated amending ordinances in the future, as construction progresses at Crosstown Mound.

A fourth alternative is to place a condition on any planned development at the Crosstown Mound that the developer(s) must submit application for inclusion in the historic district at some specified point in the future. That condition would be lawful, but would not bind the future City Council on whether to amend the historic district boundary to include the Crosstown Mound.

Please let me know if I may be of further assistance.

**Director Young's Renewed Request**



**JIM STRICKLAND  
MAYOR**

**DIVISION OF HOUSING &  
COMMUNITY DEVELOPMENT**

March 11, 2021

John Zeanah  
Director  
Memphis & Shelby County Division of Planning & Development  
125 N. Main Street, Suite 443  
Memphis, TN 38103

Re: NHD 20-001 – Crosstown Historic District

Dear Director Zeanah:

The City of Memphis Division of Housing and Community Development (HCD) hereby renews our request to exclude the 9.692-acre parcel located at the southeast corner of Bellevue Boulevard and Overton Park Avenue known as “Crosstown Mound” from the proposed Crosstown Historic District. This letter shall replace all prior communication from HCD on this matter.

A series of meetings convened by HCD between the Crosstown neighborhood stakeholders (Crosstown Historic District Applicant) and the Crosstown Mound development team resulted in an agreement that the Crosstown Mound site would be developed and approved using the normal City/County Planned Development (PD) process. The development team also agreed to provide a library of design elements which will be compatible with the historic characteristics of the Crosstown neighborhood and which will be utilized for all proposed structures. The developers also agreed to provide the Crosstown neighborhood stakeholders with a level of communication above that required by the normal PD process, including providing the design library and information in advance of the required public meeting, and to provide a courtesy presentation to the Memphis Landmarks Commission (MLC). The parties agreed to this approach with the understanding that, once new construction on the Crosstown Mound is completed and occupied, the Crosstown Mound would become part of the Crosstown Historic Overlay.

It is HCD's understanding that Tennessee state law will not allow for any kind of hybrid planned development-landmarks process because state law directs primary authority over any property within a local historic district to the Memphis Landmarks Commission. The only way for the Land Use Control Board to have primary authority over the Crosstown Mound and for the normal PD process to occur is to completely exclude the site from the Crosstown Historic Overlay. Therefore, HCD requests that the Crosstown Mound be so excluded.

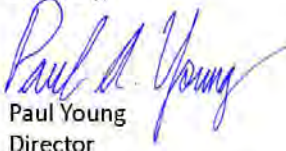
HCD still plans to honor the solution agreed to by the neighborhood and development team. At an appropriate time once the redevelopment's construction is complete, HCD intends to join the Crosstown neighborhood stakeholders in seeking a City ordinance to amend the Crosstown Historic Overlay to

Director John Zeanah  
March 8, 2021  
Page 2

explicitly include the entire Crosstown Mound site. HCD believes that the development team will also support this amendment.

HCD believes that this approach – excluding Crosstown Mound from the Crosstown Historic Overlay at this time and seeking a future amendment by the City Council to add Crosstown Mound to the historic district – is in the best interest of the Crosstown neighborhood and will best serve to promote sorely needed infill development within the City. HCD continues to thank the applicant, Crosstown Neighborhood stakeholders, the development team, and your office for all the effort to identify a mutually beneficial outcome within the confines of state law. If you have questions or need additional information, please do not hesitate to contact me at (901) 636-7308 or [paul.young@memphistn.gov](mailto:paul.young@memphistn.gov).

Sincerely,



Paul Young  
Director

cc: Josh Whitehead, Administrator, Office of Planning & Development  
Jennifer Amido, Crosstown Neighborhood Association  
Todd Richardson, Crosstown Redevelopment Cooperative  
Eddie Kircher, Eddie Kircher Construction Company LLC

## Applicant's Response to Director Young's Renewed Request

---

**From:** Jennifer Amido <jenniferamido@gmail.com>

**Sent:** Monday, March 22, 2021 4:51 PM

**To:** Young, Paul <Paul.Young@memphistn.gov>

**Cc:** Zeanah, John <John.Zeanah@memphistn.gov>; Albertson, Mairi <Mairi.Albertson@memphistn.gov>; Jackson, Lindsay <Lindsay.Jackson@memphistn.gov>; Borys, Mary <Mary.Borys@memphistn.gov>; todd@crosstownconcourse.com; Eddie Kircher <eddie@kircherllc.com>; Whitehead, Josh <Josh.Whitehead@memphistn.gov>; Anna Joy Tamayo <anna@crosstownmemphiscdc.com>

**Subject:** Re: Crosstown Mound Letter

**CAUTION:** This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Good Afternoon,

I apologize for the late response, we had to meet together with Crosstown neighbors and inform the CDC, and this was all during spring break week.

Based on the feedback we have gotten, we are not interested in excluding the Crosstown Mound from the overlay.

We were interested in a hybrid model, however with completely removing the Mound at this time and leaving it up to future homeowners on the Mound, future City Council members, and future staff at HCD, there is too much at stake for our community.

We did see the City re-closed on the property on Jan. 28th paying the appraised amount, and with some of the binding conditions removed. However, an LLC has not been formed yet by the Crosstown Development group, nor have we seen a public Notice of Intent to Award to the developers for the RFP by the City.

We much appreciate the conversations over the past 4 months, and look forward to continuing the discussion and dialogue.

-Jennifer



**Director Young's Response to the Applicant**

**From:** "Young, Paul" <Paul.Young@memphistn.gov>  
**Date:** March 23, 2021 at 9:31:02 AM CDT  
**To:** Jennifer Amido <jenniferamido@gmail.com>  
**Cc:** "Zeanah, John" <John.Zeanah@memphistn.gov>, "Albertson, Mairi" <Mairi.Albertson@memphistn.gov>, "Jackson, Lindsay" <Lindsay.Jackson@memphistn.gov>, "Borys, Mary" <Mary.Borys@memphistn.gov>, todd@crosstownconcourse.com, Eddie Kircher <eddie@kircherllc.com>, "Whitehead, Josh" <Josh.Whitehead@memphistn.gov>, Anna Joy Tamayo <anna@crosstownmemphiscdc.com>  
**Subject: RE: Crosstown Mound Letter**

Thanks for your feedback, Jennifer. While I do understand your position, the City will not retract the letter that we have submitted to Planning and Development. We plan to request that the Mound is excluded from the District and we will propose the scenario as laid out in the letter as a means to address the neighbors concerns. Given that the letter documents the intent of the neighborhood and the Administration, we do believe that there will be support for future City Administration and Council members to include the Mound in the future. We will also explore whether there may be some means for us to have legislative bodies approve the inclusion of the Mound now, for some date certain in the future. This may not be legally feasible though.

To your last point, not sure what you saw from Jan 28<sup>th</sup>, but the City has not closed on the property with the State yet. I know that for a fact because our team is still finalizing what funds we will use to pay for the property. That will likely happen in late Spring, early summer. I believe the Notice for Intent to Award was completed in late 2019, and we are currently finalizing a Letter of Intent for the Development Team. Mary Claire Borys can correct me if I am wrong.

I am certainly open for another conversation with you and your team if you would like to discuss further.

Paul A. Young  
Director, Division of Housing & Community Development  
City of Memphis  
170 North Main Street, 3<sup>rd</sup> Floor  
Memphis, TN 38103

**GENERAL INFORMATION**

**Zoning Atlas Page:** 1930 and 2030

**Parcel ID:** See the attached list of parcels within the district on pages 61 to 68.

**Existing Zoning:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)

**PUBLIC NOTICE**

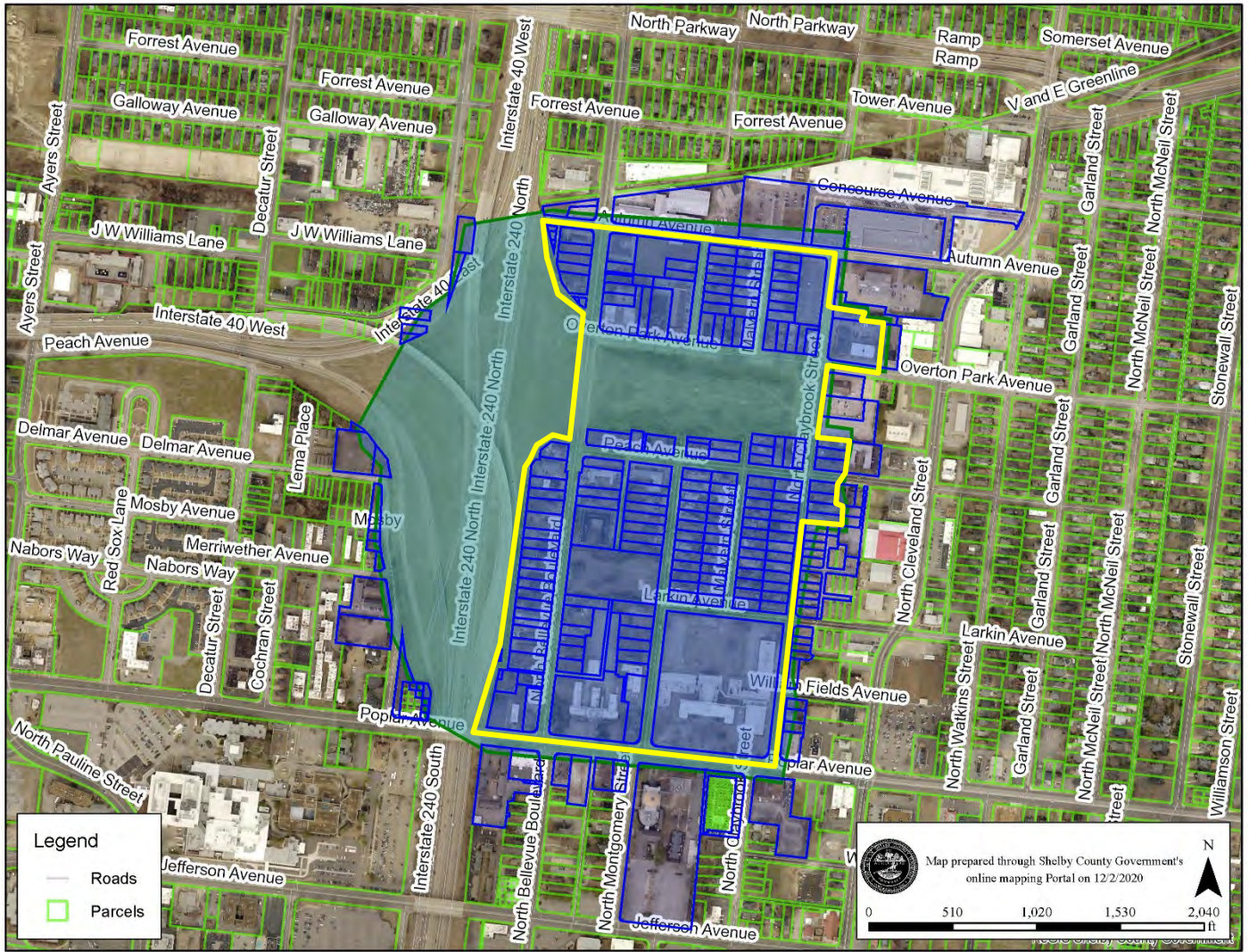
In accordance with Sub-Section 9.3.4A of the Unified Development Code, a notice of public hearing is required to be mailed and signs posted. A total of 260 notices were mailed on November 25, 2020, and a total of 4 signs posted at the subject property. The sign affidavit has been added to this report.

**LOCATION MAP**



Subject area located within the pink circle

VICINITY MAP



Subject area outlined in yellow

**BOUNDARY MAP**



**Proposed Crosstown Historic District**

**Legend**



Historic District Proposed Boundary



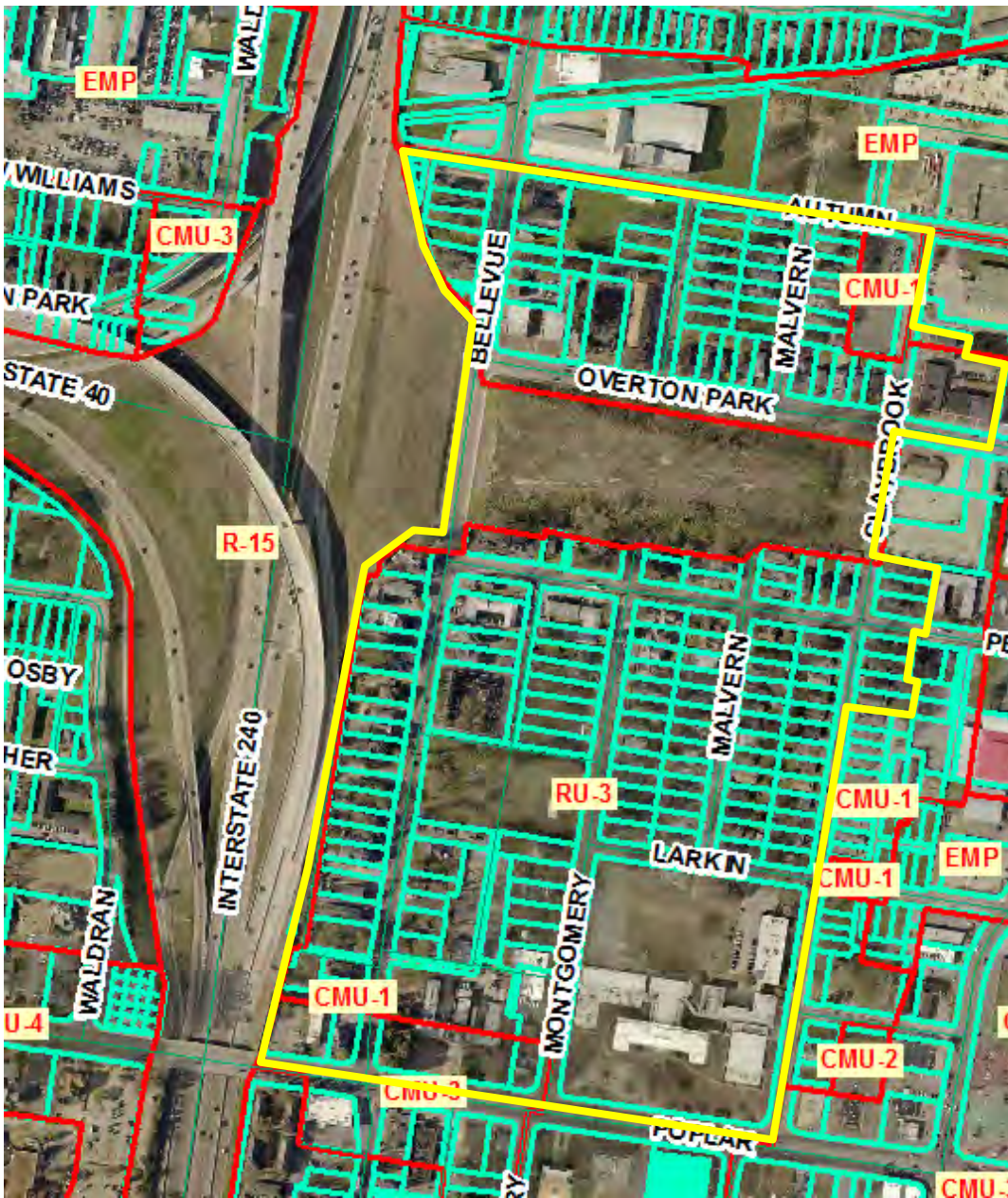
Parcels inside Proposed Historic District

**AERIAL**



Subject area outlined in yellow, imagery from 2020

**ZONING MAP**



Subject area outlined in yellow

**Existing Zoning:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)

**Surrounding Zoning**

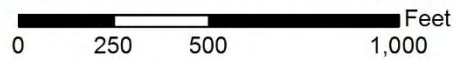
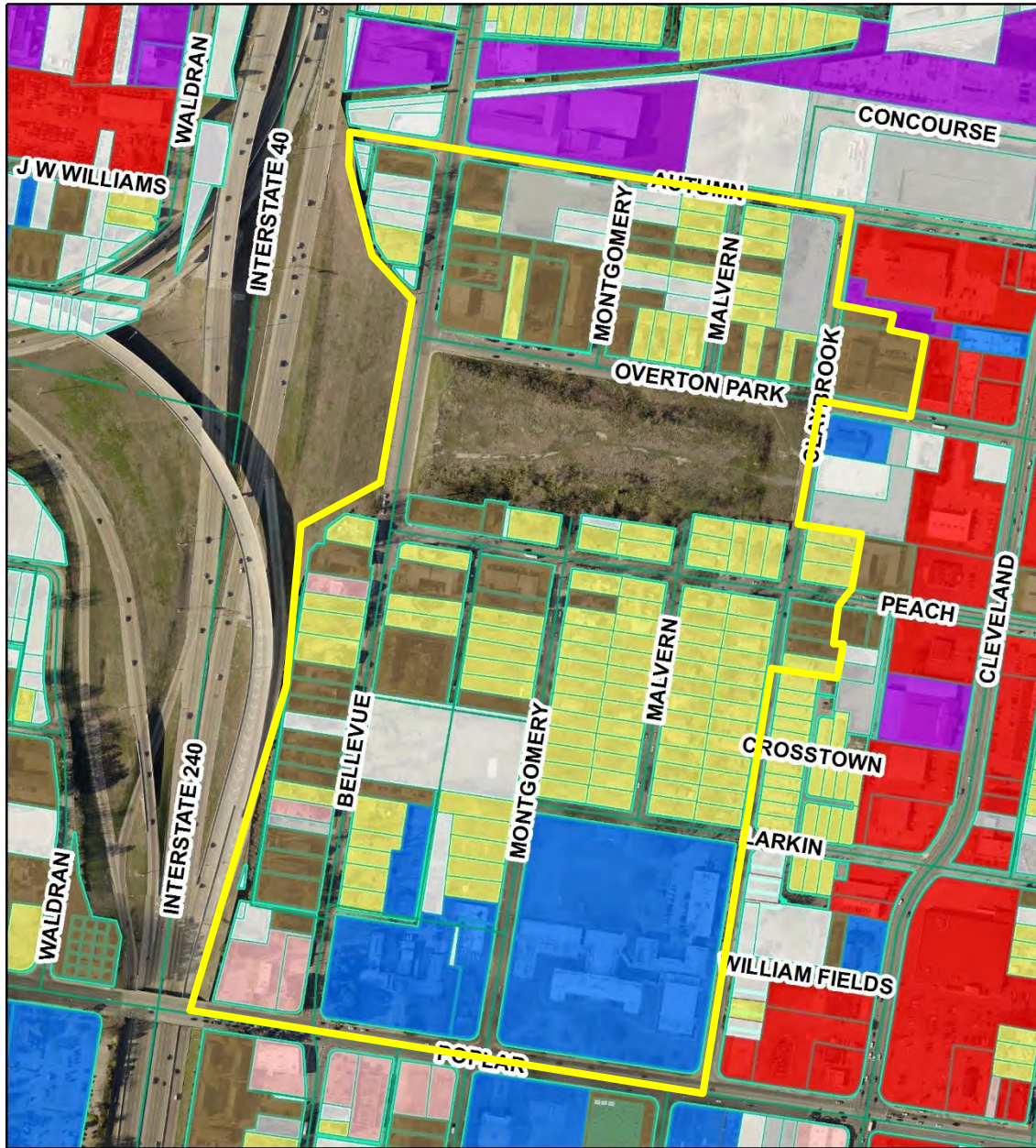
**North:** Employment (EMP)

**East:** Commercial Mixed Use – 1 (CMU-1), Commercial Mixed Use – 2 (CMU-2), and Commercial Mixed Use – 3 (CMU-3)










**South:** Residential Urban – 3 (RU-3) and Commercial Mixed Use – 3 (CMU-3)

**West:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Residential Urban – 4 (RU-4), Commercial Mixed Use – 3 (CMU-3), and Employment (EMP)

LAND USE MAP



LandUse

 SINGLE-FAMILY	 OFFICE
 MULTI-FAMILY	 INDUSTRIAL
 INSTITUTIONAL	 PARKING
 COMMERCIAL	 VACANT
 RECREATIONAL / OPEN SPACE	



Subject area outlined in yellow



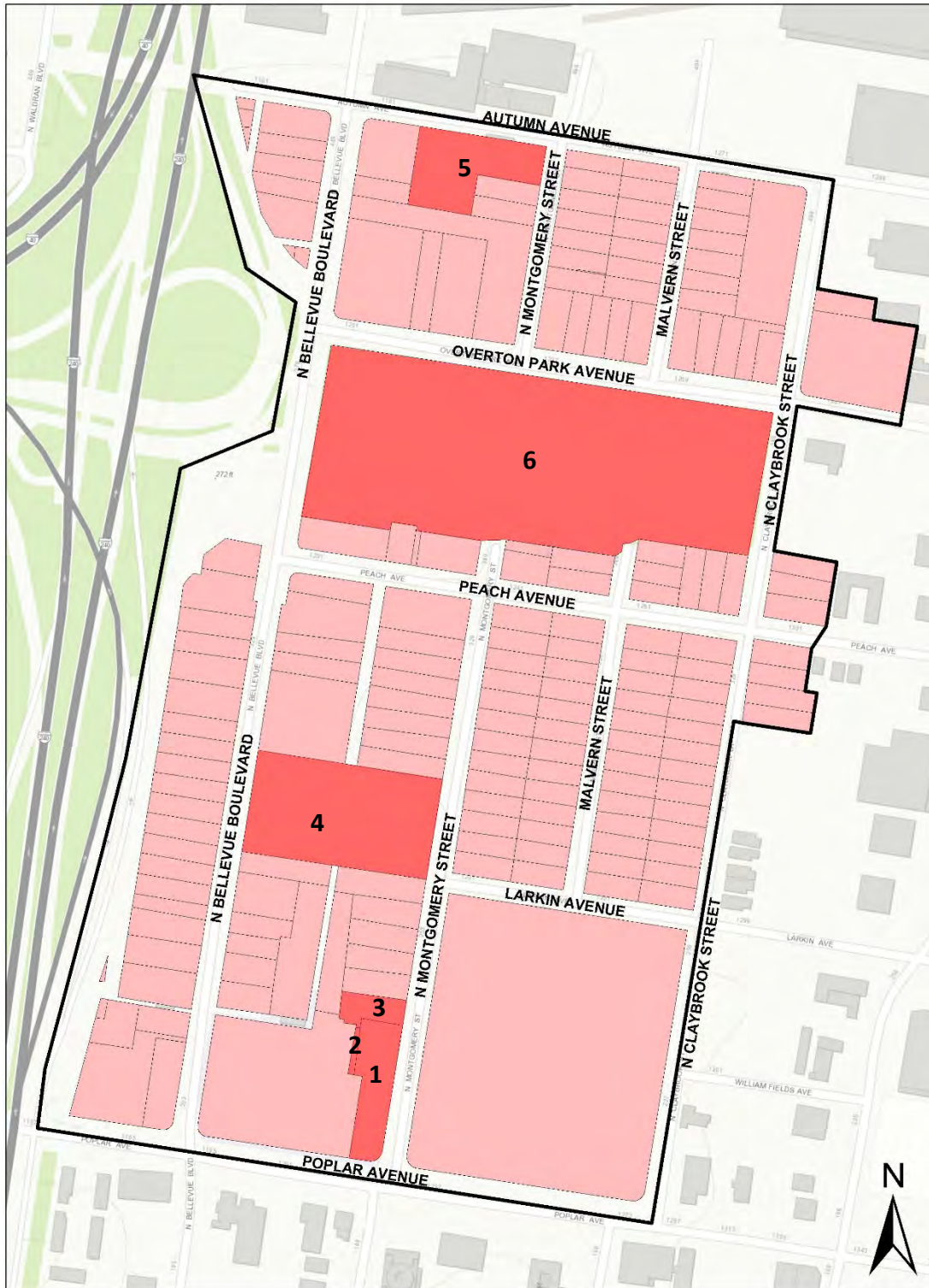
**MAP OF EXISTING HISTORIC OVERLAY DISTRICTS**



**LIST OF EXISTING HISTORIC OVERLAY DISTRICTS AND NUMBER OF PARCELS**

- Annesdale Park – 165
- Annesdale-Snowden – 204
- Central Gardens – 1,761
- Collins Chapel – 5
- Cooper-Young – 1,601
- Cotton Row – 108
- Evergreen – 1,722
- Gayoso-Peabody – 89
- Glenview – 983
- Lea's Woods – 261
- Maxwellton – 1
- Rozelle-Annesdale – 768
- South Main Street – 198
- Speedway Terrace – 378
- Victorian Village – 29
- Withers Home – 1
- **Total Number of Parcels – 8,274**

**PARCELS REQUESTED TO BE EXCLUDED FROM THE PROPOSED DISTRICT BOUNDARIES**




**Proposed Crosstown Historic District**

**Legend**

 Historic District Proposed Boundary

 Parcels inside Proposed Historic District

 Parcels requested to be excluded from the Proposed District

## **AREA PHOTOS**

Please see pages 29 through 59 of the staff report for photos that are included in the application and the design guidelines depicting various structures within the proposed district.

## **STAFF ANALYSIS**

### **Request**

The application has been added to this report. See pages 29 to 59 of this staff report for the application.

Designation of a new Historic (H) Overlay District of an area of 81.3 acres which contains 188 parcels with Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3) zoning.

### **Review Criteria**

Staff agrees the review criteria as set out in Sub-Section 9.5.7B and Sub-Section 8.6.2E of the Unified Development Code are met.

#### *9.5.7B Review Criteria*

*In making recommendations, the Land Use Control Board shall consider the following matters:*

- 9.5.7B(1) Consistency with any plans to be considered (see Chapter 1.9);*
- 9.5.7B(2) Compatibility with the present zoning (including any residential corridor overlay district) and conforming uses of nearby property and with the character of the neighborhood;*
- 9.5.7B(3) Suitability of the subject property for uses permitted by the current versus the proposed district;*
- 9.5.7B(4) Whether the proposed change tends to improve the balance of uses, or meets a specific demand in the City or County; and*
- 9.5.7B(5) The availability of adequate police services, fire services, school, road, park, wastewater treatment, water supply and stormwater drainage facilities for the proposed zoning.*

#### *8.6.2E Criteria for Designation*

*Any use permitted in the underlying zoning district shall also be permitted in a Historic Overlay District. In addition to the zoning change criteria (see Chapter 9.5, Zoning Change), an application for a Historic Overlay District zoning change shall meet one or more of the following criteria, in that they are:*

- 8.6.2E(1) Associated with events which have made a significant contribution to local, state or national history; or*
- 8.6.2E(2) Associated with persons significant in our past; or*
- 8.6.2E(3) Comprised of structures or groups of structures that embody the distinctive characteristics of a type, period, or method of construction; or that represent the work of a master or possess high artistic values; or that represent a significant and distinguishable entity whose components may lack individual distinction; or*
- 8.6.2E(4) Likely to yield archaeological information; or*
- 8.6.2E(5) Listed in the National Register of Historic Places.*

### **Site Description**

The subject area is +/-81.3 acres and comprised of one hundred and eighty-eight (188) parcels. The area includes multiple single-family and multi-family residential, commercial, and institutional properties and includes the Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3) zoning districts.

### **Conclusions**

The request is to create a historic overlay district of the Crosstown neighborhood, an area of +/-81.3 acres comprised of one hundred and eighty-eight (188) parcels. The applicants are proposing the creation of the historic overlay district with the design guidelines that are approved by the Memphis Landmarks Commission on November 19, 2020 to apply within the proposed Crosstown Historic District which will include multiple single-family and multi-family residential, commercial, and institutional properties.

If approved, Crosstown will be an addition to the existing sixteen (16) local historic districts within the City of Memphis, seven (7) of which are located within the parkway system as this new district would be as well. This will bring the total number of properties in the city that are within the historic overlay districts from eight thousand two hundred and seventy-four (8,274) to eight thousand four hundred and ninety-two (8,492).

The design guidelines approved by the Memphis Landmarks Commission on November 19, 2020 will be used by the Memphis Landmarks Commission and the Land Use and Development Services staff to review projects such as new construction, demolitions, relocations, exterior alterations, and site improvements within the established historic district boundaries and to issue Certificates of Appropriateness with the intent to preserve properties with historical, cultural, architectural, and geographic significance and to promote historic preservation within the City of Memphis. See pages 37 to 59 of this staff report for the Crosstown Design Guidelines.

A total of six (6) parcels are requested to be excluded from the proposed historic district boundaries, and see below for the list of parcel numbers and owners. See page 19 of this staff report for the map showing these properties, and see pages 91 to 99 for the letters that relay these requests.

1. 020005 00018 – Memphis Recovery Centers Inc.
2. 020005 00045 – Memphis Recovery Centers Inc.
3. 020005 00039 – Memphis Recovery Centers Inc.
4. 020005 00011 – Memphis Recovery Centers Inc.
5. 020003 00002 – Tennison Bros Inc.
6. Vacant land known as Crosstown Mound

### **RECOMMENDATION**

Staff recommends approval.

**DEPARTMENTAL COMMENTS**

The following comments were provided by agencies to which this application was referred:

**City/County Engineer:** City Engineering has no comments.

**City/County Fire Division:** No comments received.

**City Real Estate:** No comments received.

**City/County Health Department:** No comments received.

**Shelby County Schools:** No comments received.

**Construction Code Enforcement:** No comments received.

**Memphis Light, Gas and Water:** No comments received.

**Office of Sustainability and Resilience:** No comments received.

MEMPHIS LANDMARKS COMMISSION LETTER TO THE APPLICANT



December 1, 2020

Dear Sir/Madam,

Congratulations- on Thursday, November 19<sup>th</sup>, 2020 the Memphis Landmarks Commission approved your application to designate residential properties to be included in a Historic (H) Overlay District as illustrated on the boundary map and adopted the attached design guidelines to apply within the district.

A final draft copy shall be sent to this office for forwarding to the Memphis & Shelby County Land Use Control Board for consideration. The final draft copy shall include and list any proposed amendments to the design review guidelines for the district and/or boundary map.

If you have any objections, please be aware you have sixty (60) days to discuss alternatives with staff or if you need to make any changes to the design guidelines, please contact us by phone at (901) 636-6619. Thank you in advance for your cooperation in this matter.

Sincerely,

Brett Ragsdale  
Executive Secretary

Enclosures  
cc: File

**APPLICATION**



**APPLICATION  
FOR THE CREATION OF A  
HISTORIC OVERLAY DISTRICT**  
*(Application for inclusion in the jurisdiction  
of the Memphis Landmarks Commission)*

**NAME OF PROPOSED DISTRICT:** Crosstown Historic District  
Jennifer M Amido

**APPLICANT:** \_\_\_\_\_  
297 N Montgomery St  
**ADDRESS:** \_\_\_\_\_  
901-619-1764 JenniferAmido@gmail.com  
**PHONE:** \_\_\_\_\_ **EMAIL:** \_\_\_\_\_

**ADDITIONAL APPLICANT (if applicable):**  
Crosstown Community Development Corporation  
\_\_\_\_\_  
**ADDRESS:** \_\_\_\_\_ info@crosstownmemphiscdc.com  
**PHONE:** \_\_\_\_\_ **EMAIL:** \_\_\_\_\_

**CLASSIFICATION (check one):**  
SINGLE BUILDING OR SITE   
MULTIPLE BUILDINGS OR SITES

**APPLICANT SIGNATURE:** Jennifer M Amido **DATE:** 8/11/2020

### APPLICATION CHECKLIST

- Historic Overlay District Application (the first two pages of this form)
- Map of Proposed District (including boundary of district, parcel lines, streets, railroads and natural waterways)
- List of All Parcel Numbers within the Proposed District
- 3 Sets of Envelopes with First Class Postage and Mailing Labels for all Property Owners within the Proposed District
- 10-24 Color Photos Showing Representative Properties within the Proposed District
- One Copy of the Design Review Guidelines for the Proposed District
- Evidence of Two Neighborhood Hearings (see Sec. V.B(2) of the Commission's Bylaws)
- Signs (these shall not be filed with the application but instead shall be posted by the applicant no later than ten days prior to the Landmarks Commission meeting)

**PHYSICAL DESCRIPTION OF PROPERTY** (please include additional pages if needed):  
Please see attached PDF

**STATEMENT OF HISTORICAL SIGNIFICANCE** (please include additional pages if needed):  
Please see attached PDF

Date (or period) of Construction: 1890s-1925

Prominent Architect(s)/ Builder(s):

The wide variety of architectural styles, including cornice moldings and friezes, and the characteristic use of such details as the pediment, bay windows, porch canopies, and window grilles. This building exemplifies the style, materials, siting, and window design, with many features characteristic of a wide range of styles. (Preserved styles also include Colonial Revival, Chateau, Mediterranean, Prairie, Queen Anne, and Shingle)





### Proposed Crosstown Historic District

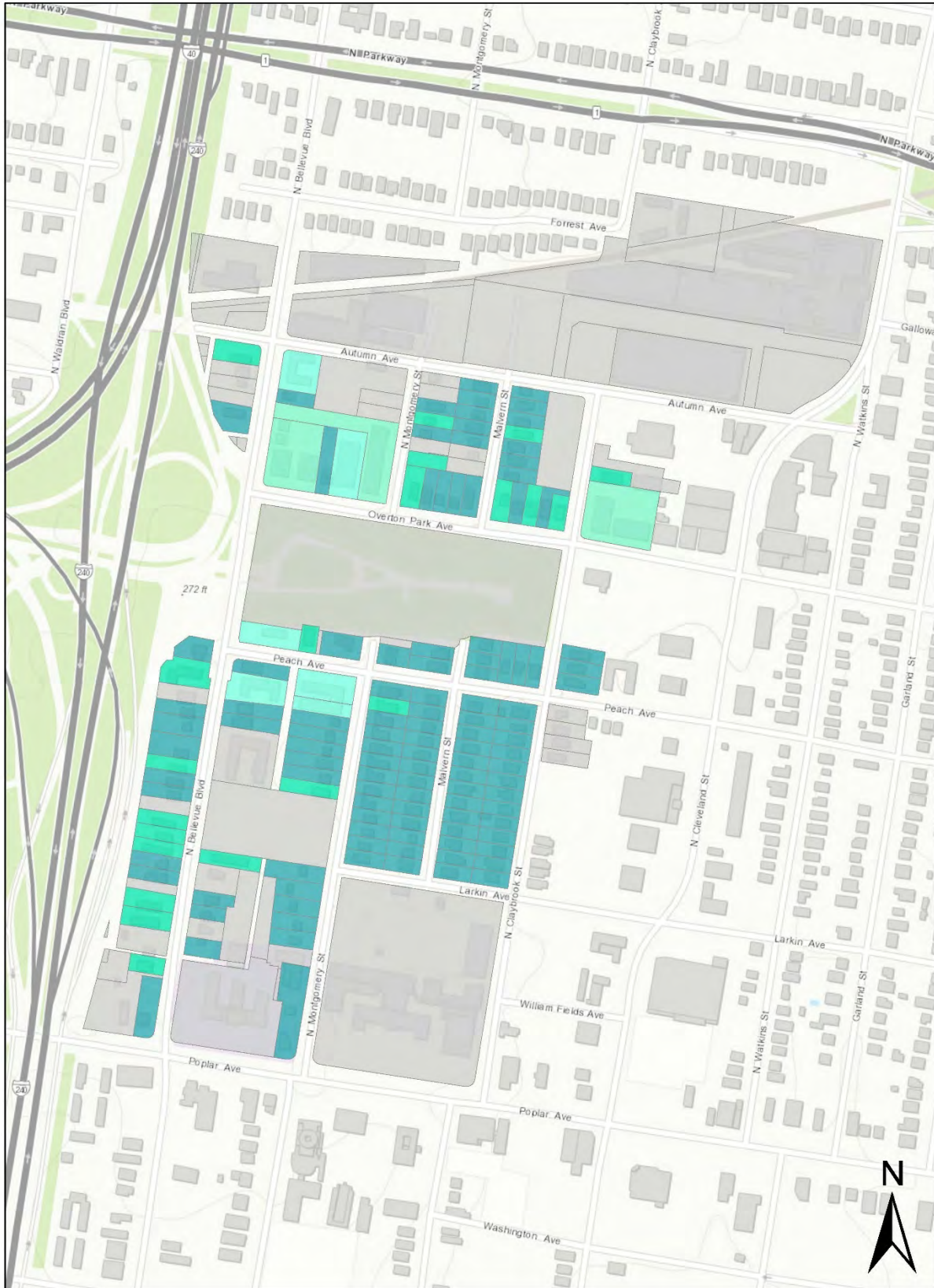
#### Legend



Historic District Proposed Boundary



Parcels inside Proposed Historic District



**Proposed Crosstown Historic District**

**Legend**

<b>Living Units</b>	Single Family	10 to 20
Other	2 to 9	More than 20

**Notes:**

**PHYSICAL DESCRIPTION OF PROPERTY (please include additional pages if needed):**

The proposed Crosstown Historic District Neighborhood is composed of approximately 12 blocks, 134 structures and 90.68 acres in Midtown Memphis. The great majority of the structures are single-family residences built between 1890's-1923; the area also contains multifamily dwelling units built later in the 1970s, schools, and some commercial. Crosstown Historic District is significant for its architecture, geographical location, community, and historical significance.

In architectural style, the neighborhood reflects characterizations of early twentieth century middle-class Memphians. The wide variety of architectural styles work well because of uniform setbacks, cornice heights and massing, and the characteristic use of such details as front porches, bay windows, porte cocheres, and leaded glass. The building materials include brick, limestone, stucco, clapboard, and wooden shingles, with many houses constructed of a mix of two or three of these. The original workmanship is of a consistently high quality, and the detailing is extremely rich and well-conceived. Most houses in the proposed Crosstown Historic District Neighborhood are the foursquare and bungalow, with a great diversity of neoclassical on Bellevue. Principal styles also include Colonial Revival, Craftsman, Mediterranean, Prairie, Queen Anne, and Shingle. In addition to the historical homes, Crosstown contains Northwest Prep Academy (formerly Memphis Tech High School) with its historically remarkable neoclassical design, the Landmarked Crosstown Concourse (formerly Sears Roebuck & Co Crosstown Building) designed by Nimmons & Co. and Looney Ricks Kiss (now Crosstown Concourse).

**STATEMENT OF HISTORICAL SIGNIFICANCE (please include additional pages if needed)**

The proposed Crosstown Historic District, so named for the intersecting trolley tracks at Cleveland and Poplar that once connected Memphis commuters to the neighborhood in 1927, has undergone much change in the past 100 years. Most of the change in the neighborhood has not followed the national architectural standards with home improvements and renovations. And because of that, the value to the history that has preceded its residents has declined. It's important to pursue and value a Historic Neighborhood in order for it to maintain its value and for its residents to appreciate the beauty of this historic and culturally adaptive neighborhood.

Because of the lack of historical district designation, the Crosstown neighborhood has seen unnecessary demolition of large single-family Neoclassical, Four Square, Bungalow, Colonial, and many other style homes. The TN Department of Transportation (TDOT) removed 65 homes

to make way for the construction of Interstate 40 through the heart of Memphis, leaving the neighborhood with the now-empty lot known as the Crosstown Mound. At that time, there was nothing to protect those homes from being demolished, and now, as the Crosstown neighborhood looks forward, as we grieve from our past, Crosstown would like to ensure those new homes being constructed or rehabbed properties will follow historic guidelines.

### **Brief Historic Overview**

The Crosstown Historic District dates back to the 1850s and concluded in the 1940s. Once a suburb of Memphis, a portion of the land was owned by the Van Vleet family and the Henry A. Montgomery family.

The proposed district would include Memphis Tech High, founded in June of 1911, originally known as Memphis Vocational Grammar, Crockett Vocational School, Crockett Technical High, later "Tech High," and now Northwest Prep Academy(Memphis Tech High). The Board of Education had a building, "the castle," at 317 Poplar Avenue for which they no longer had any use. They created the new vocational high for this building, specifically "to take the load off the new Central so they wouldn't have to build a second public high school for some time." Thus the new Central High and the new Vocational High Schools both opened in September of 1911. Eventually, ten acres of the Van Vleet property, along with the house was acquired by the Board of Education to build what is now Memphis Tech High located at 1266 Poplar Avenue.



The Van Vleet Mansion, originally built in 1856 by Q. C. Atkinson at 1266 Poplar Ave., is known as one of the first major residential developments in the Crosstown area. The mansion and the 20 acres were sold by W. A. Williams to Peter Van Vleet. Van Vleet was the owner of the Van Vleet-Mansfield Drug Co., one of the largest drug firms in the United States. When Vleet died in 1915, the house and only 10 acres of the 20 were sold to the Board of Education. The remaining land was still a part of what was known as Van Vleet Park.



The mansion was surrounded by a brick wall with wrought iron entry gates at the east and west corners (still standing to this day on Poplar

Avenue at the corner of Claybrook St. and Montgomery St.). The gates were guarded by large stone lions brought back from the Van Vleets' travels, which were later donated to the Memphis Zoo.



A driveway curving to the front of the house connected the two entry gates. The architect for Memphis Tech High had incorporated into his design four similar Corinthian columns and portico from the original mansion, as well as similar brick entry gates with those stone lions guarding the gate. The Greek Revival and mix of Neoclassical Design of Memphis Tech High speaks volumes of the middle-class suburb Crosstown Memphis once was.

In 1909, real estate agents S. H. and Walter Lamb advertised acreage for sale on Montgomery and Overton Park Ave. "adjoining Van Vleet Park." This "fashionable uptown district" was "close to handsome homes, streetcars, and paved streets," (Commercial Appeal, 1909). Initially, houses on Peach Ave. were built facing Van Vleet Park. After the park was sold for house construction, the remaining lots on Peach faced the north-south streets.



The Henry A. Montgomery home was built in the 1860's and was located at Poplar and Bellevue.

Henry A. Montgomery had formed the Memphis Jockey Club and by the 1850s the club purchased a tract of land that would become the Fairgrounds. Eventually settling in Memphis, Henry began working in the telegraph business. He built the first telegraph line from Memphis to Little Rock, and during the Civil War he extended it to Clarksville.

In addition, he built a line from Madison to Helena, Arkansas. The first, and at the time, the only telephone in Memphis was installed in Henry A. Montgomery's home. When the first telephone call was made in Memphis, it was from the railway office of Col. Michael Burke to the home of Henry A. Montgomery on Poplar Avenue and Bellevue.

Henry A. Montgomery was frustrated by the condition of Poplar and laid his own stone to improve the street. By 1907, Poplar was paved with asphalt and by 1911 electric streetcars were



finding their way into the neighborhood. Henry A. Montgomery's magnolias remain and his granddaughter Montgomery (Monty) Cooper took the paving stones previously used on Poplar to build the Montgomery Library (251 N Montgomery) for his books.

That structure remains on Montgomery St. adjacent to a house (243 N. Montgomery) Cooper built for herself.



*Montgomery Library, built with the stones originally from Poplar Avenue from the 1800s - 251 N Montgomery (pictured above, and 243 N Montgomery pictured to the left)*

Between the World Wars, the Van Vleet and Montgomery homes were demolished with Van Vleet's park area from Peach to Larkin and from Montgomery to Claybrook being filled with 52 bungalows by the same builder.



Architect Victor Dunkerley, who had worked with Frank Lloyd Wright, designed the Avery House at 305 N. Montgomery. It has been called a "picturesque example of the cozy English Arts and Crafts Style (Ellzey, 2020)." It was built facing Van Vleet Park on the Lombardy Poplar tree-lined N. Montgomery.

*(Avery House, at 305 N Montgomery pictured to the left).*

To the north, the availability of the railroad led to the location of Sears Crosstown. Cleveland Street along with a streetcar line was extended north from Poplar Avenue to Sears. Large apartment buildings, including 394-400 N. Bellevue Blvd. (c. 1925), were built along the streetcar lines within walking distance of the growing and bustling Crosstown commercial area.

As development continued east from Downtown Memphis, ground was broken for Temple Israel at Poplar Avenue and Montgomery Street. In 1912, the congregation had decided that they had outgrown their building, and began to raise money for a new synagogue. They acquired a plot of land on Poplar Avenue almost two miles east of their current home, and dedicated a new synagogue there in 1916. The new temple boasted a 1200 seat sanctuary, fourteen religious school rooms, and an auditorium with a stage. Parts of the building are now utilized by Mississippi Boulevard Church and Memphis Academy of Science and Engineering.



In addition, the proposed Crosstown Historic District would include the William R. Moore School of Technology, better known as Moore Tech. William R. Moore served as a United States Congressman and then two years in the Tennessee House of Representatives. From an endowment that was left in the will of W.R. Moore, a charter school was established in 1939. The W. R. Moore School of Technology opened at 1200 Poplar Avenue, combining elements of classicism with the International Style and Bauhaus movements. It was designed by Walk C. Jones and Walk C. Jones, Jr.

The landmarked Crosstown Concourse was once a Sears, Roebuck & Co. distribution center and retail store, which opened on August 27th, 1927. The fourteen-story structure has a limestone base and brick walls. It is crowned by a Classical Revival top floor with round-arch windows and a modillion cornice. The building, the largest in Memphis at the time, made this community the hub and the gathering place for retail, shopping, and dining. Along with six other major cities, Boston, Atlanta, Chicago, Dallas, Minneapolis, and Seattle, Memphis has redeveloped Crosstown Concourse into a vertical urban village anchored in arts, education, and healthcare. That development has become a strong anchor for the surrounding residential homes in the proposed Crosstown Historic District as we look towards revitalization and historical significance.

*229 N Montgomery St, Queen Anne Style, 1890*

Memphis Tech High, William R. Moore School of Technology, and the Sears Roebuck & Co. building were all responses to the residential housing development that had grown around the Crosstown neighborhood between 1890-1923. Some of the earliest houses in the neighborhood that have not been demolished, besides the Van Fleet Mansion, and the Montgomery Mansion, include a Queen Anne style home built in 1890 at 299 N Montgomery St. and a 1887 Arts & Crafts style home at the south-west corner of Poplar Avenue Montgomery Street.



As well as many other architectural beauties, such as 1234 Poplar Avenue (built in 1900); 299 Montgomery St (built in 1900), a classic foursquare with siding; 314 N Claybrook St (built in 1900), an Arts & Crafts style design; and, 1174 Poplar Avenue (built in 1909), a foursquare style home with large front porch, smooth stucco finish, and round arching windows

A majority of the homes in the neighborhood were later constructed between 1910-1912 and 1920-1923. These homes consist of a mixture of bungalow, airplane bungalow, foursquare, one mission revival, and craftsmen.

In April of 1944, a B25 bomber crashed into the neighborhood, at the corner of Poplar Avenue and Cleveland Street. The aircraft smashed into a two-story home at 222 North Claybrook behind what was then a bowling alley. In the days that followed, more than 20,000 Memphians visited the crash site, and the Army brought in MPs to control the crowds. Although seven lives were lost, everyone breathed a sigh of relief that the plane had somehow missed Memphis Tech High, the Southern Bowling Lanes, Sears Crosstown, and dozens of nearby businesses that would have made the death toll much higher. Lots at the corner of Claybrook and Williams Field Avenue, to the north and south remain vacant lots to this day.

Then in the late 1960s the neighborhood was wounded by the intrusion of the interstate highway construction that eliminated Lewis St. to the west and took out over 65



Crosstown homes and apartments for the I-40 section. “Modern” apartment buildings took the place of some homes. Opponents of routing the expressway through Overton Park in 1971 won a landmark Supreme Court case, which eventually led to I-40 being rerouted to the Wolf River bottoms far to the north. But not before TDOT had built a 20-foot mound of dirt that was to elevate traffic to overpasses that has since been removed. The giant, yet historic, Crosstown Mound still lords over old bungalows, foursquares and apartment buildings along streets that border the mound: Overton Park, Claybrook, Peach, and Bellevue. The mound has been an on-going eyesore for the neighborhood, the lack of maintenance has led to major overgrowth, wildlife, rodents and raccoons, to discarded debris and trash, and vagabonds taking up residence on the mound.

In 1988, a 100,000 gallon propane gas tanker skidded on an exit ramp and exploded on Interstate 240 destroying half a dozen historic homes on Bellevue Avenue leaving empty lots. The tank shot 125 yards and also destroyed a duplex, killing a ten year old girl. In total 9 people died from the explosion.

In 1993, Sears began its long process of closing down. The streets that were once crowded with shoppers were now empty. Temple Israel and Bellevue Baptist Church moved east being replaced by Mississippi Boulevard Christian Church.

The University of Memphis’ Department of City & Regional Planning worked with Crosstown to help reinvigorate the sense of community and work to maintain the quality and character of the neighborhood. The Crosstown Concourse opened in 2017. Commercial properties are returning adjacent to the Concourse. Original houses between Overton Park, Bellevue Boulevard, Montgomery, Claybrook and Autumn Ave. are being restored rather than demolished; and new, affordable homes were built on Claybrook between Larkin Avenue and Peach Avenue.

Just within the Crosstown district, the homes, residents, and businesses have experienced a great deal of change since the 1850’s. It’s important to pursue and value a Historic Neighborhood in order for it to maintain its value and for its residents to appreciate the beauty of this historic and culturally adaptive neighborhood.

It is important to realize that, while historic in its architectural, geographic location, and structural significance, the proposed Crosstown Historic District Neighborhood has had alterations to existing structures and construction of new buildings and multi-family homes. Memphis Landmarks Commission (MLC) was established to protect, enhance, and perpetuate structures, districts, and elements in the city that are of historical, cultural, architectural, and geographic significance. With that being said, there should be no doubt that the proposed

Crosstown Historic District represents the history, culture, architectural, and geographic significance that this city adheres to protect.

\*It is important to note, historical information about the Crosstown neighborhood is not limited to just the information above. There is more data about homes on Bellevue Avenue, the Tension Brothers, other commercial properties and the surrounding neighborhoods, that have not been included at this time.

## Resources

B-25 Bomber

<https://memphismagazine.com/ask-vance/75-years-ago-a-b-25-bomber-crashed-in-midtown/>

Temple Israel History

<https://www.isjl.org/tennessee-memphis-temple-israel-encyclopedia.html>

Henry A. Montgomery Resources

<https://memphislibrary.contentdm.oclc.org/digital/collection/p13039coll1/id/36/rec/1>

<https://dailymemphian.com/article/7970/Kings-of-the-hill-Competing-developers-now-teaming-on-Crosstown-Mound>

<http://www.historic-memphis.com/biographies/montgomery-park/montgomery-park.html>

Memphis Tech High Resources

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

William R Moore Resources

<http://historic-memphis.com/biographies/w-r-moore/w-r-moore.html>

<https://www.mooretech.edu/about/history/>

Sears Crosstown

<https://crosstownconcourse.com/about>

<http://www.memphisheritage.org/sears-roebuck-company-catalog-distribution-center-retail-store-crosstown-concourse/>

Peter Van Vleet History

<http://historic-memphis.com/biographies/van-vleet/van-vleet.html>

<https://historic-memphis.com/memphis/a-day-at-historic-memphis/a-day-at-historic-memphis.html>

Tanker Explosion - 1988

<https://www.nytimes.com/1988/12/25/us/death-toll-at-9-in-memphis-tanker-explosion.html>

<https://www.usdeadlyevents.com/1988-dec-23-propane-tank-truck-hits-ramp-wall-explodes-parts-hit-house-cars-memphis-tn-9/>

Additional: <https://sharetn.gov.tnsosfiles.com/tsla/exhibits/blackhistory/feilds.htm>

Page 2  
of Guaranty No. 20611.

**SCHEDULE A.**

1. The estate or interest of the guaranteed in the premises described below, covered by this guaranty.

SEE SEPLES TITLE, Vested by Warranty Deed from McKay Van Vleet, Ramelle Van Vleet, by her Attorney-in-Fact, McKay Van Vleet; Elsa V. V. Connor, by her Attorney-in-Fact, McKay Van Vleet, and Wm. D. Connor; Ramelle V. V. King, by her Attorney-in-Fact, McKay Van Vleet, and Charles Curtis King, to Board of Education of the Memphis City Schools, filed for record December 30th, 1926, at 4.13 P. M., in the Register's Office of Shelby County, Tennessee.

2. The premises in which the guaranteed has the estate or interest covered by this guaranty.

CITY OF MEMPHIS,                      SHELBY COUNTY,                      TENNESSEE.

Lots 1, 2, 3, Lawrence Subdivision of Lot 3, Rice Grant;

Beginning at the Northeast corner of North Montgomery Street and Poplar Boulevard; thence North with North Montgomery Street 698½ feet to Larkin Street; thence East 591 feet to North Claybrook Street; thence South with said Street 698½ feet to Poplar Boulevard; thence West with said Boulevard 589.5 feet to the point of beginning.

Description subject to survey.

**UNION & PLANTERS BANK & TRUST COMPANY**

20611                      UNION & PLANTERS BANK OF MEMPHIS                      \$ 90,000.00

TENNESSEE TRUST COMPANY  
ESTABLISHED 1858  
CONSOLIDATED 1909

**MEMPHIS, TENNESSEE**

In Consideration of - - FOUR HUNDRED SEVENTY & 10/100 - - DOLLARS. TO IT PAID, THE UNION & PLANTERS BANK & TRUST COMPANY DOES HEREBY, SUBJECT TO ALL TERMS AND CONDITIONS HEREOF, GUARANTEE

- - - BOARD OF EDUCATION OF THE MEMPHIS CITY SCHOOLS - - -

AND ALL PERSONS TO WHOM THIS GUARANTY MAY BE ASSIGNED WITH THE CONSENT OF SAID COMPANY, TESTIFIED IN THE MANNER HEREINAFTER PROVIDED, AGAINST ALL LOSS OR DAMAGE, NOT EXCEEDING

NINETY THOUSAND & 10/100 - - - - (\$90,000.00) - - - - DOLLARS WHICH THE GUARANTEED SHALL SUSTAIN BY REASON OF DEFECTS OR UNMARKETABILITY OF THE TITLE OF THE GUARANTEED TO THE ESTATE OR INTEREST DESCRIBED IN SCHEDULE "A", HERETO ANNEXED, EXISTING AT THE DATE OF THIS GUARANTY, AND NOT HEREIN EXPRESSLY EXCEPTED IN SCHEDULE "B", OR OTHER CONDITIONS HEREOF.

IN WITNESS WHEREOF, SAID UNION & PLANTERS BANK & TRUST COMPANY HAS CAUSED ITS CORPORATE SEAL TO BE HERETO AFFIXED, AND THIS GUARANTY TO BE EXECUTED IN ITS NAME BY ITS DULY AUTHORIZED OFFICERS, THIS 30th DAY OF December, 1926, AT 4.13 O'CLOCK P. M.

*Ray Play*                      VICE-PRESIDENT  
*W.S. Cooper*                      TRUST OFFICER  
*Ray Play*                      ATTORNEY

The Van Vleet residence and estate on Poplar was purchased yesterday by the Board of Education as the site for the proposed \$500,000 technical high school. The board agreed to pay \$90,000 for the 10-acre tract on which the home is located.



# CROSTOWN HISTORIC DISTRICT

User Guide and Architectural Design Guidelines

## **Crosstown Historic District Users Guide and Architectural Design Guidelines**

Prepared by:

Jennifer M. Amido, MPA

297 N Montgomery St

Memphis TN 38104

1st Edition – September 2020

Edits & Revisions by:

Ivan Tamayo

Jennifer M. Amido, MPA

Sterling Owens, Esq

*Special Thanks to Crosstown Community Development*

*Corporation Board Members:*

*Porche Stevens*

*Anna Joy Tamayo*

*Bianca Phillips*

*Justin Gillis*

## Contents

### Table of Contents

<b>Part 1: Introduction.....</b>	<b>4</b>
1. <i>History of the Crosstown Neighborhood and Proposed Historic District</i> .....	4
2. <i>The Memphis Landmarks Commission</i> .....	5
3. <i>Goals for the Crosstown Historic District</i> .....	5
4. <i>Map of Proposed Crosstown Historic District</i> .....	6
<b>Part 2: Zoning Regulations.....</b>	<b>7</b>
1. <i>Memphis and Shelby County Unified Development Code</i> .....	7
2. <i>Local Regulatory Entities</i> .....	7
3. <i>Overlay Districts</i> .....	7
<b>Part 3: Design Guidelines for Crosstown Historic District.....</b>	<b>8</b>
1. <i>Overview and Application of Design Guidelines</i> .....	8
a. <i>Design Guidelines Intent</i> .....	8
b. <i>Design Guidelines Application</i> .....	8
2. <i>The Design Review Process</i> .....	8
3. <i>New Construction of Single-Family Homes and Secondary Structures</i> .....	9
a. <i>Building Orientation, Setbacks and Rhythm of Spacing</i> .....	9
b. <i>Building Mass, Scale and Form</i> .....	10
c. <i>Roofs and Building Forms</i> .....	11
d. <i>Architectural Details</i> .....	11
e. <i>Porches</i> .....	12
f. <i>Windows &amp; Doors</i> .....	12
g. <i>Secondary Structures</i> .....	13
4. <i>Additions and Enclosures</i> .....	13
5. <i>Demolition and Relocation of Principle Historical Structures Out of a District</i> .....	14
6. <i>New Site Improvements</i> .....	16
a. <i>Fences</i> .....	16
b. <i>Walls, Retaining Walls</i> .....	16
c. <i>Parking</i> .....	17
d. <i>Driveways Additions or Parking Pads</i> .....	17
e. <i>Other Site Improvements Miscellaneous</i> .....	17
f. <i>Religious, Educational or Other Institutional Buildings</i> .....	18
7. <i>Guidelines Effective Date</i> .....	19
<b>Part 4: Additional Photos &amp; References: .....</b>	<b>20</b>



## Part 1: Introduction

### 1. History of the Crosstown Neighborhood and Proposed Historic District

The Crosstown Historic District Neighborhood is composed of approximately 12 blocks, 134 structures and 90.83 acres in Midtown Memphis. The great majority of the structures that are still standing are single-family residences built between the late 1890's-1923; the area also contains multifamily dwelling units built later in the 1970s, schools and some commercial. Crosstown Historic District is significant for its architecture, geographical location, community, and historical significance. Crosstown is named for the intersecting trolley tracks at Cleveland and Poplar that connected Memphis commuters to the neighborhood in 1927.

In architectural style, the neighborhood reflects characterizations of the early twentieth century middle class Memphians. The wide variety of architectural styles works well because of uniform setbacks, cornice heights and massing, and the characteristic use of such details as front porches, bay windows, porte cocheres, and leaded glass. The building materials include brick, limestone, stucco, clapboard, and wooden shingles, with many houses constructed of a mix of two or three of these. The original workmanship is of a consistently high quality, and the detailing is extremely rich and well-conceived. Most houses in the proposed Crosstown Historic district neighborhood are the foursquare and bungalow, with a great diversity of neoclassical style mostly located on Bellevue Boulevard. Principal styles also include Colonial Revival, Craftsman, Mediterranean, Prairie, Queen Anne, and Shingle. In addition to the historical homes, Crosstown contains Memphis Tech High School with its historically remarkable neoclassical design, the Landmarked Sears Roebuck & Co Crosstown Building designed by Nimmons & Co. and Looney Ricks Kiss, and Moore Tech.

The Van Vleet Mansion, originally built in 1856 by Q. C. Atkinson, at 1266 Poplar Avenue, is known as one of the first major residential developments in the Crosstown area. The mansion and the 20 acres were sold by W. A. Williams to Peter Van Vleet. Mr. Van Vleet was the owner of the Van Vleet-Mansfield Drug Co., one of the largest drug firms in the United States. When Mr. Van Vleet died in 1915, the house and the land were sold to the Board of Education, to construct what is now known as Memphis Tech High.



Van Vleet Home in 1904 at 1266 Poplar Avenue

The mansion was surrounded by a brick wall with wrought iron entry gates at the East and West corners (still standing to this day on Poplar Avenue at the corner of Claybrook Street and Montgomery Street). The gates were guarded by large stone lions brought back from the Van Vleet's travels, which were later donated to the Memphis Zoo.

The Henry A. Montgomery home was built in the 1860's and was located at Poplar Avenue and Bellevue Boulevard. Mr. Montgomery had formed the Memphis Jockey Club and by the 1850s the club purchased a tract of land that would become the Fairgrounds. Eventually settling in Memphis, Mr. Montgomery



Henry A. Montgomery home 1200 Poplar Avenue



began working in the telegraph business. He built the first telegraph line from Memphis to Little Rock, and during the Civil War he extended it to Clarksville.

In addition, he built a line from Madison to Helena, Arkansas. The first, and at the time, the only telephone in Memphis was installed in Mr. Montgomery's home. When the first telephone call was made in Memphis, it was from the railway office of Col. Michael Burke to the home of Henry A. Montgomery on Poplar Avenue and Bellevue Boulevard.



Van Vleet Home – Iron Gates guarded by Lions.



Donated stone lion. Memphis Zoo.

## 2. The Memphis Landmarks Commission

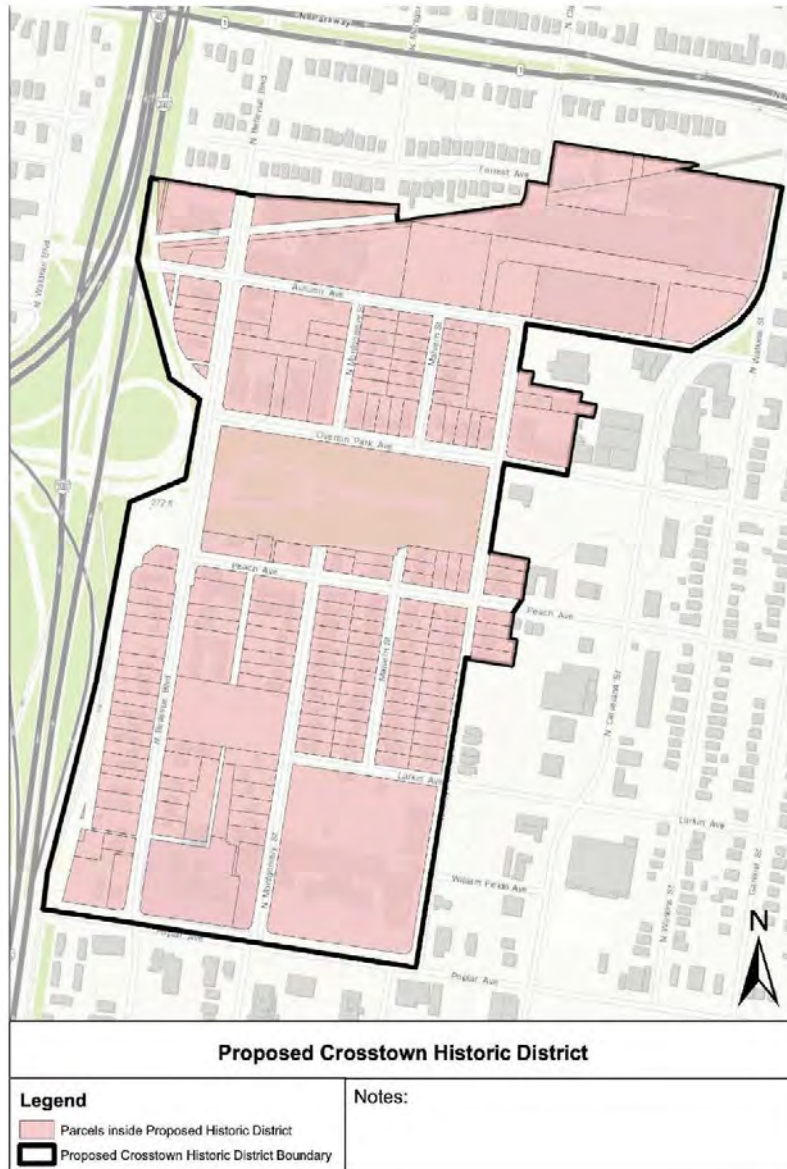
Memphis Landmarks Commission (MLC) was established to protect, enhance and perpetuate structures, districts and elements in the city of historical, cultural, architectural and geographic significance. The MLC consists of nine members who serve as volunteers, all appointed by the City Mayor. It includes one representative of a local historical organization, one architect and one person who is a member of the Land Use Control Board, with the remaining members representing the general community.

## 3. Goals for the Crosstown Historic District

The goal for the Crosstown Historic District is to protect the character, and the social and economic stability of this vibrant and diverse neighborhood.

As well noted, Crosstown has seen change already, and the goal is that future changes do not detract from the neighborhood's original character without stopping future developments and economic growth. A renewed spirit of community and connection to history has been triggered by the redevelopment of the Sears, Roebuck and Company regional distribution warehouse into what is known today as the Crosstown Concourse. With inevitable future development and revitalization of the surrounding areas, the goal is that future changes do not detract from the neighborhood's unique and original character.

4. Map of Proposed Crosstown Historic District



## Part 2: Zoning Regulations

### 1. Memphis and Shelby County Unified Development Code

Please Review “THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE” regarding zoning codes and subdivision regulations. Code can be found by following the link below:

<https://www.shelbycountyttn.gov/DocumentCenter/View/13413/ZTA-13-002-Complete-UDC-as-approved?bidId=>

### 2. Local Regulatory Entities

Land Use Control Board and City Council or the Board of Adjustment will regulate any zoning, or rezoning of multifamily, commercial use or boarding use. Lots zoned Multi-Family, Commercial or Boarding are permitted to change back to single-family use with approval from the Land Use Control Board and City Council. Land use is also subject to Memphis and Shelby County Unified Development Code as approved by Shelby County Board of Commissioners 8/9/10 and by the Memphis City Council on 8/10/10, including adopted Amendments (the “Code”), Article 4, General Development Standards, which covers streetscapes, streets, access, parking, landscaping, lighting, storage and signs. Land use is also subject to Article 6 of the Code, Open Space and Natural Resource Protection, which covers tree protection, open space, steep slope protection, stream buffers, floodways and stormwater management.

### 3. Overlay Districts

Land use may also be subject to the guidelines in the various Overlay Districts defined in the Code.

- A. Overlay Districts may be established from time to time as the Governing Bodies see fit in order to promote a more carefully tailored standard of development within a specified geographical area. The nature, applicability, standards, regulations, and restrictions of each Overlay District may vary as appropriate in order to achieve the stated purpose and goals of a particular Overlay District.
- B. Where the standards of a particular Overlay District, established by this Article, do not address standards established elsewhere in this Code, the standards established elsewhere apply.
- C. Where the standards of a particular Overlay District, established by this Article, conflict with the standards established elsewhere in this Code, the Overlay standards shall apply.
- D. Changes to frontage maps or height maps that were adopted as part of an Overlay District and incorporated into the Zoning Map shall be processed pursuant to Chapter 9.4, Text Amendment.

Specifically, the guideline in following Overlay Districts may be particularly relevant:

- A. Medical Overlay District
- B. Midtown District Overlay
- C. Residential Corridor Overlay District
- D. Historic Overlay District (as applicable)
- E. Floodplain Overlay District
- F. Transitional Office Overlay (as applicable)
- G. Neighborhood Conservation Overlay District (as applicable)

## Part 3: Design Guidelines for Crosstown Historic District

### 1. Overview and Application of Design Guidelines

#### a. Design Guidelines Intent

In general, the intent of the Design Guidelines is to ensure that new construction in Crosstown Historic District is in character with the neighborhood's original fabric. It is not the intent to freeze the appearance of the neighborhood in time, but to guide future growth and development in the Crosstown Historic District.

The intent of these guidelines is to ensure that all exterior alterations, new construction, habitable additions, demolition and relocation within Crosstown is in character with the neighborhood's existing fabric. Design Review Guidelines provide the Memphis Landmarks Commission (MLC) with basic criteria and standards to consider in determining the appropriateness of proposed work within the District.

#### b. Design Guidelines Application

The Design Guidelines apply only to the exteriors of buildings and to areas of lots visible from the street. The Memphis Landmarks Commission must review proposals for building relocation or demolition. The Design Guidelines address all projects in the neighborhood requiring a Certificate of Appropriateness (COA) from the Memphis Landmarks Commission. Please note that the Office of Construction Code Enforcement will not issue a construction permit without a COA from the MLC. Projects that need a COA include:

- A. New construction of houses or secondary structures (garages & storage buildings)
- B. Exterior alterations to the existing structure
- C. Additions or enclosures that expand habitable space, such as dormers, second or third stories
- D. Demolition or building relocation
- E. Site improvement construction, such as fences, gates and retaining walls
- F. New Driveways and parking pads
- G. Driveway gates
- H. Other site renewables

Please review the Certificate Of Appropriateness website for additional information:

<https://shelbycountyttn.gov/DocumentCenter/View/29968/Current-Full-COA-Application?bidId=>

Please note that only work that is visible in whole or in part from a public street (or streets in the case of a corner lot) is reviewed. Landmarks staff will confirm the scope of review based on a site plan and description of work provided by the applicant. In general, greater emphasis is placed on the character of primary facades, those designed to face the street.

Property owners, real estate agents, developers, contractors, tenants and architects should use the design guidelines when planning for a project within the neighborhood. Such use will help establish an appropriate direction for its design.

### 2. The Design Review Process

The following basic steps should be reviewed to understand the design review process with the Memphis Landmarks Commission.

- **Step 1.** Consider professional design assistance. For major projects, property owners are encouraged to engage a licensed architect or other design/planning professional to assist in developing their concepts. While doing so may help facilitate the review process, it is not required.
- **Step 2.** Check other City regulations.  
The guidelines exist alongside other adopted City regulations. The Memphis and Shelby County Division of Planning and Development can provide information about certain regulations, which also may affect the design character of a project. (See [www.shelbycountyttn.gov/924/zoning-subdivision](http://www.shelbycountyttn.gov/924/zoning-subdivision))
- **Step 3.** Thoroughly understand and become familiar with the design guidelines for the Crosstown Historic District.  
Review the basic organization of this guidelines document and determine which chapter(s) will apply to a project.
- **Step 4.** Review the project site's context.  
Consider immediately adjacent properties and also the character of the entire block where the project will be located.

### 3. New Construction of Single-Family Homes and Secondary Structures

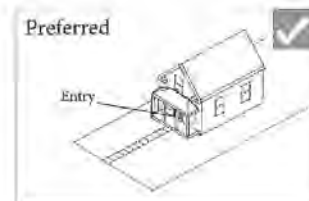
New construction includes the construction or erection of any freestanding structure or improvement on any lot. This includes new construction that uses existing walls and additions to existing buildings. These are subject to review by the Commission pursuant to the Landmarks Ordinance. This review applies only to the exterior of buildings and any other structure visible from the public right of way.

New construction should remain consistent with other buildings along a street in mass, scale, setback, height, rhythm and other design characteristics. Characteristics including the traditional door, and windows heights of early 1900-1930 homes and roof dormer designs. More weight should be given to compatibility with other existing structures that are products and original to the historic period of construction of the immediate area. The principal façade and the street related elevations should be reviewed more carefully than other facades.

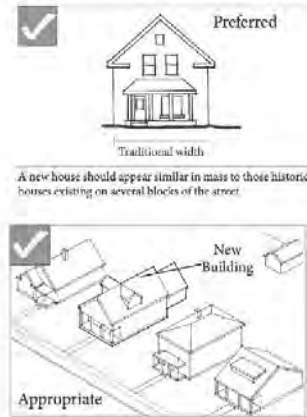
In determining the appropriateness of proposed new construction, the Commission should consider the compatibility and consistency of the proposed design of the new construction with the designs of existing building in terms of the following characteristics:

#### a. Building Orientation, Setbacks and Rhythm of Spacing

- Maintain the line of building fronts and spacing patterns in the block.
- A new house should fit within the range of front yard setbacks seen in the block.
- Uniform spacing of side yards should be maintained.



- The front of a house should be oriented to the public street and the primary entrance should be clearly defined.
- Use of a porch element to define the entry is strongly encouraged.
- Traditionally, the front entry of each building faced the street and was usually sheltered by a porch. This is a characteristic that should be maintained.
- The porch should be "functional," in that it is used as a means of access to the entry and or as outdoor living space.
- In some cases, the front door itself may be positioned perpendicular to the street if the entry is still clearly defined with a walkway and porch.



b. Building Mass, Scale and Form

- A new building shall follow the same pattern of mass, scale and form as those historic houses existing on that block of the street.
- Consistency in the mass, scale and form of buildings gives a street and a neighborhood a sense of unity and human friendliness. New houses should be consistent with existing historic houses on the same and opposite sides of the street in terms of height, scale, mass, form and rhythm, as well as consideration in lot size (width and length). Window and door designs must be appropriate and traditional in sense to the neighborhood.
- Use of building materials that are of traditional dimensions such as brick, stucco, wood, no vinyl materials.
- Use of a one-story porch that is similar in size to those seen traditionally.
- Use of a building mass that is similar in size to those seen traditionally.
- Use of window openings that are similar in size to those seen traditionally. Double hung windows are preferred.
- Building equipment (HVAC, utilities, etc.) shall be placed on the side or rear of the house; not visible from the street and screened from view.
- A new residential building shall be constructed with the same number of stories as any existing residential structure constructed during the period of significance on the same street-block.
- Maintain the alignment of horizontal elements along the block.



- Roof and building forms should appear similar to those seen traditionally in the neighborhood.
- Sloping roof forms such as gabled, hip, jerkinhead, bellcast hip, cross-gable and gambrel should follow the pitch of sloping roofs generally found on historic houses of the block.
- Dormers are a frequent neighborhood architectural roof feature and should be considered for new construction.
- Roof shapes should also relate to the surrounding roof structures.
- Eave depths, fascia, soffits, and cornice trims should be similar to those of historic houses on the block.

c. Roofs and Building Forms

- Roofs and Building Forms should appear similar to those seen traditionally in the neighborhood.
- Crosstown buildings consist mainly of brick, stone, stucco, and wood shingles, in a variety of combinations. Stone, stucco, brick, painted wood siding and painted shingles are appropriate materials for new construction.
- Horizontal lap siding is appropriate in most applications.
- Masonry that appears similar in character, color, texture, and size to that in historic houses within the neighborhood should be considered in the new construction.
- It is preferred that the original brick of the historic home be maintained and not painted. Unpainted masonry or stone shall not be painted.
- Stone, similar to that used traditionally, is also appropriate. Jumbo, or oversized brick is discouraged.
- Aluminum siding, vinyl siding and synthetic stucco (EIFS) are inappropriate material, and not to be used. Fiber cement siding is appropriate use for new construction.
- Depending on style, traditional roof materials such as tile, slate, wood shingles, and composite shingles are appropriate.
- Metal roofs are generally not appropriate except for porches.
- Such roofs should be applied and detailed in a manner that is appropriate to the style of the house.



d. Architectural Details

- New architectural details should relate to comparable historic stylistic elements in general size, shape, scale, finish, materials and shadow depth and should be appropriate to the style.
- It is part of the character of the neighborhood to have stylistic elements (i.e. brackets, porches, dormers, chimneys, detailed trim work etc.) as seen on the historic structures.

- Chimneys also provide decorative opportunities and are encouraged. Chimneys should not be made of wood, wood substitute or metal material, or have a protruding pipe.
- Use materials similar to those seen historically. Wood and brick were the most common materials used for exterior details. Fiber cement siding is also an appropriate use for new construction.

e. Porches

- The incorporation of a porch in the design of a new house is strongly encouraged. Porch elements should be similar to those traditionally seen.
- The depth of the porch should be a minimum of eight feet (8') so it is of sufficient size to be usable as outdoor living space.
- The design of a porch should relate to the overall architectural style of the main structure. Many historic porch designs are integral to the architectural style of the house.
- Porch supports of wood, brick, stucco and stone should be of an appropriate scale for the house and style.
- Porch balustrades should be a size, mass and design that is appropriate to the house and the District.



f. Windows & Doors

*Windows and doors are some of the most important character-defining features of houses. They provide visual interest to the composition of individual facades. Distinctive window design often defines a historic building style.*

- Windows and doors should be of a traditional size and should be placed in a similar solid-to-void relationship as historic buildings.
- Unusually shaped windows, such as circles, octagons and trapezoids, are generally inappropriate.
- The number of different window styles should be limited so as not to detract attention away from the overall building or facade.
- Windows and doors shall be finished with trim elements similar to those used historically.
- Wood double hung windows with traditional depth and trim are preferred.





- Snap-in muntins, solid aluminum windows and solid vinyl windows are inappropriate and shall not be used. Multi-pane windows shall use true divided lights.

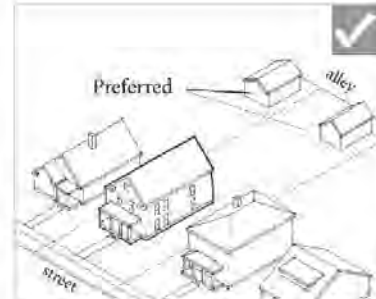
Alternate materials such as composite wood and fiberglass will be considered. Some vinyl products may be appropriate when they work well with the inset and sash components which have substantial dimensions.

A door located on a primary facade should be similar in character to those seen historically in the district. The scale should be similar. Glass panes also should be similar. Front doors with transoms and sidelights are appropriate.

g. Secondary Structures

*Traditionally, secondary structures such as sheds, garages and carriage houses, were subordinate in scale and character to the primary structure and were located to the rear of the lot. To the extent visible from the street, this tradition of detached secondary structures is encouraged because this reduces the building's overall perceived mass.*

- Where visible from the street, a secondary structure should be located in the rear yard of the primary residence.
- A secondary structure should reflect the architectural character and style of the main structure or be compatible with the style of the main structure.
- Material should be similar to the home; metal siding is not permitted.
- Consider using a porte cochere if appropriate to the style of the house.
- All new home construction must include an appropriate single car width driveway extending to the rear of the structure. Any excess parking should be to the rear and out of the public right of way.



To the extent plainly visible from the street, the tradition of detached secondary structures is encouraged because this reduces the overall perceived mass of buildings on the site.

4. Additions and Enclosures

Additions to the exterior of a historic building should be designed and constructed so the character and defining features are not radically changed, obscured, damaged or destroyed in the process. Additions to the principal façade should be discouraged. Additions should be located to the rear of the principle structure and not overwhelm the original structure in mass or scale. Enclosures of porches, front exterior doors or boarding of windows, and other covered areas of a principal façade to increase habitable space are inappropriate and should be avoided. If such closure is permitted it should preserve the original character of the principle façade.

- Enclosing a porch—in whole or part—alters the character of the building by eliminating one of its most important features. Such enclosures are not appropriate or permitted. A front porch shall not be completely or partially enclosed. This does not apply to screened in porches.
- No original exterior window or door shall be enclosed.
- Place an addition toward the rear of a building or set it back from the front to minimize the visual impacts.
- Do not obscure, damage, destroy or remove significant original architectural details and materials of the primary structure.
- Rooftop additions must be kept subordinate to the principal building in mass and scale and set back from the front of the building. The roof form of new additions should be in character with and subordinate to that of the primary building to avoid changes in the principle facade.
- Use windows that are similar in character to those of the main structure.
- Building materials that are compatible with those of the primary structure shall be used.
- The roof form of a new addition should be in character with and subordinate to that of the primary building.
- The mass and scale of rooftop additions must be kept subordinate to the primary building.
- When adding a dormer, it should be in character with the primary structure's design.



#### 5. Demolition and Relocation of Principle Historical Structures Out of a District

A historic building is irreplaceable. It is a document of the past, and once it is gone, it is lost forever. Crosstown realizes the past mistakes of demolition of historic properties, therefore the demolition of an historic building that contributes to the significance of a Historic Conservation District is inappropriate.

Since the purpose of historical zoning is to protect historic properties, the demolition of any principle structure which contributes historically or architecturally to the character and significance of a District is considered to be inappropriate and should be avoided. Demolition includes the complete or partial tearing down of such structure or a removal of such structure from the District. Should the Commission approve a proposed demolition, such demolition can proceed after an immediate reuse is determined for the property. The proposed design of new construction should be submitted to and reviewed by the Commission in conjunction with submission and review of the demolition or removal from the District.

**Demolition is NOT permitted under the following circumstances:**

- If a principle structure is deemed to be of such historical or architectural interest and value that the removal would be detrimental to the public interest and the goals of historic zoning.
- If the proposed reuse and new construction would diminish or detract from the predominantly single-family residential character of the District.
- If a principle structure is of such old or unusual or uncommon design and materials that it could not be reproduced without great difficulty and expense.

- If its proposed replacement or lack thereof would in the Commission's reasonable discretion make a less positive visual contribution to the District, would disrupt the District's character or would be visually incompatible.
- Demolition by neglect should not occur. The loss of architectural features or structural defects used to justify demolition caused by the acts or lack of ordinary maintenance by the applicant (or those who have acted in concert with the applicant) is considered "demolition by neglect." Lack of ordinary maintenance includes failure to make needed roof or plumbing repairs and failure to protect the structure from termites.

**Demolition is permitted under the following circumstances:**

- If a principle structure has lost its architectural and historical integrity and importance and its removal and the proposed new construction will not in the Commission's reasonable discretion result in a negative, or less appropriate visual effect on the District.
- If a principle structure does not contribute to the historical and architectural character of the District and its removal and the proposed new construction will in the Commission's reasonable discretion result in a more positive and appropriate visual effect on the District.
- If the Commission determines that demolition or removal is economically necessary and justified in accordance with the provisions of the Landmarks Ordinance, the applicable guidelines of the Commission (to the extent they are more exacting) and other applicable governmental laws, ordinances and regulations.
- If the demolition is required by a final and a non-appealable order or ruling by a court, governmental body or agency that has jurisdiction. And such order or ruling does not allow for the restoration or continued use of the applicable structure.
- **If demolition is allowed, the building must be thoroughly documented. The owner should provide this documentation, which may include photographs and measured drawings, to the Memphis Landmarks Commission and to the Memphis and Shelby County Room at the Central Library.**

Moving a principle structure that still retains its historical and architectural integrity and contributes to the character of the District should be avoided.

Moving a building that does not contribute to the architectural and historical integrity of the District or has its architectural integrity due to deterioration and neglect is appropriate if its removal or the proposed replacement will result in a more positive visual effect on the District.

The relocation of a house in order to provide parking is not appropriate.

A principle structure may be relocated within a District if:

- The integrity of location and setting of the principle structure in its original location has been lost or is seriously threatened.
- The structure will be compatible with the buildings adjacent to the new site in style height scale materials and setback.
- The relocation of a principle structure, at the Commission's reasonable discretion, will not result in a negative visual impact on the site and surrounding buildings from which it will be removed.

## 6. New Site Improvements

### a. Fences

Typically, fences were only seen enclosing side and rear yards or defining property boundaries. When they were used, fences were low and appeared semi-transparent. Wood pickets, thin metal members and low brick walls were typical.

- Fences shall not completely obscure the view of the house from the public right of way.
- Enclosing a front yard shall not be allowed. In the exceptional circumstance that a front yard fence is allowed, it should be no more than three and one half feet (3-1/2') high and have a transparent quality allowing views into the yard.
- Appropriate materials for front yard fences/ walls are wrought iron, tubular steel, stone, or brick. Inappropriate materials include chain link, vinyl/ plastic, split rail, precast concrete panels and concrete block.
- Corner lot fencing should not exceed six feet (6') in height, should be front-facing and should be set back a minimum of three feet (3') from the sidewalk. Fencing along the public side yard of corner lot houses should begin toward the back of the structure so that the side facade is not obscured from view.
- Rear yard fences or walls should be no more than 8' in height and constructed of traditional materials.
- Front Fences shall be setback a minimum 6 ft from the front wall of the house (not including front porch).



### b. Walls, Retaining Walls

- Retaining walls should be built as low as possible and, at most, no higher than the soil being retained.
- A retaining wall should not extend as high as the yard it protects. This wall is appropriate in height and materials.
- Railroad ties, split faced block, and stacking block systems may not be used.

c. Parking

- The creation of a parking area in the front yard is highly inappropriate and shall not be allowed.
- Parking should be located to the rear. Less preferably, parking may be permitted to the side of the house.
- A parking pad or other defined paved area for parking shall not be placed in the front yard.
- Brick, stone or smooth troweled finish concrete are appropriate. Asphalt, washed gravel finish concrete and stamped concrete are not appropriate.
- The tradition of straight, narrow driveways should be maintained. Driveways should be constructed of traditional materials that contrast with the asphalt paving of the street. Adjacent driveways shall not be combined to create broad expanses of concrete in the front yard. Additions or alterations to existing driveways which would increase or change the existing footprint must conform to these guidelines.



d. Driveways Additions or Parking Pads

- Driveways and parking pads should be made of materials comparable with surrounding structures, of single car width, and located to the side, extending to the rear of the principle building.
- Paving the front of a lot or increasing a parking pad into a majority of the area in front of a principal structure is deemed inappropriate and not permitted.
- Front yard parking is not appropriate and shall not be allowed.
- Adjacent driveways should not be combined to create broad expanses of concrete in the front yard.
- Additions or alterations to existing driveways which would increase or change the existing footprint must conform to these guidelines.

e. Other Site Improvements Miscellaneous

- Construction of permanent freestanding signage or lighted signage for the purpose of advertising is inappropriate and should be avoided.
- Freestanding or pole mounted satellite dishes (24" or larger) should be placed in inconspicuous locations to the public rights-of-view.
- LED flashing signs that change or flicker by creating an illusion of motion are prohibited.
- A sign should not hide architectural details such as windows, cornice details, storefronts or transom windows.
- Any other site improvements should be appropriate to the historic nature of the district, and, if allowed, should be constructed to a scale, and out of materials, compatible with the neighborhood.
- Front walkways shall be constructed from concrete or brick that are traditionally found in the District.

f. Religious, Educational or Other Institutional Buildings

- New institutional construction or additions should be compatible with the historic portions of the institution's existing buildings and shall be compatible with the historic character of the neighborhood.
- A new institutional building or addition should be of similar mass and scale to those seen traditionally.
- If a larger building is to be constructed which occupies several lots, the sense of human scale can be expressed by "articulating" the mass of the building into smaller components that, individually, appear similar in scale to historic buildings in the area.
- An institutional building's primary entrance should be oriented toward the street with subordinate entrances located toward parking or interior spaces.
- Where two or more buildings will be located on a site, they should be arranged to define an outdoor space. Clustering buildings to create active open spaces, such as plazas and courtyards, is encouraged. Simply aligning buildings in a row to face a parking lot is discouraged.
- Plain or industrial-type buildings are inappropriate and shall not be permitted.
- A new institutional building should not be more than three stories or 35 feet in height.
- A design should draw upon the institution's historic buildings or, if none, on the designs of other historic institutional buildings in the neighborhood. Traditional building materials should be used for primary wall surfaces similar to that of historic buildings on site. Masonry materials, including brick, stone and rusticated masonry block are preferred.
- An addition to an institutional building should be placed at the rear or set back from the front in order to minimize its visual impact on the existing building. The proportions and character of the original building should remain prominent. Locating an addition at the front of a structure is inappropriate. An addition should be compatible in scale with the primary structure. An addition should be compatible in character with the primary institutional building. Parking areas should be located to the interior of the lot where feasible.



## 7. Guidelines Effective Date

***These guidelines should take effect on the date this District is designated a Historic District by the Memphis City Council. Upon such date, all property owners within the District and all who shall thereafter become property owners within the District shall be presumed to have knowledge of the provisions of these guidelines and shall be subject to the provisions of these guidelines.***

***If any provision of these guidelines is made void or unenforceable by legislation or adjudication, such provision shall be deemed severed. The remaining provisions shall continue in full force and effect.***

***These guidelines may be amended from time to time as future needs require upon:***

- 1) Application by any person owning a legal or beneficial interest in any district property.***
- 2) Mailed written notice to all owners of property in the district.***
- 3) Approval by the Landmarks Commission and any other governmental body required by applicable law in a public hearing.***

***These guidelines do not apply to ordinary repairs and maintenance. Ordinary repairs and maintenance shall be deemed to include, without limitation, work to correct deterioration, decay or damage to a building, object, structure, or site in order to restore the same, as nearly as may be practical, to its condition prior to such deterioration, decay, or damage, using materials accepted within these guidelines. It also includes any work that replaces something in a "same for same" fashion without any alterations.***

Part 4: Additional Photos & References:







Memphis Tech High History:

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

William R Moore Tech History:

<https://www.mooretech.edu/about/history/>

<http://historic-memphis.com/biographies/w-r-moore/w-r-moore.html>

Van Vleet History:

<http://historic-memphis.com/biographies/van-vleet/van-vleet.html>

Montgomery Mansion History:

<http://www.historic-memphis.com/biographies/montgomery-park/montgomery-park.html>

Sears Roebuck Building History:

<http://www.memphisheritage.org/sears-roebuck-company-catalog-distribution-center-retail-store-crosstown-concourse/>

<https://crosstownconcourse.com/about>

Memphis and Shelby County Unified Code:

<https://www.shelbycountyttn.gov/DocumentCenter/View/13413/ZTA-13-002-Complete-UDC-as-approved?bidId=>

Memphis Landmarks Commission:

<https://www.develop901.com/landuse-developmentservices/MemphisLandmarksCommission>

Certificate of Appropriateness:

<https://shelbycountyttn.gov/DocumentCenter/View/29968/Current-Full-COA-Application?bidId=>

**SIGN AFFIDAVIT**

AFFIDAVIT

Shelby County  
State of Tennessee

I, Jennifer M. Amiel being duly sworn, depose and say that at 12 am/pm on the 8 day of November, 2020, I posted 4 Public Notice Sign(s) pertaining to Case No. 20-001 CTD at 4 locations poplar/claybrook Belleme Autumn/claybrook providing notice of a Public Hearing before the  Land Use Control Board, \_\_\_\_\_ Memphis City Council, \_\_\_\_\_ Shelby County Board of Commissioners for consideration of a proposed Land Use Action ( \_\_\_\_\_ Planned Development, \_\_\_\_\_ Special Use Permit, \_\_\_\_\_ Zoning District Map Amendment, \_\_\_\_\_ Street and/or Alley Closure), a photograph of said sign(s) being attached hereon and a copy of the sign purchase receipt or rental contract attached hereto.

Jennifer M. Amiel  
Owner, Applicant or Representative

11/9/20  
Date

Subscribed and sworn to before me this 9th day of November, 2020

Cassandra E. Hoskins  
Notary Public

My commission expires: 12/6/2021



**LIST OF PARCELS WITHIN THE DISTRICT**

020012 00002 - MEMPHIS CENTER CITY REVENUE FINANCE  
020095 00002 - GREENE PROPERTIES LLC  
020095 00020 - DOSHIER EDITH S  
020003 00001C - TONGA PROPERTIES LLC  
020095 00004 - DOSHIER EDITH S  
020003 00003 - BUTLER BENJAMIN J & LAUREL SUCSY  
020011 00003 - CROSSTOWN GROUP LLC  
020012 00013 - RIVER CITY RENTAL HOUSING LLC  
020003 00020 - MGR ORVERTON LLC  
020011 00004 - NAPIER WILLIAM & PAT  
020012 00012 - CROSSTOWN GROUP LLC  
020011 00017 - KAAZ SPENCER  
020095 00009 - DOSHIER EDITH  
020095 00008 - DOSHIER EDITH S  
020012 00010 - ROBIN ROUND LLC  
020012 00009 - KARIMNIA MARY J AND LUIS E GONZALEZ  
020011 00008 - ROBIN ROUND LLC  
020018 00013 - MEMPHIS APARTMENT INVESTMENTS LLC  
020011 00011 - TOWNSEND MELANIE J  
020011 00010 - BRAZELL TERRY L & LINDA  
020012 00007 - ROBIN ROUND LLC  
020004 00013 - CO OF SHELBY & CITY OF MEMPHIS  
020004 00012 - TAYLOR ROBERT M  
020009 00014 - CROSSTOWN GROUP LLC  
020093 00004 - WOFFORD PETER W

020009 00012 - MCDIVITT DANNY P  
020020 00009 - CROSSTOWN GROUP LLC  
020007 00001 - TAYLOR ROBERT M  
020093 00006 - GRACE HOUSE OF MEMPHIS TN INC  
020005 00032 - DEEPER WALK MINISTRIES INC  
020005 00031 - DEEPER WALK MINISTRIES INC  
020007 00004 - TONGA PROPERTIES LLC  
020008 00003 - WALZ CLARA E & JACOB  
020005 00027C - DOWNTOWN MEMPHIS MINISTRY INC  
020005 00007 - AYERS JEFFREY T  
020007 00023 - SHILLINGS ANNAZETTE R REVOCABLE TRUST  
020008 00024 - STEWART BEVERLY A  
020093 00009 - GREENE PROPERTIES LLC  
020007 00007 - JONES STEPHEN R & PEGGY J  
020008 00006 - PATTON VICKI  
020008 00007 - ROSS SHERRY E  
020007 00008 - HOLMAN ANDRE  
020008 00008 - MOORE THOMAS & MAYTE  
020007 00009 - MCKINNIE ROBERT  
020007 00019 - TONGA PROPERTIES LLC  
020008 00020 - TONGA PROPERTIES LLC  
020093 00012 - TIPTON DESSIE  
020007 00010 - DILLMAN CHRISTIE A  
020007 00018 - DACUS DONNIE W & CAROLYN A  
020093 00015 - TONGA PROPERTIES LLC

020007 00015 - ELMY YASIN H & ISTARLADEN F MOHAMED  
020008 00016 - BONNER PHYLLIS D  
020005 00026 - TONGA PROPERTIES LLC  
020093 00016 - SELLERS ESTRELITA L  
020008 00013 - STUTZMAN INVESTMENTS LLC  
020007 00014 - LE TUYEN NGOC  
020005 00012 - MEEK LARRY R  
020093 00017 - DOOR OF HOPE INC  
020005 00035 - MOORE WILLIAM R SCHOOL OF TECH  
020006 00001 - BD OF EDUCATION CITY OF MPHS  
020005 00050 - STARKS GLORIA J & ROBERT L  
020005 00039 - MEMPHIS RECOVERY CENTERS INC  
020093 00023 - ROBINSON MICHAEL D  
020005 00018 - MEMPHIS RECOVERY CENTERS INC  
020093 00024 - CINDY-JARVIS LIMITED L P  
020095 00006C - DOSHIER EDITH S  
020095 00001 - DOSHIER EDITH S  
020095 00019 - DOSHIER EDITH S  
020095 00003 - DOSHIER EDITH  
020011 00001 - KEOKANLAYA NAOVALATH  
020011 00002 - TONGA PROPERTIES LLC  
020011 00019 - KARIMNIA MARY JO  
020012 00001 - RIVER CITY RENTAL HOUSING LLC  
020095 00005 - DOSHIER EDITH S  
020011 00018 - CROSSTOWN GROUP LLC

020011 00005 - WEST REBECCA  
020011 00016 - GOFF SAMUEL D  
020012 00011 - MEMPHIS APARTMENT INVESTMENT LLC  
020003 00014 - MGR OVERTON LLC  
020011 00006 - WEST CECELIA  
020011 00021 - CROSSTOWN GROUP LLC  
020011 00007 - WEST REBECCA  
020011 00014 - PHILLIPS WILLIAM R JR  
020011 00020 - SADLER JAMES E AND KIMBERLY C HODGSON  
020011 00013 - MARTIN LAWRENCE  
020012 00008 - KING FRENCHIE  
020011 00012 - BLANDA PAUL J  
020011 00009 - BAKINVESTMENTS LLC  
020018 00011 - MEMPHIS APARTMENT INVESTMENTS LLC  
020012 00006 - DOYLE JAMES G AND LINDA B DOYLE (ESTATE  
020012 00005 - VERNA JAMES  
020012 00003 - TONGA PROPERTIES LLC  
  
020012 00004 - TONGA PROPERTIES LLC  
  
020004 00015 - TONGA PROPERTIES LLC  
020004 00014 - TAYLOR ROBERT M  
020093 00003 - GRACE HOUSE OF MEMPHIS  
020010 00014 - TAYLOR ROBERT M  
020009 00011 - TONGA PROPERTIES LLC

020010 00011 - WE-R-HOUSING LLC  
020009 00010 - CROSSTOWN GROUP LLC  
020010 00013 - TAYLOR ROBERT M  
020020 00011 - LE HEN Q AND HUY H LE AND HUYEN N LE  
020009 00009 - ROBIN ROUND LLC  
020009 00013 - CASEY CANDACE  
020010 00012 - GOFF SAM & SARA  
020020 00010 - FENNER BERNICE B  
020005 00001 - MULLINS B A JR AND DOUGLAS C MULLINS (RS  
020005 00002C - TONGA PROPERTIES LLC  
020005 00033C - TONGA PROPERTIES LLC  
020093 00005 - GRACE HOUSE OF MEMPHIS  
020007 00002 - MCELROY WILLIAM N JR  
020008 00001 - CLOWER ROSA M  
020007 00026 - SALAT SHENNA  
020005 00004 - TONGA PROPERTIES LLC  
020008 00002 - TAYLOR ADRIENNE  
020007 00003 - LOVE GREGORY J  
020005 00005 - BENDER MARGARET A  
020007 00025 - WADLINGTON NEIL C  
020008 00026 - LOVE GREGORY J  
020093 00007 - JEFFRESS STEVEN  
020005 00006 - MCLEOD LISA & MARK  
020007 00024 - REESE WILLIAM A & LINDA L  
020008 00025 - CHILDRENS BUREAU INC



020008 00004 - ALLEN CHARLES  
020007 00005 - BROWN JULIA B  
020093 00008 - PRESCOTT MARK  
020007 00006 - COX ANNA B  
020008 00005 - PAPPAS KEVIN T  
020005 00008 - AMIDO JENNIFER M & EMMANUEL A  
020007 00022 - SMITH JANA G  
020008 00023 - HINES RAYFIELD  
020005 00009 - BLVS HOLDINGS LLC SERIES 289 N  
020007 00021 - TAMAYO IVAN AND ANNA J TAMAYO  
020008 00022 - KP ESTATES LP  
020093 00010 - PARIS MANAGEMENT LLC  
020005 00010 - EQUITY TRUST COMPANY CUSTODIAN FBO JAMES  
020008 00021 - STEPHENS MICHAEL J  
020007 00020 - GRUNDEN DONALD  
020005 00011 - MEMPHIS RECOVERY CENTERS INC  
020093 00011 - NAPIER WILLIAM F & PAT D  
020008 00009 - LOUIS KIM AND KAI LOUIS (RS)  
020008 00019 - DANIEL JERROLD  
020093 00013 - WOFFORD PETER W  
020007 00011 - TONGA PROPERTIES LLC  
020008 00010 - BRUNO DAVID M SR  
020007 00017 - HUYNH DUY  
020008 00018 - TONGA PROPERTIES LLC  
020093 00014 - TONGA PROPERTIES LLC

020008 00011 - CAO PHONG  
020007 00012 - ROGERS NATHANIEL G & ANNA JOY G  
020007 00016 - TONGA PROPERTIES LLC  
020008 00017 - GORFEL PRODUCTIONS  
020007 00013 - SAENZ AARON  
020008 00012 - COTTONWOOD DEVELOPMENTS LLC  
020008 00015 - GEETER EARTHA I  
020005 00047 - TANGANYIKA ENTERPRISES LLC  
020008 00014 - GIPSON JAYNE P  
020005 00040 - MOORE WILLIAM R SCHOOL OF TECHNOLOGY  
020093 00019 - JORDAN MATTHEW & JULLIES D  
020005 00034 - WHITE KEITH  
020005 00036 - KEY TIMOTHY  
020005 00042 - LOTT RICKEY D AND EDMOND J RUSSELL (RS)  
020093 00020 - DP MEMPHIS PROPERTY I LLC  
020005 00037 - THOMPSON EVERETT M & LAURA H  
020093 00033 - SHELBY COUNTY TAX SALE #83.1 EXH #1121  
020005 00038 - ROBINSON MARK  
020093 00031 - SERENITY RECOVERY CENTERS INC  
020093 00032 - SERENITY RECOVERY CENTERS INC  
020005 00044 - MOORE WILLIAM R SCHOOL OF TECHNOLOGY  
020005 00045 - MEMPHIS RECOVERY CENTERS INC  
020093 00025C - SERENITY RECOVERY CENTERS INC  
020005 00046C - ROBERTS DAVONDA O  
020093 00018 - DOOR OF HOPE INC

020005 00049 - HENDERSON JOCELYN

020023 00021 - BOWDEN MARGARET E

020093 00021C - PERRY JAMES C

020023 00014 - WILLIAMS OREE B AND APRIL W MCLAUGHLIN

020023 00015 - TONGA PROPERTIES LLC

020023 00016 - WOSFR LLC

020003 00017 - CROSSTOWN GROUP LLC

020003 00019 - CROSSTOWN GROUP LLC

020003 00013 - ROBIN ROUND LLC

020003 00002 - TENNISON BROS INC

020003 00004 - BUTLER BEN

020003 00016 - CROSSTOWN GROUP LLC

020003 00015 - FOUR HUNDRED BELLEVUE LLC

020003 00018 - CROSSTOWN GROUP LLC

020003 00010 - CROSSTOWN GROUP LLC

**LETTERS RECEIVED**

Eighteen letters of support and five letters of opposition were received at the time of completion of this report and have subsequently been attached.

The applicant provided an additional letter of response to an opposition letter and that letter has subsequently been attached.

***Letters in Support***

-----Original Message-----

From: Cheryl Hazelton [<mailto:caida@att.net>]  
Sent: Sunday, October 11, 2020 7:41 PM  
To: Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>  
Subject: NHD-20 001

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Mr Ragsdale,

The Speedway Terrace Historic District would like to voice its support for Crosstown's request to protect the historic homes and character within their neighborhood.

Cheryl Hazelton  
1267 Faxon Ave



October 15, 2020  
Memphis Landmarks Commission  
125 N. Main Street, Suite 468  
Memphis, TN 38134

Subject: Crosstown Historic District

Historic homes and neighborhoods are an important part of Memphis. The diverse residents that make up these communities take pride in their homes and value the charm and character of the neighborhood.

The Evergreen Historic District Association supports the Crosstown Neighborhood. Historic conservation district status ensures that the historic nature of the homes in the district are valued and preserved so that the neighborhood and the community can retain its historic charm and character, while also allowing for growth and development.

Thank you for your consideration.

Best Regards,

Jeremy Williams  
1<sup>st</sup> Vice President, Evergreen Historic District Association

DEEPER WALK MINISTRIES, INC.

Memphis City Council Members  
125 N. Main St.  
Memphis, TN 38103

Dear City Council Members:

Deeper Walk Ministers, Inc. purchased the property located at 316 N Bellevue Blvd, Memphis, TN 38105 in the summer of 1991. The building was vacant and uninhabitable. We applied for and were granted a permit to prepare the property for dual occupancy; the first floor to become a ministry center and the second floor a residence. We purchased the property for \$35,000 and spent more than \$100,000 for restoration; our insurance company currently has the replacement-cost coverage at \$450,000.

Restoration of the upstairs residence was completed first in order that my wife and I could move in and satisfy an insurance company requirement. The ministry portion was finished in early November 1992 at which time we began to conduct weekly congregational meetings.

In the very beginning our Ministry established a goal of not only ministering to the spiritual needs of neighborhood residents, but also being a good example by making our property as presentable as funds would allow. For example: For many years we have paid to have our lawn treated 8 times a year. When given the opportunity, we encouraged others to do certain things which could improve the overall appearance of our neighborhood. We often walked and prayed in the neighborhood, asking Father God to bless and help our neighbors in similar ways.

We have seen improvements, but not on the scale we had hoped for. But now, when our immediate neighborhood becomes part of the larger Crosstown Historic District, doors will be opened for many advances. Therefore, we respectfully ask you to approve the application FOR THE CREATION OF A HISTORIC OVERLAY DISTRICT.

Sincerely,



Charles H. Tams

President

316 N. Bellevue Blvd.  
Memphis, TN 38105-4302

Phone: 901-210-7441  
E-mail: [dwalkmin@aol.com](mailto:dwalkmin@aol.com)



October 14, 2020

Dear Commissioners,

This letter is to offer the Central Gardens Association's support for the Crosstown Community Development Corporations application for Historic District status.

The benefits of historic districts are many, including:

- Encouraging better design that enhances the character of a neighborhood.
- Maintaining and enhancing property values.
- Creating positive economic impact by enhancing business recruitment.
- Creating social and psychological benefits by empowering the community's confidence in itself.

We are happy to see another Memphis neighborhood seeking to enhance and preserve its character through thoughtful planning and growth. As such, we offer our full support not only through the application process, but in the future as needed. We hope to soon be welcoming Crosstown into the family of Memphis Historic Districts.

Best regards,

A handwritten signature in black ink, appearing to read "Sharon Shipley".

Sharon Shipley  
President, Central Gardens Association

A handwritten signature in black ink, appearing to read "Shelly Rainwater".

Shelly Rainwater  
Chair, Central Gardens Landmarks Committee  
Vice-President, Central Gardens Association





October 15, 2020

Ms. Ayse Tezel  
Memphis Landmarks Commission  
125 North Main Street, Suite 468  
Memphis, TN 38103

Re: Support for Crosstown Historic Landmarks Designation

Ms. Tezel,  
MidtownMemphis.Org supports the Crosstown Neighborhood in its application for a Historic Overlay Zoning District. The Crosstown Historic District is historically significant for its architecture, geographical location, and community importance.

Because of the lack of historical designation, the Crosstown neighborhood has seen unnecessary demolition of its historic properties. As a result of the ill-conceived plan to extend Interstate 40 through the heart of Midtown, a large swath of vacant land known as the Crosstown Mound divides the neighborhood.

Crosstown's historic designation is critical to ensure the proposed construction of the new proposed Mound infill project is designed as an asset to the neighborhood.

We ask that the Memphis Landmarks Commission (MLC) supports Crosstown Neighborhood in its application for Historic Landmarks Designation.

Sincerely,

A handwritten signature in black ink, appearing to read "A. Kitsinger".

Andy Kitsinger  
MidtownMemphis.Org, Board President

Cc: Porsche Stevens, President Crosstown CDC

EXECUTIVE COMMITTEE

Chip Clay

Mark Fleischer

Andy Kitsinger

Gayle Moore

Porsche Stevens

---

BOARD OF DIRECTORS

Mary Baker

Bill Bullock

J.De Dehart

Desi Franklin

Trace Hollowell

Karen Lebovitz

Jackie Nichols

Larry Robinson

Linda Sowell

Natasha Strong

June West

Octavia Young

---

66 S. Cooper St., Ste. 506  
Memphis, TN 38104

[info@midtownmemphis.org](mailto:info@midtownmemphis.org)

[MidtownMemphis.org](http://MidtownMemphis.org)

[www.facebook.com/MidtownMemphis.MMDC/](https://www.facebook.com/MidtownMemphis.MMDC/)

---

**From:** Holly Jansen Fulkerson [mailto:[holly@memphisheritage.org](mailto:holly@memphisheritage.org)]  
**Sent:** Friday, October 16, 2020 7:56 AM  
**To:** Ragsdale, Brett <[Brett.Ragsdale@memphistn.gov](mailto:Brett.Ragsdale@memphistn.gov)>  
**Subject:** NHD 20-001 Crosstown Historic District

**CAUTION:** This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Hi Brett,

On behalf of Memphis Heritage, I am writing to express our enthusiastic support of the Crosstown Community Development Corporation's application for creation of a Historic Overlay District in the Crosstown neighborhood. The establishment of the Crosstown Historic District will provide the much-needed protection to maintain character and integrity of this vibrant and diverse neighborhood and will provide guidelines for future development and revitalization. We appreciate the Landmarks Commission's favorable consideration of this request.

Best,

Holly

Holly Jansen Fulkerson  
Executive Director

Memphis Heritage, Inc.  
2282 Madison Avenue  
Memphis, TN 38104  
901-272-2727

Memphis City Council Members  
125 N. Main  
Room 514  
Memphis, TN 38103

Dear City Council Members,

I fully support the approval of the Crosstown Historic District.


As a property owner since 2006 of the historic Avery house at 305 N. Montgomery, I have witnessed the incredible process of a neighborhood coming back to life. Approval of the historic district status is critical in providing the essential framework of this revitalization.

To understand the importance of such status, simply look to end of my street. There sits the Crosstown mound. What would Memphis look like today if that mound had been allowed to grow as planned in the late 50's.

The history of Crosstown and the successful struggle to preserve Overton Park and our City's center is inexplicably woven into the District's importance. The Crosstown District has paid the price for past mistakes in the name of progress. It deserves and requires this status.

Please support the proposed Crosstown Historic District and give us the protection and stability our neighborhood will need as it continues to grow and flourish.

Best Regards



Mark McLeod  
305 N. Montgomery Street  
Memphis, TN 38104

**Memphis City Council Members**

125 North Main Street  
Room 514  
Memphis, TN 38103

October, 2020

Dear City Council Members,

As residents, neighbors, or community partners of the proposed Crosstown Historic District, we believe it's important to pursue and value a Historic Neighborhood. We want to appreciate the beauty of this historic and culturally adaptive neighborhood.

The goal for the Crosstown Historic District is to protect the character, the social, and the economic stability of this vibrant and diverse neighborhood.

We support the Crosstown neighborhood, its residents, and its striving businesses as it moves forward to seek historic designation from the Memphis Landmarks Commission and Memphis City Council. Without stopping future developments, revitalization, and economic growth; future changes should not distract from the neighborhood's original character.

Thank you for your time and consideration as we offer our support to the proposed Crosstown Historic District.

Sincerely,

Residents, Neighbors, Community Partners & Friends of the Crosstown  
Historic District

Name: *Rebecca West, PhD*  
Address: *425 Malvern Street*  
Number: *901-626-1000*

**Memphis City Council Members**  
125 North Main Street  
Room 514  
Memphis, TN 38103

October, 2020

Dear City Council Members,

As residents, neighbors, or community partners of the proposed Crosstown Historic District, we believe it's important to pursue and value a Historic Neighborhood. We want to appreciate the beauty of this historic and culturally adaptive neighborhood.

The goal for the Crosstown Historic District is to protect the character, the social, and the economic stability of this vibrant and diverse neighborhood.

We support the Crosstown neighborhood, its residents, and its striving businesses as it moves forward to seek historic designation from the Memphis Landmarks Commission and Memphis City Council. Without stopping future developments, revitalization, and economic growth; future changes should not distract from the neighborhood's original character.

Thank you for your time and consideration as we offer our support to the proposed Crosstown Historic District.

Sincerely,  
Residents, Neighbors, Community Partners & Friends of the Crosstown  
Historic District

Name: *Cecilia Jacob*  
Address: *419 Malvern Street*  
Number: *901-650-3953*

Memphis City Council Members  
125 N. Main St  
Room 514  
Memphis, TN 38103

Dear City Council Members,

#### HISTORIC COMMUNITY

As the fourth generation of my family to live in Crosstown, I support the approval of the Crosstown Historic District. My great grandmother walked to Bellevue Baptist Church. My grandfather hunted quail where the Crosstown Concourse stands. My mother was chased by a cow on the way to school on Bellevue. My father remembered the clip clop of the patrolman's horse as it turned down Montgomery from Poplar in the night, and he turned the seats on the streetcars on Overton Park Blvd when the end of the line was Claybrook before Cleveland was extended.

Crosstown is an old neighborhood that has seen changes, but it remains an active community and meaningful place to live. Despite the crash of a bomber, the intrusion of interstates, and an exploding propane tanker, the homes have remained intact in this hidden neighborhood. I bought and have restored three homes adjacent to my residence that my grandparents built in 1912. As a co-founder of the first Crosstown Neighborhood Association twenty-five years ago, we worked together to maintain the neighborhood. I am delighted that that spirit continues in our diverse neighborhood.

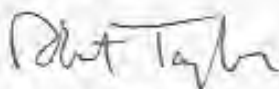
#### TAXES

The Crosstown Mound, constructed for the unbuilt interstate, removed over 40 residences from the tax rolls for 50 years. It is time to rebuild this piece of the neighborhood, but in a way that reknits the fabric of the neighborhood much like what was done in Evergreen. This needs to be done in a way that does not harm the adjacent homes that survived the intrusion. The neighbors who have worked so hard to maintain their homes must have input in this reknitting process so that the tax base is protected. The creation of a Crosstown Historic District would provide a framework for that citizen participation.

#### ANCHOR NEIGHBORHOOD

A huge investment was made in the Crosstown Concourse. It brings amazing new life to an area that was devoid of people after Sears closed. My efforts and the efforts of others need the support that historic district designation brings to assure that our historic community remains a key part of the Crosstown Anchor and a reliable source of property taxes contributing to our city.

Sincerely,



Robert Taylor  
343 N. Montgomery  
Memphis, TN 38104

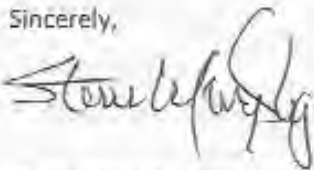
Memphis City Council Members  
125 N. Main St  
Room 514  
Memphis, TN 38103

Dear City Council Members,

We support the approval of a Crosstown Historic District. As a relatively new restaurant in the Crosstown neighborhood, we agree that it's important for the area to maintain its stability. When we bought our building, the doors were open, water was running out the front door, and the roof was on the verge of collapse. We spent a lot of effort and dollars to restore and reuse a derelict building built in the 1920s across from the Crosstown Concourse. We did this because we believe in the strength of the Crosstown neighborhood.

The revitalization of the former Sears building has spurred renewal in the commercial area and renewed interest in the residential neighborhood. Homes are being repaired and restored in the adjacent blocks. The Crosstown businesses need patronage from Crosstown, and we believe granting of historic district status would support the maintenance and positive restoration of lost residential structures. People in a strong neighborhood equal strong business.

Sincerely,



Steve Murphy, Owner & Manager  
The Doghouzz  
1349 Autumn Ave.  
Memphis, TN 38104

**Memphis City Council Members**

125 North Main Street  
Room 51  
Memphis, TN 38103

October 9, 2020

Dear City Council Members,

As residents, neighbors, or community partners of the proposed Crosstown Historic District, we believe it's important to pursue and value a Historic Neighborhood. We want to appreciate the beauty of this historic and culturally adaptive neighborhood.

The goal for the Crosstown Historic District is to protect the character, the social, and the economic stability of this vibrant and diverse neighborhood. We support the Crosstown neighborhood, its residents, and its striving businesses as it moves forward to seek historic designation from the Memphis Landmarks Commission and Memphis City Council. Without stopping future developments, revitalization, and economic growth; future changes should not distract from the neighborhood's original character.

Thank you for your time and consideration as we offer our support to the proposed Crosstown Historic District.

Sincerely,

Residents, Neighbors, Community Partners & Friends of the Crosstown Historic District

Meg Bender  
309 N Montgomery St  
(901) 674-2009

Catherine M. Chilton  
1441 Eastmoreland Ave., Apt. 1  
(901) 405-5114

Emmanuel A. & Jennifer M. Amido  
297 N Montgomery St  
901-619-1764



---

Bianca Phillips  
357 N Watkins

Justin Gillis  
1276 Faxon Ave

William Hanley  
750 North Evergreen Street  
901-461-9166

Jan L. Willis  
1628 Carr Avenue

John Volmer  
1354 Tutwiler Ave

Robert Tillman jr.  
1206 Tutwiler Ave

Virginia Darlington  
668 Hotchkiss Lane - 38104  
901-276-9530

Dr. Barbara Jennings  
1320 Carr Avenue, 38104  
901-276-4268

---

Jacob Juliot & Sydney Sepulveda  
300 Malvern St, 38104  
715-527-0102 & 210-478-2533

Danny McDivitt  
340 Malvern 9013400555

John Swift  
207 N. McNeil 38112  
901-268-3920

Susanne Askew  
Vollintine Evergreen

Ann Sandberg  
1935 Peabody  
Memphis, TN 38104  
901-729-4406

Don Grunden & Brenna Owen  
290 N MONTGOMERY ST  
850-543-3673

Anna Joy & Ivan Tamayo  
294 N Montgomery St.  
901-552-0146

Request to withdraw Parcel #020018-00018C from the Proposed Crosstown Historic District (Case No. NHD 20-001)

Jim Jacobs <jjacobs.pe@gmail.com>

Mon 10/12/2020 7:36 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>

**CAUTION:** This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Dear Ms Tezel and Mr. Ragsdale:

As a property owner, I recently received notice in the mail concerning the October 22, 2020 Public Hearing by the Memphis Landmarks Commission. I would like to speak at the telephonic public hearing in order to object to the inclusion of the Warehouse Garage, LLC property (Parcel #020018-00018C) within the boundaries of the Proposed Crosstown Historic District (Case No. NHD 20-001).

Unfortunately, I will be out of town on October 22, 2020 and I am not certain that I will have either adequate internet service or an adequate cell connection on that date. I will make every effort to stream the proceedings, via YouTube, and to speak at, via mobile phone, the October 22nd public hearing. However I cannot guarantee that I will be successful. For that reason I have included below, within this email, a letter addressed to the Memphis Landmarks Commission containing the points I wish to present if I get the opportunity to speak at the hearing.

Please contact me immediately if my concerns are not clear. (Please leave a voicemail message if I don't answer)

\*\*\*\*\*

***I am seeking an invitation to speak at the Memphis Landmarks Commission Public Hearing on Thursday, October 22, 2020 at 4:00 pm CDT:***

**Name: Jim Jacobs  
Chief Manager, Warehouse Garage, LLC**

**My Mobile Phone Number: 901-212-3892**

**Case Number: NHD 20-001 (Proposed Crosstown Historic District)**

**I will speak *both against and in favor* of the proposed Historic District**

\*\*\*\*\*

Thank you for your assistance.

Best Regards,

Jim Jacobs  
Chief Manager

Warehouse Garage, LLC  
7684 Apple Valley Rd  
Germantown, TN 38138

=====  
To the Members of the Memphis Landmarks Commission:

The partners of Warehouse Garage, LLC are the current owners of the City of Memphis Parcel #020018-00018C (a.k.a. Shelby County Trustee Parcel #020-0180-0-00018-C) located within the West Evergreen Subdivision. The Warehouse Garage LLC partners are respectfully requesting that their property, Parcel #020018-00018C, be withdrawn from the proposed Crosstown Historic District boundaries (Case Number NHD 20-001).

The 0.3-acre Warehouse Garage property consists of a 1930's unimproved 5,000 sq. ft. warehouse and the adjacent small parking lot and private alley/driveway. The property has no real street frontage, on any public street, except for a small driveway entrance located at approximately 422 N Claybrook Street, immediately north of a small apartment building (418 N Claybrook St) and immediately south of the USPS Crosstown Post Office property's southern boundary. Unfortunately, Shelby County records incorrectly list the physical address of the Warehouse Garage, LLC property as 5050 N Claybrook St, Memphis, TN 38104. We have, in the past, made unsuccessful attempts to correct the Shelby County records concerning the property's physical address.

The Warehouse Garage, LLC property is industrial, not residential, and is located on the very eastern boundary of the proposed Crosstown Historic District. The property has been classified as industrial for property tax assessment purposes. The Warehouse Garage property is bounded on the north by the rear side of the Crosstown Post Office property (Post Office frontage is located on Autumn Avenue), and on the east by the rear side of the Memphis Urban League property (frontage located at 413 N Cleveland St) on the southeast by the rear side of the various shops located along the corner of Overton Park Avenue and Cleveland Street. All of these properties are commercial/industrial and are located immediately outside of the proposed Crosstown Historic District boundaries.

The Warehouse Garage, LLC partners are aging and have begun discussions regarding dissolving the LLC and selling the Warehouse Garage property within the next few years. The LLC partners are concerned that, if the property is included within the proposed Crosstown Historic District, it will make future commercial development of the property complex and difficult for future owners. For example, if the property were sold to the Urban League of Memphis, or the USPS or the owner(s) of the any of the strip mall shops located on the corner on Cleveland Street and Overton Park Avenue, then any future property development undertaken by the new owners would likely need to conform to at least two different, and possibly conflicting design and development criteria. We believe this could place an unnecessary and unwarranted burden upon the future owners of the Warehouse Garage property.

The Warehouse Garage, LLC partners have no objections to the adoption of the proposed Crosstown Historic District by the Memphis Landmarks Commission. In fact we believe the adoption of the Historic District may be in the long term best interest of the residential property owners included within the proposed Historic District. However, we also believe it is not appropriate to include our commercial/industrial property parcel within the boundaries of the proposed Crosstown Historic District because our property is adjacent to, and effectively surrounded by, commercial properties located outside of the proposed Crosstown Historic District.  
Thank you for your attention to this matter.

Respectfully,

James Jacobs,  
Chief Manager  
Warehouse Garage, LLC  
7684 Apple Valley Rd  
Germantown, TN 38138

=====

## Crosstown Historic District support (Case No. NHD 20-001)

Todd Richardson <todd@crosstownconcourse.com>

Mon 10/19/2020 9:28 AM

To: Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>; Tezel, Ayse <Ayse.Tezel@memphistn.gov>

**CAUTION:** This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Dear Ayse and Brett,

I am writing to offer support for the historic district application submitted by Jennifer Amido and others related to the Crosstown residential area between Poplar and Autumn, Cleveland and Bellevue. My understanding is that the original map is being revised so that Autumn is the northern boundary and the Autumn parking lot for Concourse is also being removed.

I am always grateful when residents of a neighborhood organize themselves to improve and protect the quality and character of their community. Jennifer and her neighbors have worked hard on the application and as a resident of Crosstown Concourse I applaud and support their efforts. Guidelines such as these are increasingly important with the implementation of Memphis 3.0 and as more emphasis is placed on density over sprawl. I hope their application will be recommended for approval.

Thank you,  
Todd Richardson

## Land Use Control Board letter of support for Crosstown HD

Suzanne I Askew <siaskew@comcast.net>

Thu 12/3/2020 8:58 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>

**CAUTION:** This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

I support the Crosstown Historic District. The Mound should be included in this district. The fact that there have been plans since 1997

for its redevelopment is A TESTAMENT TO A COMPREHENSIVE PLANNING STRATEGY THAT SHOULD MAKE IT A PART OF CROSSTOWN

AND NOT A SEPARATE PRIVATE DEVELOP PROJECT. WE as a city should be about seamless design. The City did a stellar job

with its work on Evergreen Historic District after those homes were removed for I 40 and now it's time to apply the same thoughtful design to Crosstown.

The Mound is integral to that district.

Suzanne I Askew  
901-486-1302 / siaskew@comcast.net  
1875 Jackson Ave  
Memphis, TN 38107

To: Crosstown Historic District

[jenniferamido@gmail.com](mailto:jenniferamido@gmail.com)

From: Vollintine Evergreen Community Association

Dear Jennifer Amido,

Vollintine Evergreen Community Association supports your pursuit of Local Landmarks designation. As your nearby neighbor to the Northeast we applaud your rally to inform and energize your community to benefit the City of Memphis. Real change comes at the neighborhood level so your efforts are very important in taking that step forward. Historic Preservations many benefits should be available for all neighborhoods that qualify. The Crosstown Historic District's important Memphis history and architecture are to be valued and applauded once again by your efforts. As a good neighbor, please let us know how we can help you.

Sincerely,

Lilly Gilkey

President

Vollintine Evergreen Community Association

[lillygilkey@bellsouth.com](mailto:lillygilkey@bellsouth.com)

901-268-6084

## Crosstown Historic District

Nancy <nancybarden@gmail.com>

Thu 2/4/2021 10:54 AM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>

CAUTION: This email originated outside of the City of Memphis organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

I am writing you today in support of protecting the Crosstown Historic District.

We need to protect what makes Memphis, Memphis!

The Crosstown neighborhoods need to be preserved and protected with proper guidelines that keep them safe "big development".

I hope my voice and the many others have shown that we, "Memphians" want our historic neighborhoods protected.

Thank you  
Nancy Barden



## Support Local Landmarks status for Crosstown Historic District

Emily Graves <emilytgraves@gmail.com>

Thu 2/4/2021 12:19 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>

**CAUTION:** This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Dear Ms. Tezel,

Please accept this letter as support for the proposed local landmarks designation for the Crosstown Historic District.

This historic community consists primarily of single-family homes built in the early 1900s in a wide array of architectural styles that still mesh beautifully with one another to create a cohesive neighborhood. Very few communities can boast so much architectural diversity, from Queen Anne to Craftsman to Colonial Revival. This neighborhood is enjoying a resurgence, thanks in no small part to the world-renowned Crosstown Concourse revitalization, and the neighborhood deserves protection and preservation now and in the future.

Warm regards,

Emily Graves, MD, FACS  
1412 Carr Ave  
Memphis, TN 38104  
(901) 258-4613 (cell)

**Letters in Opposition**

**KATHY BAKER TENNISON  
ATTORNEY AT LAW**

8295 Tournament Drive  
Suite 150  
Memphis, TN 38125  
Tel. 901.969.4507  
Fax 800.884.6614

*Kathy@bakertennisonlaw.com*  
*www.bakertennisonlaw.com*  
MS: P.O. Box 79  
Walnut, MS 38683  
MS Tel. 662.331.9332

October 15, 2020

**VIA ELECTRONIC MAIL ONLY**

**LETTER OF OPPOSITION**

Brett Ragsdale  
Ayse Tezel  
Memphis Landmarks Commission  
[Brett.ragsdale@memphistn.gov](mailto:Brett.ragsdale@memphistn.gov)  
[Avse.tezel@memphistn.gov](mailto:Avse.tezel@memphistn.gov)

Re: Proposed Historic District Designation: Crosstown  
Case No. NHD-20-001

To whom it may concern:

Please be advised that I represent Tennison Brothers, Inc. My client owns real property within the proposed historic district designation at 450 N. Bellevue Boulevard. My client opposes the inclusion of their real property within the proposed historic district. The boundary for the proposed historic district has been arbitrarily drawn to include my client's commercial property and two adjacent commercial properties.

The application only refers to my client's property stating "[t]here is more data about homes on Bellevue Avenue, the Tension (sic) Brothers, other commercial properties and the surrounding neighborhoods that have not been included at this time". The application offers no basis for including my client's active business within this historic district. It is improper to place restraints upon my client's commercial property when the criteria applicable to a historic district as asserted in the application are not applicable to their property. I urge the commission to deny the application and/or alter the boundaries of the application to remove my client's property from the proposed historic district.

Finally, I request to be heard in opposition to the application on my client's behalf at the meeting on October 22, 2020. I plan to call from telephone number 901-634-6765.

Thank you for your attention to this matter.

Sincerely,



Kathy B. Tennison

cc: Andy Tennison

Crosstown Mound Development Group

October 21, 2020

Brett Ragsdale  
Ayse Tezel  
Memphis Landmarks Commission  
[Brett.Ragsdale@memhistn.gov](mailto:Brett.Ragsdale@memhistn.gov)  
[Ayse.tezel@memphistn.gov](mailto:Ayse.tezel@memphistn.gov)

RE: Proposed Crosstown Historic District Designation  
Crosstown Case No. NHD-20-001

The Crosstown Mound Development Group is in opposition to the proposed Historic District designation for the Crosstown Neighborhood as submitted. We believe that Historic District designation can be a useful tool in guiding development so that new development is in harmony with the existing. However, we have confidence in our existing building codes and current land use and development standards. We believe that existing guidelines will succeed in guiding development so that land uses and associated building standards are in sync with the community while allowing for agility, innovation and holistic community development practice.

The Crosstown Mound Development Group consists of a team of Builders, Developers and Architects with more than 100 years of land development experience collectively. Many successful land development projects throughout the City of Memphis were influenced and or lead by individuals from this group. The City of Memphis has granted this group the right to develop the Crosstown Mound property which is described as an approximately 9-acre parcel of land located at the center of the proposed Crosstown Historic District. The intent of the Crosstown Mound Development Group is to develop this unique property so that it stands as a beacon of excellence by exploring progressive development strategies that will be equitable for the Crosstown Neighborhood, nearby communities as well as Memphis.

The process granting the group development rights for the Mound over the last year or so involved submittal of a formal development plan that included a narrative, a site plan and building elevation samples. The process also involved a public meeting and several follow-up meetings with City Officials and Staff. We continue to fine tune the plan so that we consider all of the ideas generated in an effort to maximize on the success of this project. With that, we further understand that this project will likely go forward as a Planned Development which will offer an even more robust exchange of ideas.

A primary objective of the Crosstown Development Group is to “knit” the neighborhood back together, this notion has been a driving force of our concept. The Mound is currently separated from the community by its elevation change, the intent is to reverse this separation and reposition the Mound to be a part of the Crosstown Community and a part of Memphis, not disconnected or designated as a special district separate and apart from neighboring communities.

We believe that the success of the Crosstown Mound has the potential of adding to the momentum of Crosstown but also bolster the efforts of close by neighborhoods such as Klondike and Smokey City.

Historic designation and Landmarks Commission Certificate of Appropriateness would not be relevant to this project. The site is currently vacant; the proposed future land uses for the property are primarily residential. The knowledgeable staff of OPD and its tireless efforts to continuously modify the living and breathing UDC to aptly address the growing demands of equitable development as well as the recently approved Memphis 3.0 will offer suitable and unencumbered development guidance and process.

Although we understand that historic designation can help to preserve character and standardize the built environment we believe that this designation is not applicable to the unique challenges and opportunity promised by Crosstown Mound.

The Crosstown development group respectfully offer these comments related to the proposed Historic Neighborhood designation for Crosstown. The Group is committed to build equity for its crosstown neighbors and we strongly believe that we have an opportunity to also build equity for Memphis.

Sincerely,

Crosstown Mound Development Group

Carson Looney, Looney Ricks Kiss

Gregory Love, Land Planner

Tim Dagastino, W.H. Porter Engineers

Eddie Kircher, Eddie Kircher Construction

Mack Andrews, Mack Andrews Homes

Ed Apple, City Cottages

Chris Dickens, Dickens Built

Walker Uhlhorn, Uhlhorn Brothers Construction

**Crosstown Mound Development Group's Opposition Withdrawal Letter**

**Crosstown case # NHD-20-001**

eddie@kircherllc.com <eddie@kircherllc.com>

Thu 2/4/2021 12:20 PM

To: Tezel, Ayse <Ayse.Tezel@memphistn.gov>; Ragsdale, Brett <Brett.Ragsdale@memphistn.gov>  
Cc: Young, Paul <Paul.Young@memphistn.gov>; edapple@applepartners.us <edapple@applepartners.us>;  
wuhlhorn10@yahoo.com <wuhlhorn10@yahoo.com>; 'Carson Looney' <clooney@lrk.com>; 'Gregory Love'  
<gregory.love40@gmail.com>; 'Dickins, Chris' <chris@dickensbuilt.com>; MACKANN@aol.com <MACKANN@aol.com>;  
tdagastino@whporter.com <tdagastino@whporter.com>; Jennifer Amido <jenniferamido@gmail.com>; Jackson, Lindsay  
<Lindsay.Jackson@memphistn.gov>; Borys, Mary <Mary.Borys@memphistn.gov>

**CAUTION:** This email originated outside of the **City of Memphis** organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

---

Dear Ms. Tezel and Mr. Ragsdale,

Please let this email be confirmation that we the Crosstown Development Group and associates formally withdraw and retract our letter of opposition dated October 10,2020 on page 86 of the application.

Respectfully,

Eddie Kircher  
Crosstown Development Group

Cc:  
Carson Looney  
Gregory Love  
Tim Dagastino  
Eddie Kircher  
Mack Andrews  
Ed Apple  
Chris Dickens  
Walker Uhlhorn

**KATHY BAKER TENNISON  
ATTORNEY AT LAW**

**8295 Tournament Drive  
Suite 150  
Memphis, TN 38125  
Tel. 901.969.4507  
Fax 800.884.6614**

***Kathy@bakertennisonlaw.com*  
*www.bakertennisonlaw.com*  
MS: P.O. Box 79  
Walnut, MS 38683  
MS Tel. 662.331.9332**

November 13, 2020

**VIA ELECTRONIC MAIL ONLY**

Brett Ragsdale  
Ayse Tezel  
Memphis Landmarks Commission  
[Brett.ragsdale@memphistn.gov](mailto:Brett.ragsdale@memphistn.gov)  
[Ayse.tezel@memphistn.gov](mailto:Ayse.tezel@memphistn.gov)

**REQUEST FOR EXCLUSION  
OF PROPERTY FROM  
PROPOSED DISTRICT**

Re: Proposed Historic District Designation: Crosstown  
Case No. NHD-20-001  
1201 E. Autumn Avenue

To whom it may concern:

Please be advised that I represent Tennison Brothers, Inc. My client owns real property at 1201 Autumn Avenue within the proposed historic district boundaries. My client's primary business location at 450 N. Bellevue Blvd. is not within the proposed district, however, their adjacent property used for storage at 1201 Autumn Avenue remains within the proposed district.

The property at 1201 Autumn Avenue is on the boundary of the proposed district. My clients are concerned that inclusion of their property within the proposed Crosstown Historic District places unnecessary restraints and restrictions on their property. My client is unaware of any historical value to this property and knows of no reason to include this property in the proposed district. The property is adjacent to, and effectively surrounded by, commercial properties located outside of the Crosstown Historic District.

I urge the commission to alter the boundaries of the application to exclude my client's property from the proposed historic district.

Thank you for your attention to this matter.

Sincerely,



Kathy B. Tennison

cc: Andy Tennison



JIM STRICKLAND  
MAYOR

DIVISION OF HOUSING &  
COMMUNITY DEVELOPMENT

November 24, 2020

John Zeanah  
Director  
Memphis & Shelby County Division of Planning & Development  
125 N. Main Street, Suite 443  
Memphis, TN 38103

Re: NHD 20-001 – Crosstown Historic District

Dear Director Zeanah:

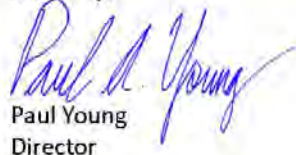
The City of Memphis Division of Housing and Community Development (HCD) is requesting the exclusion of the 9.692-acre parcel located at the southeast corner of Bellevue Boulevard and Overton Park Avenue known as “Crosstown Mound” from the proposed Crosstown Historic District. The City issued a Request for Qualifications on February 13, 2019 for the Crosstown Mound Redevelopment Project (*Solicitation No: 39262*). Two groups were selected from this process and a public meeting was held on July 29, 2019 to introduce the community to the developers and receive feedback from the public on the proposed projects. After receiving feedback from the community, the Crosstown Mound Development Group was formed through a merger of the two proposing groups, and the City has been working with the team on the development plan, site plan, and dirt removal process. The 20-foot dirt mound on the site presents a unique challenge, with significant cost implications (current estimate for dirt removal is \$2-3 million). The proposed Crosstown Historic District could have the unintended consequence of negatively impacting the financial feasibility of this difficult project.

Currently, the property is zoned R-15 for residential uses, but the proposed future land uses will conform with the recent comprehensive plan, Memphis 3.0. As you know, Memphis 3.0 is a roadmap for how the City can grow over the next 20 years and in our third century. This new growth policy focuses on density, redevelopment, and reinvestment in anchor areas of the core city and neighborhoods. The comprehensive plan also calls for connectivity of people, jobs, businesses, and infrastructure and expanding equity and opportunity to communities across the city. Memphis will build up, not out, meaning reinvesting in existing places. Crosstown Mound is a jewel for infill development, to be repurposed for higher and better uses than its current state. Crosstown Mound is within an accelerate anchor neighborhood. Accelerate actions rely on a mix of primarily private and philanthropic resources along with some public resources to intensify the existing pattern of a place. Crosstown Mound Development Group is proposing a mix of residential uses along with a co-working space and park space that will be accessible for all residents. The proposed project will increase density, provide connectivity, increase a mix of uses, and promote and protect affordable housing, all aligned with Memphis 3.0.

The proposed design guidelines with historic designation and requirement of a Certificate of Appropriateness are not suitable for the 9.692 acres, as it limits new construction with very strict guidelines that could be detrimental to the project, especially with the costly dirt removal component. If the intent of the proposed design guidelines is not to freeze the appearance of the neighborhood in time, but to guide future growth and development, we respectfully request the ability to do just that by excluding this parcel from the historic district. This site presents an opportunity to implement Memphis 3.0 and make a significant economic impact to the City. HCD is highly supportive of the preservation of existing homes and structures within Crosstown, however for this larger parcel of land, we would like to utilize existing UDC, Midtown Overlay District, and the new Memphis 3.0 comprehensive plan to guide future development. Furthermore, the proposed development will go through the Planned Development process, which will provide additional public meetings and require approval from Land Use Control Board and City Council. The Division of Housing and Community Development will continue to conduct additional outreach in advance of the required public hearings.

Thank you for your time and effort in review of the Crosstown Historic District User Guide and Architectural Design Guidelines. In advance of your next hearing, we plan to reach out to those who made public comments in opposition of Crosstown Mound's exclusion from the Crosstown Historic District during the Memphis Landmarks Commission meeting on November 19, 2020. If you have questions or need additional information, please do not hesitate to contact me at (901) 636-7308 or [paul.young@memphistn.gov](mailto:paul.young@memphistn.gov).

Sincerely,



Paul Young  
Director

cc: Josh Whitehead, Administrator, Office of Planning & Development  
Mairi Albertson, Deputy Director, HCD



**MARTIN, TATE, MORROW & MARSTON, P.C.**

ATTORNEYS AND COUNSELORS  
INTERNATIONAL PLACE, TOWER II  
SUITE 1000  
2410 POPLAR AVENUE  
MEMPHIS, TENNESSEE 38119-4839

**J. LEWIS WARDLAW**

LWARDLAW@MARTINTATE.COM

LICENSED IN TENNESSEE  
LICENSED IN ARKANSAS

TELEPHONE (901) 522-8000  
FAX (901) 527-3748

MIDDLE TENNESSEE /  
NASHVILLE OFFICE

P.O. Box 168  
200 MAIN AVENUE  
LEWISBURG, TN 38484

December 2, 2020

To the Honorable Members of the Land Use Control Board

Re: NDH 20-001 (CTHD)  
Crosstown Historic District request for New Historic District Designation

Dear Board Members:

I represent Memphis Recovery Centers, Inc. ("MRC"). My client and I first appeared on this issue at the November 19, 2020 Landmarks Commission meeting. MRC requests only that the following MRC properties be excluded from the Historic Overlay District: 1234 Poplar Avenue (Parcel IDs 020005 0018, 020005 0039, 020005 00045), 219 N. Montgomery Street, and 272 N. Bellevue (Parcel ID 02005 0001) – shown in context below on the Proposed Historic District Map, made Page 2 of the Office of Planning and Development Staff Report.



**MARTIN, TATE, MORROW & MARSTON, P.C.**

December 2, 2020

Page 2


While MRC's very existence is omitted from Crosstown Historic District's request for historic district, MRC is a vital member of Memphis' fabric and is critical to the health of the community. The location at 1234 Poplar has been used as a residential alcohol and drug addiction treatment center since 1974. MRC is a force for good in Memphis and has been for decades, but the reality is that MRC serves people in their most desperate hour, including youth in state custody and adults in crisis. As a result MRC has a chain-link fence with razor wire on several of its properties. It has other peculiarities of its business that are intended to meet its mission. These peculiarities of its mission are grandfathered in, but are now threatened. Landmark Commission members noted the institutional nature of the MRC campus and its complete lack of contributing structures.

Confining MRC within the proposed Crosstown Historic District would have disastrous financial consequences for MRC and would jeopardize its patients and the mental health of the Memphis family. Should the historic designation be approved to include MRC, along with the attendant restrictions on design, repairs, modifications, new-construction, etc., it would be very restrictive and very expensive, stretching MRC's razor-thin budgets beyond the breaking point.

The Office of Planning and Development has recommended approval. The Landmarks recommended approval as well, with the stated intent that a property-by-property assessment could be made by the Land Use Control Board. This process has begun. As set forth in the Staff Report on pages 56 & 47 "certain commercial and industrial properties were excluded from the proposed historic district," including for example, an iconic Memphis institution – William R. Moore College of Technology – adjacent to the MRC properties and similar to MRC in its institutional nature and budgetary constraints. William R. Moore College is excluded for the same reasons set forth by MRC, yet MRC is held captive by the applicant without similar consideration for exclusion. Our position is that MRC's properties should be excluded so that the vital residential alcohol and drug addiction treatment it provides can continue for decades to come. To that end, we ask that you exclude 1234 Poplar Avenue, 219 N. Montgomery St., and 272 N. Bellevue from the proposed overlay. To do otherwise would create and undue economic hardship on MRC and jeopardize its mission.

Do not hesitate to call me at 901-258-0025 if you have any questions or need anything further from me

Very truly yours,



Lew Wardlaw

***Applicant's Response to Crosstown Mound Development Group's Opposition Letter***

To: Crosstown Mound Development Group:  
Carson Looney  
Gregory Love  
Tim Dagastino  
Eddie Kircher  
Mack Andrews  
Ed Apple  
Chris Dickens  
Walker Uhlhorn

From: Applicants of the Proposed Crosstown Historic District - Jennifer M. Amido  
& Crosstown CDC: President Anna Joy Tomayo

Dear: Crosstown Mound Development Group,

We would like to thank you for your time and consideration and the many hours the planners, developers, and staff have contributed to planning the future development of the Crosstown Mound. However, we have significant concerns that have yet to be addressed in regards to those developments. We have read the letter of opposition and offer our response as indicated below. We look forward to more initial dialogue in the future in regards to the Proposed Crosstown Historic District. Please see "**Response**" below:

The Crosstown Mound Development Group is in opposition to the proposed Historic District designation for the Crosstown Neighborhood as submitted. We believe that Historic District designation can be a useful tool in guiding development so that new development is in harmony with the existing. However, we have confidence in our existing building codes and current land use and development standards. We believe that existing guidelines will succeed in guiding development so that land uses and associated building standards are in sync with the community while allowing for agility, innovation and holistic community development practice.

**Response:** We agree that a Historic Designation is a useful tool in guiding growth so that new development is in harmony with existing. But it is also worth noting that many variances to the Unified Development CODE have been requested by the Group for various developments in midtown. Based on public records, requests for variances were granted on: BOA 2019-064, BOA 2019-074, and BOA 2019-2018. These are just three examples. These actions clearly contradict the Group's confidence in the current building codes of the UDC.

Without the historic guidelines in place, the Group is granted variances to develop outside existing UDC. The Crosstown Community not only wants to stay within the UDC code set by the

City of Memphis, but the community is pursuing Historic designation with guidelines that would ensure new construction and exterior alterations maintain similar craftsmanship and quality to the original housing styles found in Crosstown.

The Crosstown Mound Development Group consists of a team of Builders, Developers and Architects with more than 100 years of land development experience collectively. Many successful land development projects throughout the City of Memphis were influenced and or lead by individuals from this group. The City of Memphis has granted this group the right to develop the Crosstown Mound property which is described as an approximately 9-acre parcel of land located at the center of the proposed Crosstown Historic District. The intent of the Crosstown Mound Development Group is to develop this unique property so that it stands as a beacon of excellence by exploring progressive development strategies that will be equitable for the Crosstown Neighborhood, nearby communities as well as Memphis.

**Response:** We have seen the impeccable work by the developers. We do not disagree with the great successes of the builders, developers, and architects, but the "right of development" does not indicate the right of ownership. The term "right of development" is misleading, since this must be in reference to the Letter of Intent and RFP process between the City of Memphis and this Group. So this right of development is merely in reference to the Request For Proposal. There is also no public news indicating a "Notice of Intent to Award" for development of the Mound.

However, if the Crosstown Development Group would like to claim "rights to development", we would also ask the Group to claim rights to maintain the property. No effort by the Group has been made to maintain the property - such as mowing the regularly overgrown 9 acres, cleaning debris and trash on the property, and coordinating with the community and city to ensure safety measures are in place. However, with recorded events dating back to the 1990s, the Crosstown Neighborhood Association and the CDC have worked with the city and Crosstown residents to maintain the mound, indicating that the neighborhood and its residents as well have a right to make plans for future development regarding the mound, including pursuing Historic District status.

While we agree that the "intent to develop" is to serve as a "beacon of excellence". This intent to develop needs to occur with community input in order to be a "beacon of excellence".

The process granting the group development rights for the Mound over the last year or so involved submittal of a formal development plan that included a narrative, a site plan and building elevation samples. The process also involved a public meeting and several follow-up meetings with City Officials and Staff. We continue to fine tune the plan so that we consider all of the ideas generated in an effort to maximize on the success of this project. With that, we further understand that this project will likely go forward as a Planned Development which will offer an even more robust exchange of ideas.

**Response:** It is correct that "a public meeting" was held on July 29, 2019, in regards to the future development of the Crosstown Community. However this **one** public meeting was conducted by the City of Memphis, not by the proposed Group. The public meeting was packed, with limited standing room, with many Crosstown residents and neighboring communities. However, there was not one representative from the Group to speak at this meeting to answer the questions residents and neighboring communities were relentlessly directing at Director Paul Young.

Since the one public meeting, the Group has made no effort to dialog with community organizations such as the Crosstown CDC, the Neighborhood Association, and residents currently living within the Proposed Crosstown Historic District.

As stated above the group indicates it will "*continue to fine tune the plan so that we consider all of the ideas generated in an effort to maximize the success of this project.*" The Crosstown community has significant data from ideas generated within the community in regards to this plan. After the last and only public meeting in 2019, there was significant pushback from the community regarding the future planned developments of the Mound by the developers, and we have taken the responses and concerns from our own neighbors and collectively pushed forward with pursuit of the Historical Guidelines that we deem necessary and crucial for the future stability of our neighborhood.

A primary objective of the Crosstown Development Group is to "knit" the neighborhood back together, this notion has been a driving force of our concept. The Mound is currently separated from the community by its elevation change, the intent is to reverse this separation and reposition the Mound to be a part of the Crosstown Community and a part of Memphis, not disconnected or designated as a special district separate and apart from neighboring communities.

**Response:** We understand if the Group's primary objective is to "knit the neighborhood back together", however we are looking for developers and skilled architects to come alongside the community, as the community and its organizations within are the driving force for community change, not developers with savior-mentality complexes planning to "knit us back together". We would like to invite the Group to become a part of this neighborhood and our surrounding community as we dialogue about present and future developments.

While it is correct, the mound does provide a physical elevation, it is not a cause for community separation. On the contrary, the mound has drawn community together, despite its physical elevation. Prime examples of this would be: Mound Clean Up Days, "Meet at the Mound Hot Cocoa Day", Neighbors taking ownership over the Mound Maintenance, Community engagement from NextDoor polls and surveys regarding the Mound. All of which have drawn the community together. These ideas have been led by people within the community. The

mound is a part of our district and a part of our history. In regards to historical significance of the Mound, please refer to the Crosstown Historic District Application on the Landmarks website.

We believe that the success of the Crosstown Mound has the potential of adding to the momentum of Crosstown but also bolster the efforts of close by neighborhoods such as Klondike and Smokey City.

**Response:** The KSCCDC is already a driving force for positive change and community engagement without the success of Crosstown Mound. Crosstown residents have the honor of participating in their events, and we will continue to be actively engaged with their CDC, and likewise them with the Crosstown CDC. However, the development and success of the Crosstown Mound is not a factor for the continuation and momentum the Klondike Smokey City already has in place, they are actively engaged and building their community.

In regards to location, our neighboring communities, and in some cases separated by only one commercial street are Evergreen [Historic District](#), Speedway Terrace [Historic District](#), Victorian Village [Historic District](#), Annesdale [Historic District](#), Central Gardens [Historic District](#), Vollintine Evergreen [Historic District](#), and Cooper-Young [Historic District](#). Many of which have written letters of support for the Proposed Crosstown Historic District because the districts realize we share similar development in regards to houses built between 1890s-1925. Apart from the historical development of the actual homes in the Crosstown neighborhood, we also have significant geographical location to the city, and rich history dating back to the 1850s that has helped shape and "pave" the way for the expansion of Memphis, such as the cobble stones that were once used to expand Poplar Avenue, which were later taken up and used to build the Montgomery Street Library. For a brief history related to Henry A. Montgomery, using his own finances to pave Poplar with cobblestones and the Montgomery Library, refer to the Proposed Crosstown Historic District Application, or the Memphis Library Archives, Dig Memphis.

Please see the map below indicating the geographical location of the surrounding Historic Districts to the Proposed Crosstown Historic Neighborhood.



Historic designation and Landmarks Commission Certificate of Appropriateness would not be relevant to this project. The site is currently vacant; the proposed future land uses for the property are primarily residential. The knowledgeable staff of OPD and its tireless efforts to continuously modify the living and breathing UDC to aptly address the growing demands of equitable development as well as the recently approved Memphis 3.0 will offer suitable and unencumbered development guidance and process.

**Response:** The relevance to this project is extremely important because of the very fact that the land is currently vacant. This allows for the community within the district and surrounding the district an active voice in participating regarding the types of future development and exterior alterations to rehab projects in our neighborhood. While the Group can afford the time and resources to adapt a plan according to the feedback from the Crosstown Community, the Crosstown Community can not afford for developments to differ from the architectural and historical significance of our neighborhood. These developments have a long standing effect on the future success of the surrounding homes.

While good intentions it might be, the Crosstown Community does not need unencumbered development. A gated community within the Crosstown neighborhood on the East side of N. Claybrook Street between Peach Avenue and Larkin, is an example of unencumbered development where variances were allowed. These homes were built after the UDC was put into action in 2012. However, like many developers who operate outside of the Landmarks Commission, variances are allowed. As stated above we have already indicated examples where the Group has asked for many variances to the CODE for their own developments within midtown.

Please see the photo below regarding the new construction built after the adoption of the UDC. The materials of the new construction are not indicative of a historic neighborhood nor similar in any elevation, material, scale, mass, style, (including door and window mass and scale) to the houses directly across the street from them. The new houses also include attached garages.



While directly across the street on the West side of N. Claybrook, within the Proposed Crosstown Historic District, the traditional 1920's Bungalow Style are constructed of only brick, limestone, and stucco material, with large windows with exterior grid patterns, large columns covering porches at least 8 feet in length, and a traditional brick chimney, and no attached garage.





Although we understand that historic designation can help to preserve character and standardize the built environment we believe that this designation is not applicable to the unique challenges and opportunity promised by Crosstown Mound.

The Crosstown development group respectfully offer these comments related to the proposed Historic Neighborhood designation for Crosstown. The Group is committed to build equity for its crosstown neighbors and we strongly believe that we have an opportunity to also build equity for Memphis.

**Response:** We also know that Historic Designation encourages people to buy and rehabilitate properties because they know their investment is protected over time. Research has proven that properties within local historic districts appreciate at rates greater than the local market overall as well as faster than similar, non-designated neighborhoods (National Park Services, 2000). It will encourage the use of sustainable materials and better quality designs that require the skill set that the developers and architects of the Group already have. The Proposed Crosstown Historic District can be a tangible link to the past and a way to bring meaning to history and to people's lives. Historic Districts are a living, active record of communities and their residents. Crosstown is a Vibrant Core Neighborhood to the City of Memphis, as indicated in the Memphis 3.0 initiative, but without guidelines in place to ensure rehabilitation and future development efforts are made inline with the proposed design guidelines, the neighborhood standards will suffer. To oppose the Historic Guidelines solely for the sake of developing the mound, is in opposition to protecting, and enhancing the structures of this historical, cultural, architectural and geographical location to the City of Memphis.

We also believe in a holistic approach to development, and as such we want to work with developers and the Group, in conjunction with the feedback from our community, to find creative solutions for all development needs, and ensuring "all ideas are generated" in order to be a "beacon of excellence", within the Proposed Crosstown Historic District.

Sincerely,

Applicants of the Proposed Crosstown Historical District & Crosstown CDC

Resources:

National Park Services, 2000

<https://www.nps.gov/tps/education/workingonthepast/benefits.htm>



**APPLICATION  
FOR THE CREATION OF A  
HISTORIC OVERLAY DISTRICT**  
*(Application for inclusion in the jurisdiction  
of the Memphis Landmarks Commission)*

**NAME OF PROPOSED DISTRICT:** Crosstown Historic District  
Jennifer M Amido  
**APPLICANT:** \_\_\_\_\_  
**ADDRESS:** 297 N Montgomery St  
901-619-1764 **PHONE:** \_\_\_\_\_ **EMAIL:** JenniferAmido@gmail.com

**ADDITIONAL APPLICANT (if applicable):**  
Crosstown Community Development Corporation  
\_\_\_\_\_  
**ADDRESS:** \_\_\_\_\_  
**PHONE:** \_\_\_\_\_ **EMAIL:** info@crosstownmemphiscdc.com

**CLASSIFICATION (check one):**  
**SINGLE BUILDING OR SITE**   
**MULTIPLE BUILDINGS OR SITES**

**APPLICANT SIGNATURE:** Jennifer M Amido **DATE:** 8/11/2020

## APPLICATION CHECKLIST

- Historic Overlay District Application (the first two pages of this form)
- Map of Proposed District (including boundary of district, parcel lines, streets, railroads and natural waterways)
- List of All Parcel Numbers within the Proposed District
- 3 Sets of Envelopes with First Class Postage and Mailing Labels for all Property Owners within the Proposed District
- 10-24 Color Photos Showing Representative Properties within the Proposed District
- One Copy of the Design Review Guidelines for the Proposed District
- Evidence of Two Neighborhood Hearings (see Sec. V.B(2) of the Commission's Bylaws)
- Signs (these shall not be filed with the application but instead shall be posted by the applicant no later than ten days prior to the Landmarks Commission meeting)

**PHYSICAL DESCRIPTION OF PROPERTY** (please include additional pages if needed):  
Please see attached PDF

**STATEMENT OF HISTORICAL SIGNIFICANCE** (please include additional pages if needed):  
Please see attached PDF

1890s-1925

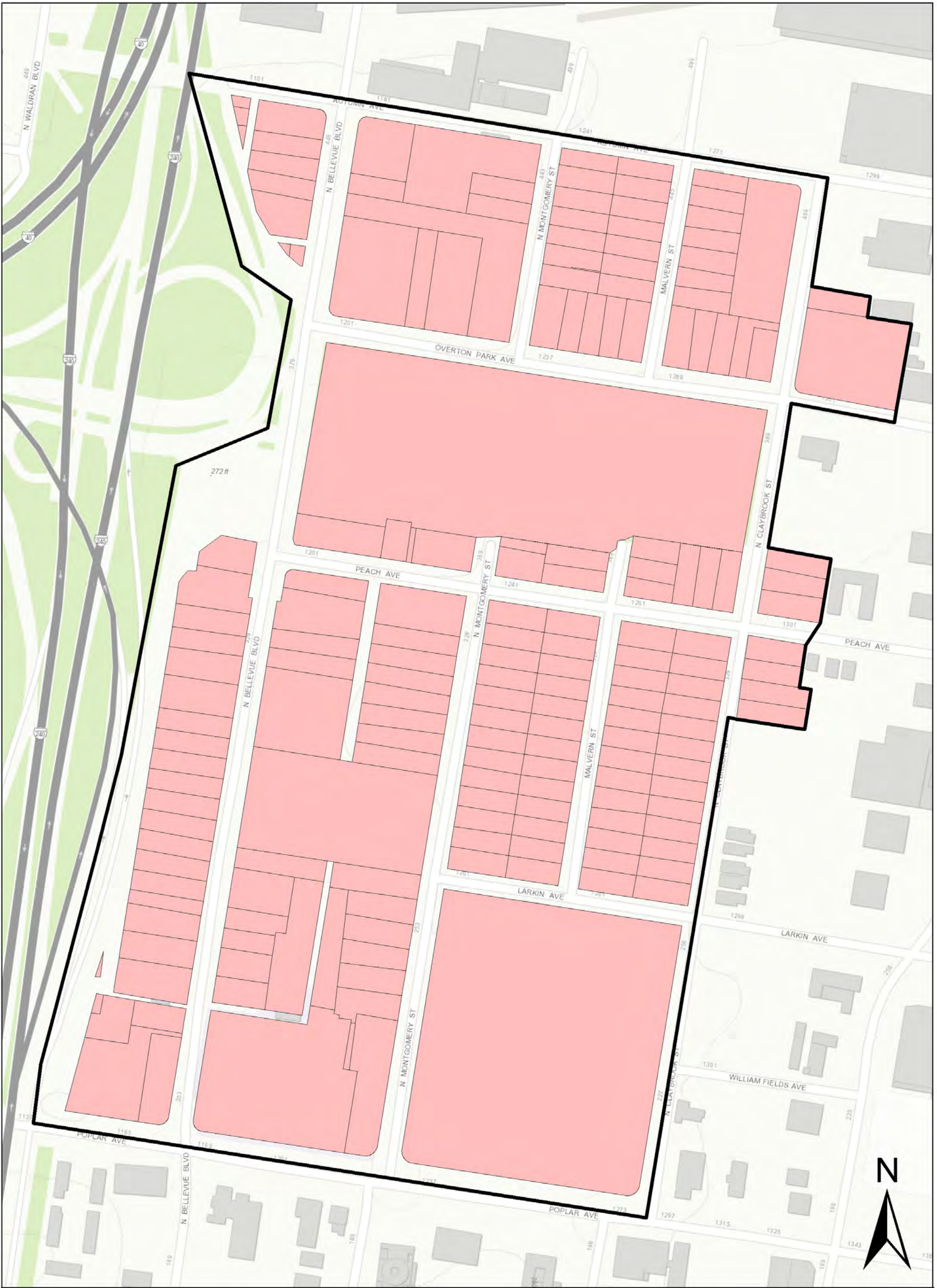
Date (or period) of Construction:

Prominent Architect(s)/ Builder(s):

---



The wide variety of architectural styles includes: cornice heights and massing, and the characteristic use of such details as front porches, bay windows, porte cocheres, and leaded glass. The building materials include brick, limestone, stucco, clapboard, and wooden shingles, with many houses constructed of a mix of two or three of these. Principal styles also include Colonial Revival, Craftsman, Mediterranean, Prairie, Queen Anne, and Shingle

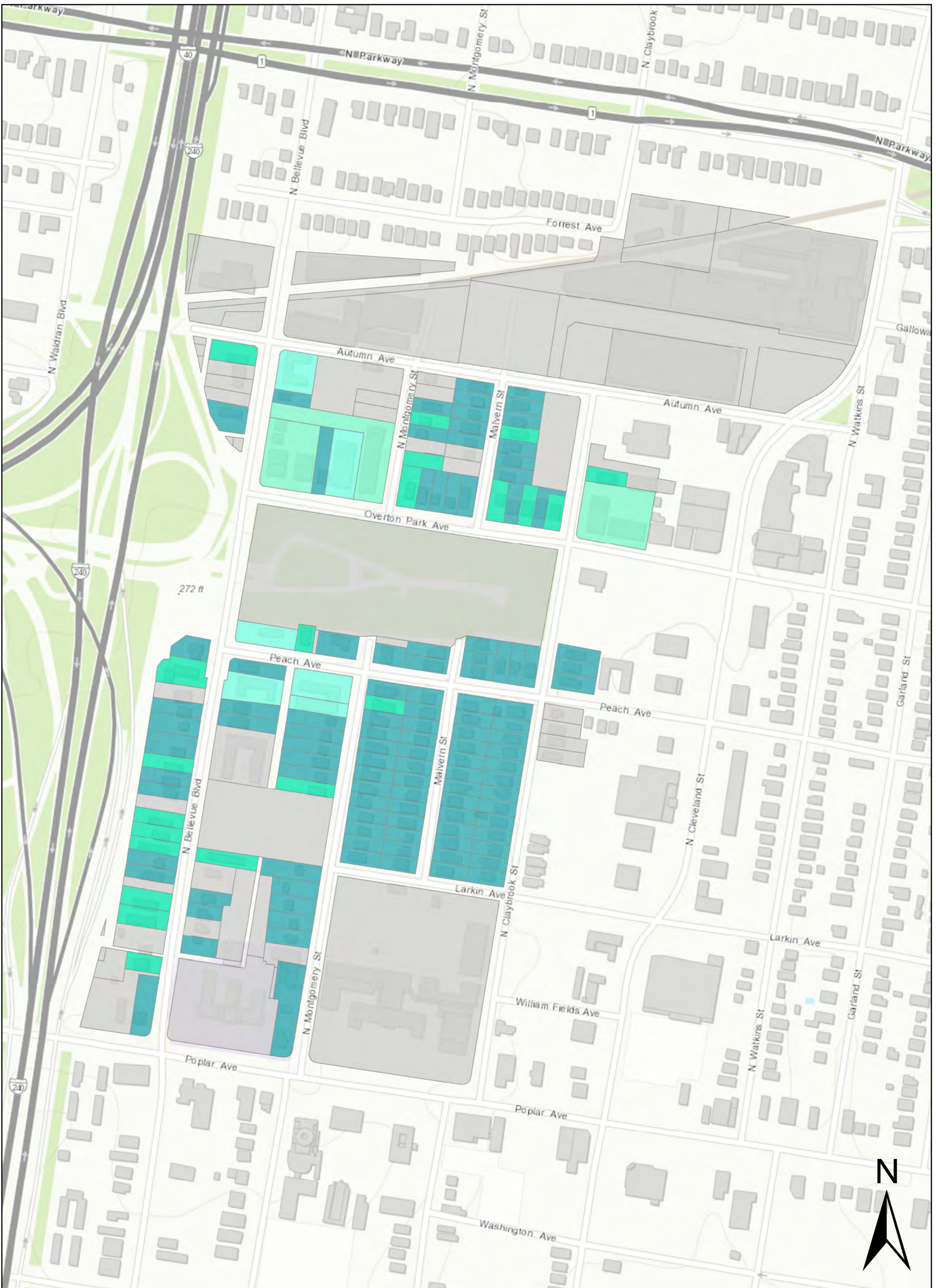
---



## Proposed Crosstown Historic District

### Legend

-  Historic District Proposed Boundary
-  Parcels inside Proposed Historic District



## Proposed Crosstown Historic District

### Legend

<b>Living Units</b>	<span style="display: inline-block; width: 15px; height: 15px; background-color: #008080; border: 1px solid black;"></span> Single Family	<span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> 10 to 20
	<span style="display: inline-block; width: 15px; height: 15px; background-color: #00FF00; border: 1px solid black;"></span> 2 to 9	<span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> More than 20
	<span style="display: inline-block; width: 15px; height: 15px; background-color: #A9A9A9; border: 1px solid black;"></span> Other	

### Notes:

PHYSICAL DESCRIPTION OF PROPERTY (please include additional pages if needed):

The proposed Crosstown Historic District Neighborhood is composed of approximately 12 blocks, 134 structures and 90.68 acres in Midtown Memphis. The great majority of the structures are single-family residences built between 1890's-1923; the area also contains multifamily dwelling units built later in the 1970s, schools, and some commercial. Crosstown Historic District is significant for its architecture, geographical location, community, and historical significance.

In architectural style, the neighborhood reflects characterizations of early twentieth century middle-class Memphians. The wide variety of architectural styles work well because of uniform setbacks, cornice heights and massing, and the characteristic use of such details as front porches, bay windows, porte cocheres, and leaded glass. The building materials include brick, limestone, stucco, clapboard, and wooden shingles, with many houses constructed of a mix of two or three of these. The original workmanship is of a consistently high quality, and the detailing is extremely rich and well-conceived. Most houses in the proposed Crosstown Historic District Neighborhood are the foursquare and bungalow, with a great diversity of neoclassical on Bellevue. Principal styles also include Colonial Revival, Craftsman, Mediterranean, Prairie, Queen Anne, and Shingle. In addition to the historical homes, Crosstown contains Northwest Prep Academy (formerly Memphis Tech High School) with its historically remarkable neoclassical design, the Landmarked Crosstown Concourse (formerly Sears Roebuck & Co Crosstown Building) designed by Nimmons & Co. and Looney Ricks Kiss (now Crosstown Concourse).

STATEMENT OF HISTORICAL SIGNIFICANCE (please include additional pages if needed)

The proposed Crosstown Historic District, so named for the intersecting trolley tracks at Cleveland and Poplar that once connected Memphis commuters to the neighborhood in 1927, has undergone much change in the past 100 years. Most of the change in the neighborhood has not followed the national architectural standards with home improvements and renovations. And because of that, the value to the history that has preceded its residents has declined. It's important to pursue and value a Historic Neighborhood in order for it to maintain its value and for its residents to appreciate the beauty of this historic and culturally adaptive neighborhood.

Because of the lack of historical district designation, the Crosstown neighborhood has seen unnecessary demolition of large single-family Neoclassical, Four Square, Bungalow, Colonial, and many other style homes. The TN Department of Transportation (TDOT) removed 65 homes

to make way for the construction of Interstate 40 through the heart of Memphis, leaving the neighborhood with the now-empty lot known as the Crosstown Mound. At that time, there was nothing to protect those homes from being demolished, and now, as the Crosstown neighborhood looks forward, as we grieve from our past, Crosstown would like to ensure those new homes being constructed or rehabbed properties will follow historic guidelines.

### **Brief Historic Overview**

The Crosstown Historic District dates back to the 1850s and concluded in the 1940s. Once a suburb of Memphis, a portion of the land was owned by the Van Vleet family and the Henry A. Montgomery family.

The proposed district would include Memphis Tech High, founded in June of 1911, originally known as Memphis Vocational Grammar, Crockett Vocational School, Crockett Technical High, later "Tech High," and now Northwest Prep Academy(Memphis Tech High). The Board of Education had a building, "the castle," at 317 Poplar Avenue for which they no longer had any use. They created the new vocational high for this building, specifically "to take the load off the new Central so they wouldn't have to build a second public high school for some time." Thus the new Central High and the new Vocational High Schools both opened in September of 1911. Eventually, ten acres of the Van Vleet property, along with the house was acquired by the Board of Education to build what is now Memphis Tech High located at 1266 Poplar Avenue.



The Van Vleet Mansion, originally built in 1856 by Q. C. Atkinson at 1266 Poplar Ave., is known as one of the first major residential developments in the Crosstown area. The mansion and the 20 acres were sold by W. A. Williams to Peter Van Vleet. Van Vleet was the owner of the Van Vleet-Mansfield Drug Co., one of the largest drug firms in the United States. When Vleet died in 1915, the house and only 10 acres of the 20 were sold to the Board of Education. The remaining land was still a part of what was known as Van Vleet Park.



The mansion was surrounded by a brick wall with wrought iron entry gates at the east and west corners (still standing to this day on Poplar

Avenue at the corner of Claybrook St. and Montgomery St.). The gates were guarded by large stone lions brought back from the Van Vleets' travels, which were later donated to the Memphis Zoo.



A driveway curving to the front of the house connected the two entry gates. The architect for Memphis Tech High had incorporated into his design four similar Corinthian columns and portico from the original mansion, as well as similar brick entry gates with those stone lions guarding the gate. The Greek Revival and mix of Neoclassical Design of Memphis Tech High speaks volumes of the middle-class suburb Crosstown Memphis once was.

In 1909, real estate agents S. H. and Walter Lamb advertised acreage for sale on Montgomery and Overton Park Ave. "adjoining Van Vleet Park." This "fashionable uptown district" was "close to handsome homes, streetcars, and paved streets," (Commercial Appeal, 1909). Initially, houses on Peach Ave. were built facing Van Vleet Park. After the park was sold for house construction, the remaining lots on Peach faced the north-south streets.



The Henry A. Montgomery home was built in the 1860's and was located at Poplar and Bellevue.

Henry A. Montgomery had formed the Memphis Jockey Club and by the 1850s the club purchased a tract of land that would become the Fairgrounds. Eventually settling in Memphis, Henry began working in the telegraph business. He built the first telegraph line from Memphis to Little Rock, and during the Civil War he extended it to Clarksville.



In addition, he built a line from Madison to Helena, Arkansas. The first, and at the time, the only telephone in Memphis was installed in Henry A. Montgomery's home. When the first telephone call was made in Memphis, it was from the railway office of Col. Michael Burke to the home of Henry A. Montgomery on Poplar Avenue and Bellevue.

Henry A. Montgomery was frustrated by the condition of Poplar and laid his own stone to improve the street. By 1907, Poplar was paved with asphalt and by 1911 electric streetcars were



finding their way into the neighborhood. Henry A. Montgomery's magnolias remain and his granddaughter Montgomery (Monty) Cooper took the paving stones previously used on Poplar to build the Montgomery Library (251 N Montgomery) for his books.

That structure remains on Montgomery St. adjacent to a house (243 N. Montgomery) Cooper built for herself.



*Montgomery Library, built with the stones originally from Poplar Avenue from the 1800s - 251 N Montgomery (pictured above, and 243 N Montgomery pictured to the left)*

Between the World Wars, the Van Vleet and Montgomery homes were demolished with Van Vleet's park area from Peach to Larkin and from Montgomery to Claybrook being filled with 52 bungalows by the same builder.



Architect Victor Dunkerley, who had worked with Frank Lloyd Wright, designed the Avery House at 305 N. Montgomery. It has been called a "picturesque example of the cozy English Arts and Crafts Style (Ellzey, 2020)." It was built facing Van Vleet Park on the Lombardy Poplar tree-lined N. Montgomery.

*(Avery House, at 305 N Montgomery pictured to the left).*

To the north, the availability of the railroad led to the location of Sears Crosstown. Cleveland Street along with a streetcar line was extended north from Poplar Avenue to Sears. Large apartment buildings, including 394-400 N. Bellevue Blvd. (c. 1925), were built along the streetcar lines within walking distance of the growing and bustling Crosstown commercial area.

As development continued east from Downtown Memphis, ground was broken for Temple Israel at Poplar Avenue and Montgomery Street. In 1912, the congregation had decided that they had outgrown their building, and began to raise money for a new synagogue. They acquired a plot of land on Poplar Avenue almost two miles east of their current home, and dedicated a new synagogue there in 1916. The new temple boasted a 1200 seat sanctuary, fourteen religious school rooms, and an auditorium with a stage. Parts of the building are now utilized by Mississippi Boulevard Church and Memphis Academy of Science and Engineering.



In addition, the proposed Crosstown Historic District would include the William R. Moore School of Technology, better known as Moore Tech. William R. Moore served as a United States Congressman and then two years in the Tennessee House of Representatives. From an endowment that was left in the will of W.R. Moore, a charter school was established in 1939. The W. R. Moore School of Technology opened at 1200 Poplar Avenue, combining elements of classicism with the International Style and Bauhaus movements. It was designed by Walk C. Jones and Walk C. Jones, Jr.

The landmarked Crosstown Concourse was once a Sears, Roebuck & Co. distribution center and retail store, which opened on August 27th, 1927. The fourteen-story structure has a limestone base and brick walls. It is crowned by a Classical Revival top floor with round-arch windows and a modillion cornice. The building, the largest in Memphis at the time, made this community the hub and the gathering place for retail, shopping, and dining. Along with six other major cities, Boston, Atlanta, Chicago, Dallas, Minneapolis, and Seattle, Memphis has redeveloped Crosstown Concourse into a vertical urban village anchored in arts, education, and healthcare. That development has become a strong anchor for the surrounding residential homes in the proposed Crosstown Historic District as we look towards revitalization and historical significance.

*229 N Montgomery St, Queen Anne Style, 1890*

Memphis Tech High, William R. Moore School of Technology, and the Sears Roebuck & Co. building were all responses to the residential housing development that had grown around the Crosstown neighborhood between 1890-1923. Some of the earliest houses in the neighborhood that have not been demolished, besides the Van Fleet Mansion, and the Montgomery Mansion, include a Queen Anne style home built in 1890 at 299 N Montgomery St. and a 1887 Arts & Crafts style home at the south-west corner of Poplar Avenue Montgomery Street.



As well as many other architectural beauties, such as 1234 Poplar Avenue (built in 1900); 299 Montgomery St (built in 1900), a classic foursquare with siding; 314 N Claybrook St (built in 1900), an Arts & Crafts style design; and, 1174 Poplar Avenue (built in 1909), a foursquare style home with large front porch, smooth stucco finish, and round arching windows

A majority of the homes in the neighborhood were later constructed between 1910-1912 and 1920-1923. These homes consist of a mixture of bungalow, airplane bungalow, foursquare, one mission revival, and craftsmen.

In April of 1944, a B25 bomber crashed into the neighborhood, at the corner of Poplar Avenue and Cleveland Street. The aircraft smashed into a two-story home at 222 North Claybrook behind what was then a bowling alley. In the days that followed, more than 20,000 Memphians visited the crash site, and the Army brought in MPs to control the crowds. Although seven lives were lost, everyone breathed a sigh of relief that the plane had somehow missed Memphis Tech High, the Southern Bowling Lanes, Sears Crosstown, and dozens of nearby businesses that would have made the death toll much higher. Lots at the corner of Claybrook and Williams Field Avenue, to the north and south remain vacant lots to this day.

Then in the late 1960s the neighborhood was wounded by the intrusion of the interstate highway construction that eliminated Lewis St. to the west and took out over 65

Crosstown homes and apartments for the I-40 section. “Modern” apartment buildings took the place of some homes. Opponents of routing the expressway through Overton Park in 1971 won a landmark Supreme Court case, which eventually led to I-40 being rerouted to the Wolf River bottoms far to the north. But not before TDOT had built a 20-foot mound of dirt that was to elevate traffic to overpasses that has since been removed. The giant, yet historic, Crosstown Mound still lords over old bungalows, foursquares and apartment buildings along streets that border the mound: Overton Park, Claybrook, Peach, and Bellevue. The mound has been an on-going eyesore for the neighborhood, the lack of maintenance has led to major overgrowth, wildlife, rodents and raccoons, to discarded debris and trash, and vagabonds taking up residence on the mound.

In 1988, a 100,000 gallon propane gas tanker skidded on an exit ramp and exploded on Interstate 240 destroying half a dozen historic homes on Bellevue Avenue leaving empty lots. The tank shot 125 yards and also destroyed a duplex, killing a ten year old girl. In total 9 people died from the explosion.

In 1993, Sears began its long process of closing down. The streets that were once crowded with shoppers were now empty. Temple Israel and Bellevue Baptist Church moved east being replaced by Mississippi Boulevard Christian Church.

The University of Memphis’ Department of City & Regional Planning worked with Crosstown to help reinvigorate the sense of community and work to maintain the quality and character of the neighborhood. The Crosstown Concourse opened in 2017. Commercial properties are returning adjacent to the Concourse. Original houses between Overton Park, Bellevue Boulevard, Montgomery, Claybrook and Autumn Ave. are being restored rather than demolished; and new, affordable homes were built on Claybrook between Larkin Avenue and Peach Avenue.

Just within the Crosstown district, the homes, residents, and businesses have experienced a great deal of change since the 1850’s. It’s important to pursue and value a Historic Neighborhood in order for it to maintain its value and for its residents to appreciate the beauty of this historic and culturally adaptive neighborhood.

It is important to realize that, while historic in its architectural, geographic location, and structural significance, the proposed Crosstown Historic District Neighborhood has had alterations to existing structures and construction of new buildings and multi-family homes. Memphis Landmarks Commission (MLC) was established to protect, enhance, and perpetuate structures, districts, and elements in the city that are of historical, cultural, architectural, and geographic significance. With that being said, there should be no doubt that the proposed

Crosstown Historic District represents the history, culture, architectural, and geographic significance that this city adheres to protect.

\*It is important to note, historical information about the Crosstown neighborhood is not limited to just the information above. There is more data about homes on Bellevue Avenue, the Tension Brothers, other commercial properties and the surrounding neighborhoods, that have not been included at this time.

## Resources

B-25 Bomber

<https://memphismagazine.com/ask-vance/75-years-ago-a-b-25-bomber-crashed-in-midtown/>

Temple Israel History

<https://www.isjl.org/tennessee-memphis-temple-israel-encyclopedia.html>

Henry A. Montgomery Resources

<https://memphislibrary.contentdm.oclc.org/digital/collection/p13039coll1/id/36/rec/1>

<https://dailymemphian.com/article/7970/Kings-of-the-hill-Competing-developers-now-teaming-on-Crosstown-Mound>

<http://www.historic-memphis.com/biographies/montgomery-park/montgomery-park.html>

Memphis Tech High Resources

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

William R Moore Resources

<http://historic-memphis.com/biographies/w-r-moore/w-r-moore.html>

<https://www.mooretech.edu/about/history/>

Sears Crosstown

<https://crosstownconcourse.com/about>

<http://www.memphisheritage.org/sears-roebuck-company-catalog-distribution-center-retail-store-crosstown-concourse/>

Peter Van Vleet History

<http://historic-memphis.com/biographies/van-vleet/van-vleet.html>

<https://historic-memphis.com/memphis/a-day-at-historic-memphis/a-day-at-historic-memphis.html>

# Tanker Explosion - 1988

<https://www.nytimes.com/1988/12/25/us/death-toll-at-9-in-memphis-tanker-explosion.html>

<https://www.usdeadlyevents.com/1988-dec-23-propane-tank-truck-hits-ramp-wall-explodes-parts-hit-house-cars-memphis-tn-9/>

Additional: <https://sharetn.gov.tnsosfiles.com/tsla/exhibits/blackhistory/feilds.htm>

Page 2  
of Guaranty No. 20611.

**SCHEDULE A.**

1. The estate or interest of the guaranteed in the premises described below, covered by this guaranty.

SEE SEPLS TITLE, vested by Warranty Deed from McKay Van Vleet, Ramelle Van Vleet, by her Attorney-in-Fact, McKay Van Vleet; Elsa V. V. Connor, by her Attorney-in-Fact, McKay Van Vleet, and Wm. D. Connor; Ramelle V. V. King, by her Attorney-in-Fact, McKay Van Vleet, and Charles Curtis King, to Board of Education of the Memphis City Schools, filed for record December 30th, 1926, at 4.13 P. M., in the Register's Office of Shelby County, Tennessee.

2. The premises in which the guaranteed has the estate or interest covered by this guaranty.

CITY OF MEMPHIS,                      SHELBY COUNTY,                      TENNESSEE;

Lots 1, 2, 3, Lawrence Subdivision of Lot 3, Rice Grant;

Beginning at the Northeast corner of North Montgomery Street and Poplar Boulevard; thence North with North Montgomery Street 698½ feet to Larkin Street; thence East 591 feet to North Claybrook Street; thence South with said Street 698½ feet to Poplar Boulevard; thence West with said Boulevard 589.5 feet to the point of beginning.

Description subject to survey.

**UNION & PLANTERS BANK & TRUST COMPANY**

UNION & PLANTERS BANK OF MEMPHIS  
TENNESSEE TRUST COMPANY  
ESTABLISHED 1858  
CONSOLIDATED 1908  
MEMPHIS, TENNESSEE

20611                      \$ 90,000.00

In Consideration of -- FOUR HUNDRED SEVENTY & 10/100 -- DOLLARS, TO IT PAID, THE UNION & PLANTERS BANK & TRUST COMPANY DOES HEREBY, SUBJECT TO ALL TERMS AND CONDITIONS HEREOF, GUARANTEE

--- BOARD OF EDUCATION OF THE MEMPHIS CITY SCHOOLS ---

AND ALL PERSONS TO WHOM THIS GUARANTY MAY BE ASSIGNED WITH THE CONSENT OF SAID COMPANY, TESTIFIED IN THE MANNER HEREINAFTER PROVIDED, AGAINST ALL LOSS OR DAMAGE, NOT EXCEEDING

NINETY THOUSAND & 10/100 -- (\$90,000.00) -- DOLLARS WHICH THE GUARANTEED SHALL SUSTAIN BY REASON OF DEFECTS OR UNMARKETABILITY OF THE TITLE OF THE GUARANTEED TO THE ESTATE OR INTEREST DESCRIBED IN SCHEDULE "A", HERETO ANNEXED, EXISTING AT THE DATE OF THIS GUARANTY, AND NOT HEREIN EXPRESSLY EXCEPTED IN SCHEDULE "B", OR OTHER CONDITIONS HEREOF.

IN WITNESS WHEREOF, SAID UNION & PLANTERS BANK & TRUST COMPANY HAS CAUSED ITS CORPORATE SEAL TO BE HERETO AFFIXED, AND THIS GUARANTY TO BE EXECUTED IN ITS NAME BY ITS DULY AUTHORIZED OFFICERS, THIS 30th DAY OF December, 1926, AT 4.13 O'CLOCK P.M.

*Ray O'Leary* VICE-PRESIDENT  
*W. S. Cooper* TRUST OFFICER  
*Ray O'Leary* ATTORNEY

The Van Vleet residence and estate on Poplar was purchased yesterday by the Board of Education as the site for the proposed \$500,000 technical high school. The board agreed to pay \$90,000 for the 10-acre tract on which the home is located.



# CROSTOWN HISTORIC DISTRICT

User Guide and Architectural Design Guidelines

# Crosstown Historic District

## Users Guide and Architectural Design

### Guidelines

Prepared by:

Jennifer M. Amido, MPA

297 N Montgomery St

Memphis TN 38104

1st Edition – September 2020

Edits & Revisions by:

Ivan Tamayo

Jennifer M. Amido, MPA

Sterling Owens, Esq

*Special Thanks to Crosstown Community Development*

*Corporation Board Members:*

*Porche Stevens*

*Anna Joy Tamayo*

*Bianca Phillips*

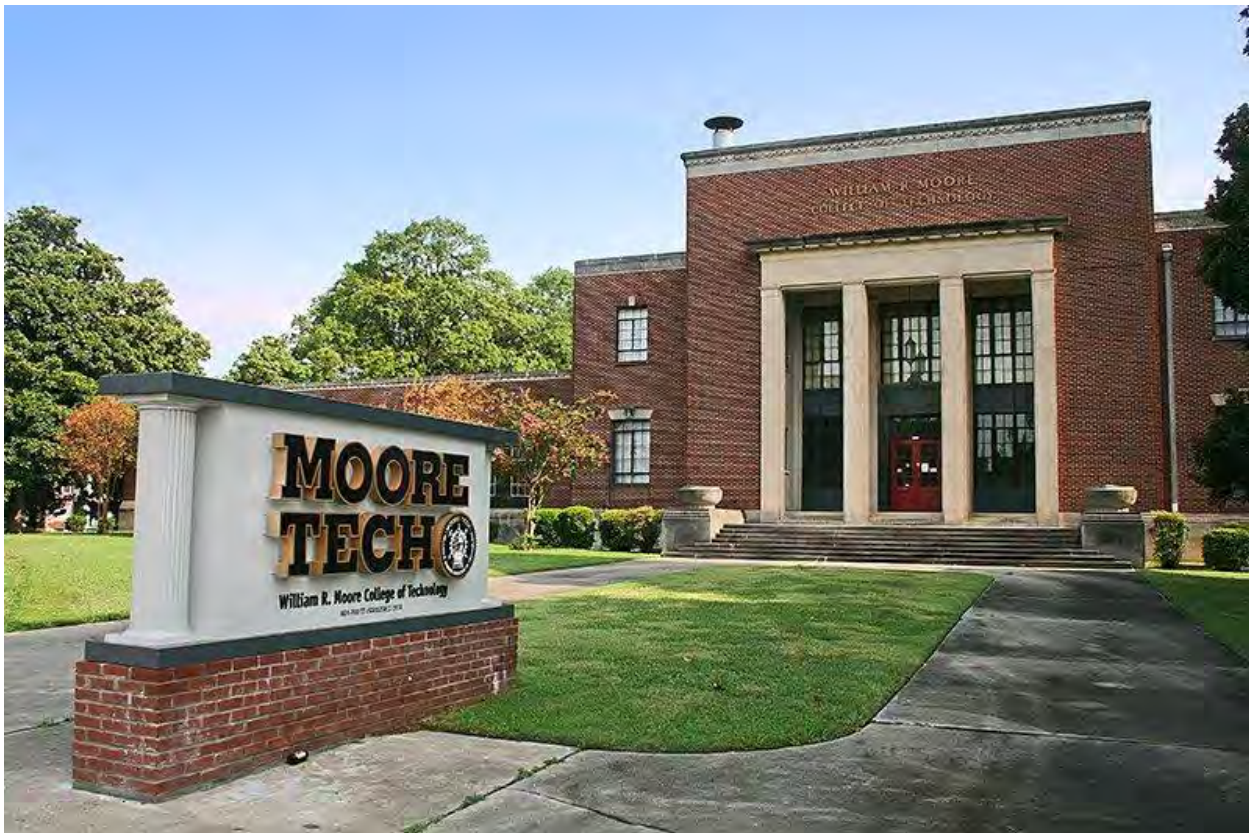
*Justin Gillis*



# Contents

## Table of Contents

<b>Part 1: Introduction.....</b>	<b>4</b>
1. <i>History of the Crosstown Neighborhood and Proposed Historic District</i> .....	4
2. <i>The Memphis Landmarks Commission</i> .....	5
3. <i>Goals for the Crosstown Historic District</i> .....	5
4. <i>Map of Proposed Crosstown Historic District</i> .....	6
<b>Part 2: Zoning Regulations.....</b>	<b>7</b>
1. <i>Memphis and Shelby County Unified Development Code</i> .....	7
2. <i>Local Regulatory Entities</i> .....	7
3. <i>Overlay Districts</i> .....	7
<b>Part 3: Design Guidelines for Crosstown Historic District.....</b>	<b>8</b>
1. <i>Overview and Application of Design Guidelines</i> .....	8
a. <i>Design Guidelines Intent</i> .....	8
b. <i>Design Guidelines Application</i> .....	8
2. <i>The Design Review Process</i> .....	8
3. <i>New Construction of Single-Family Homes and Secondary Structures</i> .....	9
a. <i>Building Orientation, Setbacks and Rhythm of Spacing</i> .....	9
b. <i>Building Mass, Scale and Form</i> .....	10
c. <i>Roofs and Building Forms</i> .....	11
d. <i>Architectural Details</i> .....	11
e. <i>Porches</i> .....	12
f. <i>Windows &amp; Doors</i> .....	12
g. <i>Secondary Structures</i> .....	13
4. <i>Additions and Enclosures</i> .....	13
5. <i>Demolition and Relocation of Principle Historical Structures Out of a District</i> .....	14
6. <i>New Site Improvements</i> .....	16
a. <i>Fences</i> .....	16
b. <i>Walls, Retaining Walls</i> .....	16
c. <i>Parking</i> .....	17
d. <i>Driveways Additions or Parking Pads</i> .....	17
e. <i>Other Site Improvements Miscellaneous</i> .....	17
f. <i>Religious, Educational or Other Institutional Buildings</i> .....	18
7. <i>Guidelines Effective Date</i> .....	19
<b>Part 4: Additional Photos &amp; References:.....</b>	<b>20</b>



## Part 1: Introduction

### 1. History of the Crosstown Neighborhood and Proposed Historic District

The Crosstown Historic District Neighborhood is composed of approximately 12 blocks, 134 structures and 90.83 acres in Midtown Memphis. The great majority of the structures that are still standing are single-family residences built between the late 1890's-1923; the area also contains multifamily dwelling units built later in the 1970s, schools and some commercial. Crosstown Historic District is significant for its architecture, geographical location, community, and historical significance. Crosstown is named for the intersecting trolley tracks at Cleveland and Poplar that connected Memphis commuters to the neighborhood in 1927.

In architectural style, the neighborhood reflects characterizations of the early twentieth century middle class Memphians. The wide variety of architectural styles works well because of uniform setbacks, cornice heights and massing, and the characteristic use of such details as front porches, bay windows, porte cocheres, and leaded glass. The building materials include brick, limestone, stucco, clapboard, and wooden shingles, with many houses constructed of a mix of two or three of these. The original workmanship is of a consistently high quality, and the detailing is extremely rich and well-conceived. Most houses in the proposed Crosstown Historic district neighborhood are the foursquare and bungalow, with a great diversity of neoclassical style mostly located on Bellevue Boulevard. Principal styles also include Colonial Revival, Craftsman, Mediterranean, Prairie, Queen Anne, and Shingle. In addition to the historical homes, Crosstown contains Memphis Tech High School with its historically remarkable neoclassical design, the Landmarked Sears Roebuck & Co Crosstown Building designed by Nimmons & Co. and Looney Ricks Kiss, and Moore Tech.

The Van Vleet Mansion, originally built in 1856 by Q. C. Atkinson, at 1266 Poplar Avenue, is known as one of the first major residential developments in the Crosstown area. The mansion and the 20 acres were sold by W. A. Williams to Peter Van Vleet. Mr. Van Vleet was the owner of the Van Vleet-Mansfield Drug Co., one of the largest drug firms in the United States. When Mr. Van Vleet died in 1915, the house and the land were sold to the Board of Education, to construct what is now known as Memphis Tech High.



Van Vleet Home in 1904 at 1266 Poplar Avenue

The mansion was surrounded by a brick wall with wrought iron entry gates at the East and West corners (still standing to this day on Poplar Avenue at the corner of Claybrook Street and Montgomery Street). The gates were guarded by large stone lions brought back from the Van Vleet's travels, which were later donated to the Memphis Zoo.

The Henry A. Montgomery home was built in the 1860's and was located at Poplar Avenue and Bellevue Boulevard. Mr. Montgomery had formed the Memphis Jockey Club and by the 1850s the club purchased a tract of land that would become the Fairgrounds. Eventually settling in Memphis, Mr. Montgomery

Henry A. Montgomery home 1200 Poplar Avenue



began working in the telegraph business. He built the first telegraph line from Memphis to Little Rock, and during the Civil War he extended it to Clarksville.

In addition, he built a line from Madison to Helena, Arkansas. The first, and at the time, the only telephone in Memphis was installed in Mr. Montgomery's home. When the first telephone call was made in Memphis, it was from the railway office of Col. Michael Burke to the home of Henry A. Montgomery on Poplar Avenue and Bellevue Boulevard.



Van Vleet Home – Iron Gates guarded by Lions.



Donated stone lion. Memphis Zoo.

## 2. The Memphis Landmarks Commission

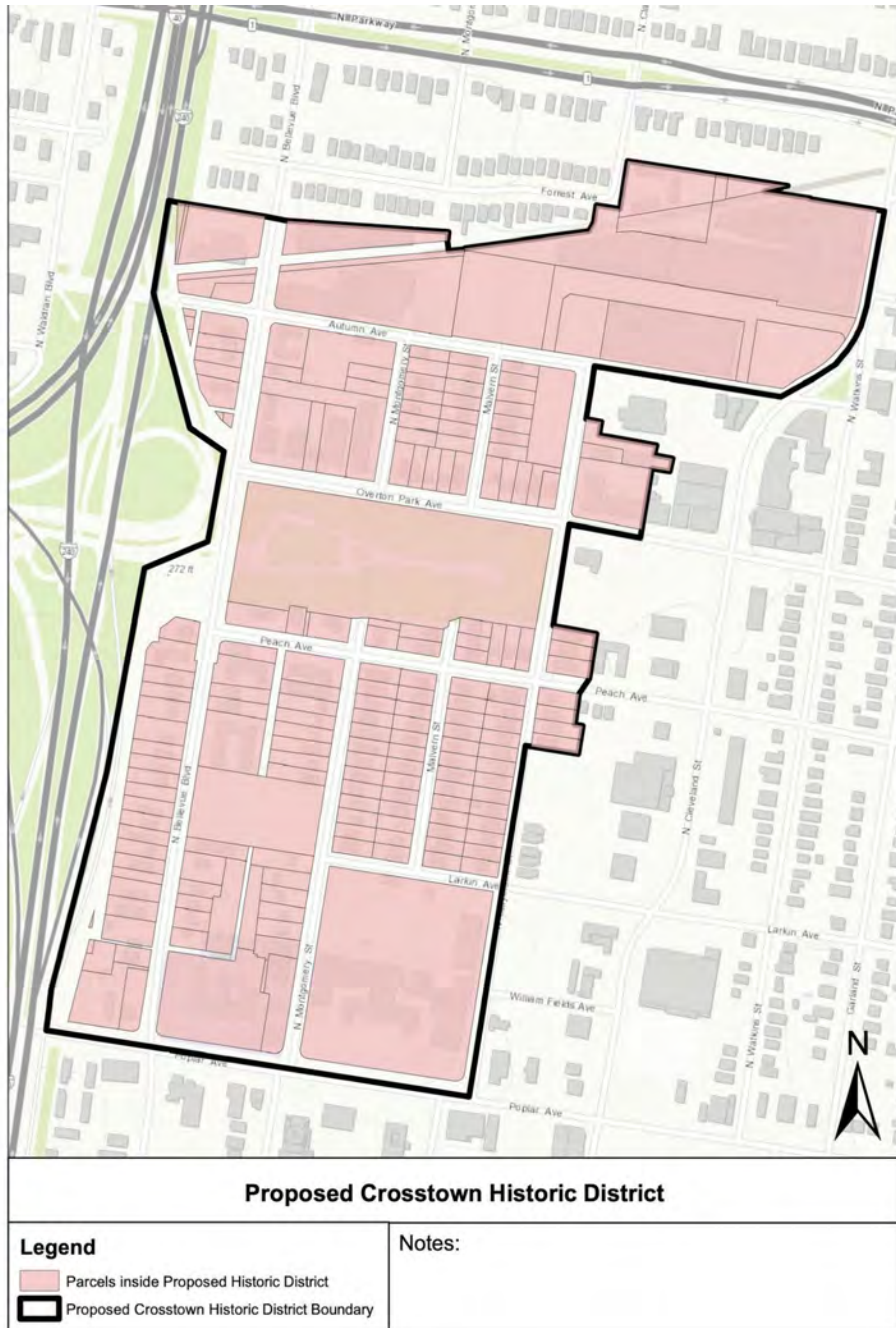
Memphis Landmarks Commission (MLC) was established to protect, enhance and perpetuate structures, districts and elements in the city of historical, cultural, architectural and geographic significance. The MLC consists of nine members who serve as volunteers, all appointed by the City Mayor. It includes one representative of a local historical organization, one architect and one person who is a member of the Land Use Control Board, with the remaining members representing the general community.

## 3. Goals for the Crosstown Historic District

The goal for the Crosstown Historic District is to protect the character, and the social and economic stability of this vibrant and diverse neighborhood.

As well noted, Crosstown has seen change already, and the goal is that future changes do not detract from the neighborhood's original character without stopping future developments and economic growth. A renewed spirit of community and connection to history has been triggered by the redevelopment of the Sears, Roebuck and Company regional distribution warehouse into what is known today as the Crosstown Concourse. With inevitable future development and revitalization of the surrounding areas, the goal is that future changes do not detract from the neighborhood's unique and original character.

4. Map of Proposed Crosstown Historic District



## Part 2: Zoning Regulations

### 1. Memphis and Shelby County Unified Development Code

Please Review “THE MEMPHIS AND SHELBY COUNTY UNIFIED DEVELOPMENT CODE” regarding zoning codes and subdivision regulations. Code can be found by following the link below:

<https://www.shelbycountyttn.gov/DocumentCenter/View/13413/ZTA-13-002-Complete-UDC-as-approved?bidId=>

### 2. Local Regulatory Entities

Land Use Control Board and City Council or the Board of Adjustment will regulate any zoning, or rezoning of multifamily, commercial use or boarding use. Lots zoned Multi-Family, Commercial or Boarding are permitted to change back to single-family use with approval from the Land Use Control Board and City Council. Land use is also subject to Memphis and Shelby County Unified Development Code as approved by Shelby County Board of Commissioners 8/9/10 and by the Memphis City Council on 8/10/10, including adopted Amendments (the “Code”), Article 4, General Development Standards, which covers streetscapes, streets, access, parking, landscaping, lighting, storage and signs. Land use is also subject to Article 6 of the Code, Open Space and Natural Resource Protection, which covers tree protection, open space, steep slope protection, stream buffers, floodways and stormwater management.

### 3. Overlay Districts

Land use may also be subject to the guidelines in the various Overlay Districts defined in the Code.

- A. Overlay Districts may be established from time to time as the Governing Bodies see fit in order to promote a more carefully tailored standard of development within a specified geographical area. The nature, applicability, standards, regulations, and restrictions of each Overlay District may vary as appropriate in order to achieve the stated purpose and goals of a particular Overlay District.
- B. Where the standards of a particular Overlay District, established by this Article, do not address standards established elsewhere in this Code, the standards established elsewhere apply.
- C. Where the standards of a particular Overlay District, established by this Article, conflict with the standards established elsewhere in this Code, the Overlay standards shall apply.
- D. Changes to frontage maps or height maps that were adopted as part of an Overlay District and incorporated into the Zoning Map shall be processed pursuant to Chapter 9.4, Text Amendment.

Specifically, the guideline in following Overlay Districts may be particularly relevant:

- A. Medical Overlay District
- B. Midtown District Overlay
- C. Residential Corridor Overlay District
- D. Historic Overlay District (as applicable)
- E. Floodplain Overlay District
- F. Transitional Office Overlay (as applicable)
- G. Neighborhood Conservation Overlay District (as applicable)

## Part 3: Design Guidelines for Crosstown Historic District

### 1. Overview and Application of Design Guidelines

#### a. Design Guidelines Intent

In general, the intent of the Design Guidelines is to ensure that new construction in Crosstown Historic District is in character with the neighborhood's original fabric. It is not the intent to freeze the appearance of the neighborhood in time, but to guide future growth and development in the Crosstown Historic District.

The intent of these guidelines is to ensure that all exterior alterations, new construction, habitable additions, demolition and relocation within Crosstown is in character with the neighborhood's existing fabric. Design Review Guidelines provide the Memphis Landmarks Commission (MLC) with basic criteria and standards to consider in determining the appropriateness of proposed work within the District.

#### b. Design Guidelines Application

The Design Guidelines apply only to the exteriors of buildings and to areas of lots visible from the street. The Memphis Landmarks Commission must review proposals for building relocation or demolition. The Design Guidelines address all projects in the neighborhood requiring a Certificate of Appropriateness (COA) from the Memphis Landmarks Commission. Please note that the Office of Construction Code Enforcement will not issue a construction permit without a COA from the MLC. Projects that need a COA include:

- A. New construction of houses or secondary structures (garages & storage buildings)
- B. Exterior alterations to the existing structure
- C. Additions or enclosures that expand habitable space, such as dormers, second or third stories
- D. Demolition or building relocation
- E. Site improvement construction, such as fences, gates and retaining walls
- F. New Driveways and parking pads
- G. Driveway gates
- H. Other site renewables

Please review the Certificate Of Appropriateness website for additional information:

<https://shelbycountyttn.gov/DocumentCenter/View/29968/Current-Full-COA-Application?bidId=>

Please note that only work that is visible in whole or in part from a public street (or streets in the case of a corner lot) is reviewed. Landmarks staff will confirm the scope of review based on a site plan and description of work provided by the applicant. In general, greater emphasis is placed on the character of primary facades, those designed to face the street.

Property owners, real estate agents, developers, contractors, tenants and architects should use the design guidelines when planning for a project within the neighborhood. Such use will help establish an appropriate direction for its design.

### 2. The Design Review Process

The following basic steps should be reviewed to understand the design review process with the Memphis Landmarks Commission.

- **Step 1.** Consider professional design assistance. For major projects, property owners are encouraged to engage a licensed architect or other design/planning professional to assist in developing their concepts. While doing so may help facilitate the review process, it is not required.
- **Step 2.** Check other City regulations.  
The guidelines exist alongside other adopted City regulations. The Memphis and Shelby County Division of Planning and Development can provide information about certain regulations, which also may affect the design character of a project. (See [www.shelbycountyttn.gov/924/zoning-subdivision](http://www.shelbycountyttn.gov/924/zoning-subdivision))
- **Step 3.** Thoroughly understand and become familiar with the design guidelines for the Crosstown Historic District.  
Review the basic organization of this guidelines document and determine which chapter(s) will apply to a project.
- **Step 4.** Review the project site's context.  
Consider immediately adjacent properties and also the character of the entire block where the project will be located.

### 3. New Construction of Single-Family Homes and Secondary Structures

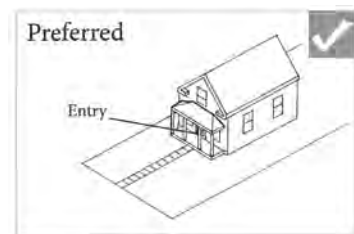
New construction includes the construction or erection of any freestanding structure or improvement on any lot. This includes new construction that uses existing walls and additions to existing buildings. These are subject to review by the Commission pursuant to the Landmarks Ordinance. This review applies only to the exterior of buildings and any other structure visible from the public right of way.

New construction should remain consistent with other buildings along a street in mass, scale, setback, height, rhythm and other design characteristics. Characteristics including the traditional door, and windows heights of early 1900-1930 homes and roof dormer designs. More weight should be given to compatibility with other existing structures that are products and original to the historic period of construction of the immediate area. The principal façade and the street related elevations should be reviewed more carefully than other facades.

In determining the appropriateness of proposed new construction, the Commission should consider the compatibility and consistency of the proposed design of the new construction with the designs of existing building in terms of the following characteristics:

#### a. Building Orientation, Setbacks and Rhythm of Spacing

- Maintain the line of building fronts and spacing patterns in the block.
- A new house should fit within the range of front yard setbacks seen in the block.
- Uniform spacing of side yards should be maintained.





- The front of a house should be oriented to the public street and the primary entrance should be clearly defined.
- Use of a porch element to define the entry is strongly encouraged.
- Traditionally, the front entry of each building faced the street and was usually sheltered by a porch. This is a characteristic that should be maintained.
- The porch should be "functional," in that it is used as a means of access to the entry and or as outdoor living space.
- In some cases, the front door itself may be positioned perpendicular to the street if the entry is still clearly defined with a walkway and porch.



A new house should appear similar in mass to those historic houses existing on several blocks of the street.



### b. Building Mass, Scale and Form

- A new building shall follow the same pattern of mass, scale and form as those historic houses existing on that block of the street.
- Consistency in the mass, scale and form of buildings gives a street and a neighborhood a sense of unity and human friendliness. New houses should be consistent with existing historic houses on the same and opposite sides of the street in terms of height, scale, mass, form and rhythm, as well as consideration in lot size (width and length). Window and door designs must be appropriate and traditional in sense to the neighborhood.
- Use of building materials that are of traditional dimensions such as brick, stucco, wood, no vinyl materials.
- Use of a one-story porch that is similar in size to those seen traditionally.
- Use of a building mass that is similar in size to those seen traditionally.
- Use of window openings that are similar in size to those seen traditionally. Double hung windows are preferred.
- Building equipment (HVAC, utilities, etc.) shall be placed on the side or rear of the house; not visible from the street and screened from view.
- A new residential building shall be constructed with the same number of stories as any existing residential structure constructed during the period of significance on the same street-block.
- Maintain the alignment of horizontal elements along the block.



- Roof and building forms should appear similar to those seen traditionally in the neighborhood.
- Sloping roof forms such as gabled, hip, jerkinhead, bellcast hip, cross-gable and gambrel should follow the pitch of sloping roofs generally found on historic houses of the block.
- Dormers are a frequent neighborhood architectural roof feature and should be considered for new construction.
- Roof shapes should also relate to the surrounding roof structures.
- Eave depths, fascia, soffits, and cornice trims should be similar to those of historic houses on the block.

#### c. Roofs and Building Forms

- Roofs and Building Forms should appear similar to those seen traditionally in the neighborhood.
- Crosstown buildings consist mainly of brick, stone, stucco, and wood shingles, in a variety of combinations. Stone, stucco, brick, painted wood siding and painted shingles are appropriate materials for new construction.
- Horizontal lap siding is appropriate in most applications.
- Masonry that appears similar in character, color, texture, and size to that in historic houses within the neighborhood should be considered in the new construction.
- It is preferred that the original brick of the historic home be maintained and not painted. Unpainted masonry or stone shall not be painted.
- Stone, similar to that used traditionally, is also appropriate. Jumbo, or oversized brick is discouraged.
- Aluminum siding, vinyl siding and synthetic stucco (EIFS) are inappropriate material, and not to be used. Fiber cement siding is appropriate use for new construction.
- Depending on style, traditional roof materials such as tile, slate, wood shingles, and composite shingles are appropriate.
- Metal roofs are generally not appropriate except for porches.
- Such roofs should be applied and detailed in a manner that is appropriate to the style of the house.



#### d. Architectural Details

- New architectural details should relate to comparable historic stylistic elements in general size, shape, scale, finish, materials and shadow depth and should be appropriate to the style.
- It is part of the character of the neighborhood to have stylistic elements (i.e. brackets, porches, dormers, chimneys, detailed trim work etc.) as seen on the historic structures.

- Chimneys also provide decorative opportunities and are encouraged. Chimneys should not be made of wood, wood substitute or metal material, or have a protruding pipe.
- Use materials similar to those seen historically. Wood and brick were the most common materials used for exterior details. Fiber cement siding is also an appropriate use for new construction.

#### e. Porches

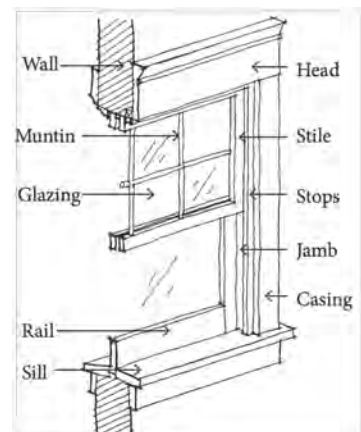
- The incorporation of a porch in the design of a new house is strongly encouraged. Porch elements should be similar to those traditionally seen.
- The depth of the porch should be a minimum of eight feet (8') so it is of sufficient size to be usable as outdoor living space.
- The design of a porch should relate to the overall architectural style of the main structure. Many historic porch designs are integral to the architectural style of the house.
- Porch supports of wood, brick, stucco and stone should be of an appropriate scale for the house and style.
- Porch balustrades should be a size, mass and design that is appropriate to the house and the District.



#### f. Windows & Doors

*Windows and doors are some of the most important character-defining features of houses. They provide visual interest to the composition of individual facades. Distinctive window design often defines a historic building style.*

- Windows and doors should be of a traditional size and should be placed in a similar solid-to-void relationship as historic buildings.
- Unusually shaped windows, such as circles, octagons and trapezoids, are generally inappropriate.
- The number of different window styles should be limited so as not to detract attention away from the overall building or facade.
- Windows and doors shall be finished with trim elements similar to those used historically.
- Wood double hung windows with traditional depth and trim are preferred.



- Snap-in muntins, solid aluminum windows and solid vinyl windows are inappropriate and shall not be used. Multi-pane windows shall use true divided lights.

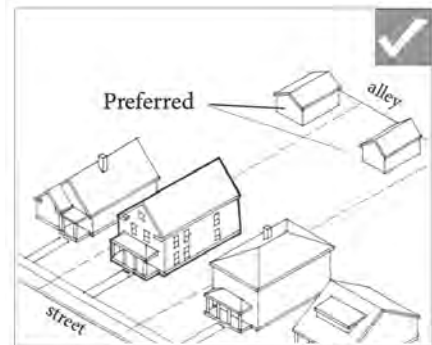
Alternate materials such as composite wood and fiberglass will be considered. Some vinyl products may be appropriate when they work well with the inset and sash components which have substantial dimensions.

A door located on a primary facade should be similar in character to those seen historically in the district. The scale should be similar. Glass panes also should be similar. Front doors with transoms and sidelights are appropriate.

#### g. Secondary Structures

*Traditionally, secondary structures such as sheds, garages and carriage houses, were subordinate in scale and character to the primary structure and were located to the rear of the lot. To the extent visible from the street, this tradition of detached secondary structures is encouraged because this reduces the building's overall perceived mass.*

- Where visible from the street, a secondary structure should be located in the rear yard of the primary residence.
- A secondary structure should reflect the architectural character and style of the main structure or be compatible with the style of the main structure.
- Material should be similar to the home; metal siding is not permitted.
- Consider using a porte cochere if appropriate to the style of the house.
- All new home construction must include an appropriate single car width driveway extending to the rear of the structure. Any excess parking should be to the rear and out of the public right of way.



To the extent plainly visible from the street, the tradition of detached secondary structures is encouraged because this reduces the overall perceived mass of buildings on the site.

#### 4. Additions and Enclosures

Additions to the exterior of a historic building should be designed and constructed so the character and defining features are not radically changed, obscured, damaged or destroyed in the process. Additions to the principal façade should be discouraged. Additions should be located to the rear of the principle structure and not overwhelm the original structure in mass or scale. Enclosures of porches, front exterior doors or boarding of windows, and other covered areas of a principal façade to increase habitable space are inappropriate and should be avoided. If such closure is permitted it should preserve the original character of the principle façade.

- Enclosing a porch—in whole or part—alters the character of the building by eliminating one of its most important features. Such enclosures are not appropriate or permitted. A front porch shall not be completely or partially enclosed. This does not apply to screened in porches.
- No original exterior window or door shall be enclosed.
- Place an addition toward the rear of a building or set it back from the front to minimize the visual impacts.
- Do not obscure, damage, destroy or remove significant original architectural details and materials of the primary structure.
- Rooftop additions must be kept subordinate to the principal building in mass and scale and set back from the front of the building. The roof form of new additions should be in character with and subordinate to that of the primary building to avoid changes in the principle facade.
- Use windows that are similar in character to those of the main structure.
- Building materials that are compatible with those of the primary structure shall be used.
- The roof form of a new addition should be in character with and subordinate to that of the primary building.
- The mass and scale of rooftop additions must be kept subordinate to the primary building.
- When adding a dormer, it should be in character with the primary structure's design.



## 5. Demolition and Relocation of Principle Historical Structures Out of a District

A historic building is irreplaceable. It is a document of the past, and once it is gone, it is lost forever. Crosstown realizes the past mistakes of demolition of historic properties, therefore the demolition of an historic building that contributes to the significance of a Historic Conservation District is inappropriate.

Since the purpose of historical zoning is to protect historic properties, the demolition of any principle structure which contributes historically or architecturally to the character and significance of a District is considered to be inappropriate and should be avoided. Demolition includes the complete or partial tearing down of such structure or a removal of such structure from the District. Should the Commission approve a proposed demolition, such demolition can proceed after an immediate reuse is determined for the property. The proposed design of new construction should be submitted to and reviewed by the Commission in conjunction with submission and review of the demolition or removal from the District.

### **Demolition is NOT permitted under the following circumstances:**

- If a principle structure is deemed to be of such historical or architectural interest and value that the removal would be detrimental to the public interest and the goals of historic zoning.
- If the proposed reuse and new construction would diminish or detract from the predominantly single-family residential character of the District.
- If a principle structure is of such old or unusual or uncommon design and materials that it could not be reproduced without great difficulty and expense.

- If its proposed replacement or lack thereof would in the Commissions reasonable discretion make a less positive visual contribution to the District, would disrupt the District's character or would be visually incompatible.
- Demolition by neglect should not occur. The loss of architectural features or structural defects used to justify demolition caused by the acts or lack of ordinary maintenance by the applicant (or those who have acted in concert with the applicant) is considered "demolition by neglect." Lack of ordinary maintenance includes failure to make needed roof or plumbing repairs and failure to protect the structure from termites.

**Demolition is permitted under the following circumstances:**

- If a principle structure has lost its architectural and historical integrity and importance and its removal and the proposed new construction will not in the commissions reasonable discretion results in a negative, or less appropriate visual effect on the District.
- If a principle structure does not contribute to the historical and architectural character of the District and its removal and the proposed new construction will in the commissions reasonable discretion result in a more positive and appropriate visual effect on the District.
- If the Commission determines that demolition or removal is economically necessary and justified in accordance with the provisions of the Landmarks Ordinance, the applicable guidelines of the Commission (to the extent they are more exacting) and other applicable governmental laws, ordinances and regulations.
- If the demolition is required by a final and a non-appealable order or ruling by a court, governmental body or agency that has jurisdiction. And such order or ruling does not allow for the restoration or continued use of the applicable structure.
- **If demolition is allowed, the building must be thoroughly documented. The owner should provide this documentation, which may include photographs and measured drawings, to the Memphis Landmarks Commission and to the Memphis and Shelby County Room at the Central Library.**

Moving a principle structure that still retains its historical and architectural integrity and contributes to the character of the District should be avoided.

Moving a building that does not contribute to the architectural and historical integrity of the District or has its architectural integrity due to deterioration and neglect is appropriate if its removal or the proposed replacement will result in a more positive visual effect on the District.

The relocation of a house in order to provide parking is not appropriate.

A principle structure may be relocated within a District if:

- The integrity of location and setting of the principle structure in its original location has been lost or is seriously threatened.
- The structure will be compatible with the buildings adjacent to the new site in style height scale materials and setback.
- The relocation of a principle structure, at the Commission's reasonable discretion, will not result in a negative visual impact on the site and surrounding buildings from which it will be removed.

## 6. New Site Improvements

### a. Fences

Typically, fences were only seen enclosing side and rear yards or defining property boundaries. When they were used, fences were low and appeared semi-transparent. Wood pickets, thin metal members and low brick walls were typical.



- Fences shall not completely obscure the view of the house from the public right of way.
- Enclosing a front yard shall not be allowed. In the exceptional circumstance that a front yard fence is allowed, it should be no more than three and one half feet (3-1/2') high and have a transparent quality allowing views into the yard.
- Appropriate materials for front yard fences/ walls are wrought iron, tubular steel, stone, or brick. Inappropriate materials include chain link, vinyl/ plastic, split rail, precast concrete panels and concrete block.
- Corner lot fencing should not exceed six feet (6') in height, should be front-facing and should be set back a minimum of three feet (3') from the sidewalk. Fencing along the public side yard of corner lot houses should begin toward the back of the structure so that the side facade is not obscured from view.
- Rear yard fences or walls should be no more than 8' in height and constructed of traditional materials.
- Front Fences shall be setback a minimum 6 ft from the front wall of the house (not including front porch).

### b. Walls, Retaining Walls

- Retaining walls should be built as low as possible and, at most, no higher than the soil being retained.
- A retaining wall should not extend as high as the yard it protects. This wall is appropriate in height and materials.
- Railroad ties, split faced block, and stacking block systems may not be used.

### c. Parking

- The creation of a parking area in the front yard is highly inappropriate and shall not be allowed.
- Parking should be located to the rear. Less preferably, parking may be permitted to the side of the house.
- A parking pad or other defined paved area for parking shall not be placed in the front yard.
- Brick, stone or smooth troweled finish concrete are appropriate. Asphalt, washed gravel finish concrete and stamped concrete are not appropriate.
- The tradition of straight, narrow driveways should be maintained. Driveways should be constructed of traditional materials that contrast with the asphalt paving of the street. Adjacent driveways shall not be combined to create broad expanses of concrete in the front yard. Additions or alterations to existing driveways which would increase or change the existing footprint must conform to these guidelines.



### d. Driveways Additions or Parking Pads

- Driveways and parking pads should be made of materials comparable with surrounding structures, of single car width, and located to the side, extending to the rear of the principle building.
- Paving the front of a lot or increasing a parking pad into a majority of the area in front of a principal structure is deemed inappropriate and not permitted.
- Front yard parking is not appropriate and shall not be allowed.
- Adjacent driveways should not be combined to create broad expanses of concrete in the front yard.
- Additions or alterations to existing driveways which would increase or change the existing footprint must conform to these guidelines.

### e. Other Site Improvements Miscellaneous

- Construction of permanent freestanding signage or lighted signage for the purpose of advertising is inappropriate and should be avoided.
- Freestanding or pole mounted satellite dishes (24" or larger) should be placed in inconspicuous locations to the public rights-of-view.
- LED flashing signs that change or flicker by creating an illusion of motion are prohibited.
- A sign should not hide architectural details such as windows, cornice details, storefronts or transom windows.
- Any other site improvements should be appropriate to the historic nature of the district, and, if allowed, should be constructed to a scale, and out of materials, compatible with the neighborhood.
- Front walkways shall be constructed from concrete or brick that are traditionally found in the District.



#### f. Religious, Educational or Other Institutional Buildings

- New institutional construction or additions should be compatible with the historic portions of the institution's existing buildings and shall be compatible with the historic character of the neighborhood.
- A new institutional building or addition should be of similar mass and scale to those seen traditionally.
- If a larger building is to be constructed which occupies several lots, the sense of human scale can be expressed by "articulating" the mass of the building into smaller components that, individually, appear similar in scale to historic buildings in the area.
- An institutional building's primary entrance should be oriented toward the street with subordinate entrances located toward parking or interior spaces.
- Where two or more buildings will be located on a site, they should be arranged to define an outdoor space. Clustering buildings to create active open spaces, such as plazas and courtyards, is encouraged. Simply aligning buildings in a row to face a parking lot is discouraged.
- Plain or industrial-type buildings are inappropriate and shall not be permitted.
- A new institutional building should not be more than three stories or 35 feet in height.
- A design should draw upon the institution's historic buildings or, if none, on the designs of other historic institutional buildings in the neighborhood. Traditional building materials should be used for primary wall surfaces similar to that of historic buildings on site. Masonry materials, including brick, stone and rusticated masonry block are preferred.
- An addition to an institutional building should be placed at the rear or set back from the front in order to minimize its visual impact on the existing building. The proportions and character of the original building should remain prominent. Locating an addition at the front of a structure is inappropriate. An addition should be compatible in scale with the primary structure. An addition should be compatible in character with the primary institutional building. Parking areas should be located to the interior of the lot where feasible.



## 7. Guidelines Effective Date

***These guidelines should take effect on the date this District is designated a Historic District by the Memphis City Council. Upon such date, all property owners within the District and all who shall thereafter become property owners within the District shall be presumed to have knowledge of the provisions of these guidelines and shall be subject to the provisions of these guidelines.***

***If any provision of these guidelines is made void or unenforceable by legislation or adjudication, such provision shall be deemed severed. The remaining provisions shall continue in full force and effect.***

***These guidelines may be amended from time to time as future needs require upon:***

- 1) Application by any person owning a legal or beneficial interest in any district property.***
- 2) Mailed written notice to all owners of property in the district.***
- 3) Approval by the Landmarks Commission and any other governmental body required by applicable law in a public hearing.***

***These guidelines do not apply to ordinary repairs and maintenance. Ordinary repairs and maintenance shall be deemed to include, without limitation, work to correct deterioration, decay or damage to a building, object, structure, or site in order to restore the same, as nearly as may be practical, to its condition prior to such deterioration, decay, or damage, using materials accepted within these guidelines. It also includes any work that replaces something in a “same for same” fashion without any alterations.***

Part 4: Additional Photos & References:





Memphis Tech High History:

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

[www.historic-memphis.com/memphis-historic/techhistory/techhistory.html](http://www.historic-memphis.com/memphis-historic/techhistory/techhistory.html)

William R Moore Tech History:

<https://www.mooretech.edu/about/history/>

<http://historic-memphis.com/biographies/w-r-moore/w-r-moore.html>

Van Vleet History:

<http://historic-memphis.com/biographies/van-vleet/van-vleet.html>

Montgomery Mansion History:

<http://www.historic-memphis.com/biographies/montgomery-park/montgomery-park.html>

Sears Roebuck Building History:

<http://www.memphisheritage.org/sears-roebuck-company-catalog-distribution-center-retail-store-crosstown-concourse/>

<https://crosstownconcourse.com/about>

Memphis and Shelby County Unified Code:

<https://www.shelbycountyttn.gov/DocumentCenter/View/13413/ZTA-13-002-Complete-UDC-as-approved?bidId=>

Memphis Landmarks Commission:

<https://www.develop901.com/landuse-developmentservices/MemphisLandmarksCommission>

Certificate of Appropriateness:

<https://shelbycountyttn.gov/DocumentCenter/View/29968/Current-Full-COA-Application?bidId=>

CROSTOWN GROUP LLC  
7500 CAPITAL DR  
MEMPHIS, TN 38141

FOUR HUNDRED BELLEVUE LLC  
100 PEABODY PL STE 1300  
MEMPHIS, TN 38103

JULIOT JACOB & SYDNEY SEPULVEDA  
300 MALVERN ST  
MEMPHIS, TN 38104

LOUIS KIM AND KAI LOUIS  
2582 MOONBEAM RD  
MILLINGTON, TN 38053

MIDTOWN RESTORATION LLC AND RED  
DOOR MEMPHIS LLC  
1268 SLEDGE AVE  
MEMPHIS, TN 38104

IVAN & ANNA JOY TAMAYO  
294 N MONTGOMERY ST  
MEMPHIS, TN 38104

CLARA E & JACOB WALZ  
319 CLAYBROOK ST  
MEMPHIS, TN 38104

ADRIENNE TAYLOR  
325 N CLAYBROOK ST  
MEMPHIS, TN 38104

ALLEN CHARLES  
315 N CLAYBROOK ST  
MEMPHIS, TN 38104

AYERS JEFFREY T  
299 N MONTGOMERY ST  
MEMPHIS, TN 38104

BAKINVESTMENTS LLC  
6942 AUTUMN OAKS DR  
OLIVE BRANCH, MS 38654

BD OF EDUCATION CITY OF MPHS  
1266 POPLAR AVE  
MEMPHIS, TN 38104

BEN BUTLER  
2170 MONROE AVE  
MEMPHIS, TN 38104

BENJAMIN J BUTLER & LAUREL SUCSY  
2170 MONROE AVE  
MEMPHIS, TN 38104

BLANDA PAUL J  
1242 OVERTON PARK AVE  
MEMPHIS, TN 38104

BRAZELL TERRY L & LINDA  
1254 OVERTON PARK AVE  
MEMPHIS, TN 38104

BROWN JULIA B  
309 MALVERN ST  
MEMPHIS, TN 38104

BRUNO DAVID M SR  
285 N CLAYBROOK ST  
MEMPHIS, TN 38104

CALICO KENDRA  
2800S MENDENHALL RD  
MEMPHIS, TN 38115

CAO PHONG  
279 N CLAYBROOK ST  
MEMPHIS, TN 38104

CASEY CANDACE M AND ALVIN CASEY  
5130 DURANT ST  
MEMPHIS, TN 38116

CHARLES & PRISCILLA TIMS  
316 N BELLEVUE BLVD  
MEMPHIS, TN 38105

CHILDRENS BUREAU INC  
868 N MANASSAS ST  
MEMPHIS, TN 38107

CINDY-JARVIS LIMITED L P  
1174 POPLAR AVE  
MEMPHIS, TN 38105

CO OF SHELBY & CITY OF MEMPHIS  
125 N MAIN ST  
MEMPHIS, TN 38103

CORPORATE AIR INC  
468 N BELLEVUE BLVD  
MEMPHIS, TN 38105

COTTONWOOD DEVELOPMENTS LLC  
6160 FAIRLAWN CV  
OLIVE BRANCH, MS 38654

COX ANNA B  
305 MALVERN ST  
MEMPHIS, TN 38104

CROSTOWN GROUP LLC  
7500 CAPITAL DR  
MEMPHIS, TN 38141

DACUS DONNIE W & CAROLYN A  
1983 WIRLEY LN  
CORDOVA, TN 38016

DANIEL JOHN & CARLA AND IRA  
INNOVATIONS  
PO BOX 681742  
FRANKLIN, TN 37068

DAVONDA O ROBERTS  
252 N BELLEVUE BLVD  
MEMPHIS, TN 38105

DEEPER WALK MINISTRIES INC  
316 N BELLEVUE BLVD  
MEMPHIS, TN 38105

DILLMAN CHRISTIE A  
285 MALVERN ST  
MEMPHIS, TN 38104

DJJS INVESTMENTS LLC  
15804 SE 24TH ST  
BELLEVUE, WA 98008

DONALD GRUNDEN  
290 N MONTGOMERY ST  
MEMPHIS, TN 38104

DOOR OF HOPE INC  
PO BOX 40387  
MEMPHIS, TN 38174

DOSHIER EDITH  
417 N BELLEVUE BLVD  
MEMPHIS, TN 38105

DOWNTOWN MEMPHIS MINISTRY INC  
1940 MADISON AVE AVE  
MEMPHIS, TN 38104

DP MEMPHIS PROPERTY I LLC  
1623 S ST NW  
WASHINGTON, DC 20009

ELMI YASIN H & ISTARLADEN F  
MOHAMED  
264 N MONTGOMERY ST  
MEMPHIS, TN 38104

EMMANUEL & JENNIFER M AMIDO  
297 N MONTGOMERY ST  
MEMPHIS, TN 38104

EQUITY TRUST CO CUSTODIAN  
PO BOX 1529  
ELYRIA, OH 44036

ESTATE OF JAMES & LINDA DOYLE  
1276 OVERTON PARK AVE  
MEMPHIS, TN 38104

FENNER BERNICE B  
348 N CLAYBROOK ST  
MEMPHIS, TN 38104

FOUR HUNDRED BELLEVUE LLC  
100 PEABODY PL  
MEMPHIS, TN 38103

GEETER EARTHA I  
266 MALVERN ST  
MEMPHIS, TN 38104

GIPSON JAYNE P  
263 N CLAYBROOK  
MEMPHIS, TN 38104

GOFF SAM & SARA  
143 CLARK PL  
MEMPHIS, TN 38104

GOLDATE ALIS AND CHARLES BUEHL JR  
1921 HIDDEN OAKS DR  
GERMANTOWN, TN 38138

GORFEL PRODUCTIONS  
22 N FRONT ST STE 1055  
MEMPHIS, TN 38103

GRACE HOUSE OF MEMPHIS  
329 N BELLEVUE BLVD  
MEMPHIS, TN 38105

GREENE PROPERTIES LLC  
3820 SEDGWICK AVE  
BRONX, NY 10463

HAYNES CHRIS AND MONIKA BIXBY (RS)  
326 MALVERN ST  
MEMPHIS, TN 38104

HINES RAYFIELD  
306 MALVERN ST  
MEMPHIS, TN 38104

HOLMAN ANDRE  
295 MALVERN ST  
MEMPHIS, TN 38104

HUYNH DUY  
274 N MONTGOMERY ST  
MEMPHIS, TN 38104

IMRAN MIRZA  
9614 MISTY BROOK CV  
CORDOVA, TN 38016

JEFFRESS STEVEN  
303 N BELLEVUE BLVD  
MEMPHIS, TN 38105

JERROLD DANIEL  
286 MALVERN ST  
MEMPHIS, TN 38104

JOCELYN HENDERSON  
200 JEFFERSON AVE STE 1500  
MEMPHIS, TN 38103

JONES STEPHEN R & PEGGY J  
299 MALVERN ST  
MEMPHIS, TN 38104

JORDAN MATTHEW & JULLIES D  
237 N BELLEVUE BLVD  
MEMPHIS, TN 38105

KAAZ SPENCER  
426 N MONTGOMERY ST  
MEMPHIS, TN 38104

KEOKANLAYA NAOVALATH  
2496 WOOD HILL DR  
HORN LAKE, MS 38637

KING FRENCHIE  
410 MALVERN ST  
MEMPHIS, TN 38104

LE HEN Q AND HUY H LE  
352 N CLAYBROOK ST  
MEMPHIS, TN 38104

LE TUYEN NGOC  
265 MALVERN ST  
MEMPHIS, TN 38104

LOTT RICKEY D  
238 N BELLEVUE BLVD  
MEMPHIS, TN 38105

LOVE GREGORY J  
320 MALVERN ST  
MEMPHIS, TN 38104

LUIS E GONZALEZ & KARIMNIA MARY J  
1350 CONCOURSE AVE APT 761  
MEMPHIS, TN 38104

MARGARET A BENDER  
309 N MONTGOMERY ST  
MEMPHIS, TN 38104

MARGARET E BOWDEN  
1305 PEACH ST  
MEMPHIS, TN 38104

MARK PRESCOTT  
293 N BELLEVUE BLVD  
MEMPHIS, TN 38105

MARTIN LAWRENCE  
3247 PATRICIA ELLEN DR  
MEMPHIS, TN 38133

MCDIVITT DANNY P  
340 MALVERN ST  
MEMPHIS, TN 38104

MCELROY WILLIAM N JR  
325 MALVERN ST  
MEMPHIS, TN 38104

MCKINNIE ROBERT  
2410 NDJAMENA PL  
DULLES, VA 20189

MCLEOD LISA & MARK  
2440 KENWOOD LN  
BARTLETT, TN 38134

MEEK LARRY R  
3106 DIXON RD  
DURHAM, NC 27707

MEMPHIS APARTMENT INVESTMENT  
LLC  
6745 LENOX CENTER  
MEMPHIS, TN 38115

MEMPHIS CENER CITY REVENUE  
FINANCE CORP  
114 N MAIN ST  
MEMPHIS, TN 38103

MEMPHIS RECOVERY CENTERS INC  
1234 POPLAR AVE  
MEMPHIS, TN 38104

MGR OVERTON LLC  
100 PEABODY PL  
MEMPHIS, TN 38103

MOORE WILLIAM R SCHOOL OF TECH  
1200 POPLAR AVE  
MEMPHIS, TN 38104

MULLINS B A JR AND DOUGLAS C  
MULLINS (RS)  
328 N BELLEVUE BLVD  
MEMPHIS, TN 38105

NAPIER WILLIAM & PAT  
2780 KEASLER CIR  
GERMANTOWN, TN 38139

NATE & ANNA JOY ROGERS  
1673 GALLOWAY AVE  
MEMPHIS, TN 38112

PAPPAS KEVIN T  
309 N CLAYBROOK ST  
MEMPHIS, TN 38104

PARIS MANAGEMENT LLC  
PO BOX 3385  
MEMPHIS, TN 38173



PATTON VICKI  
305 N CLAYBROOK ST  
MEMPHIS, TN 38104

PHILLIPS WILLIAM R JR  
2809 KIRBY PK WY  
MEMPHIS, TN 38119

PRAY OUTREACH MINISTRIES  
7089 LENEAGLES DR  
MEMPHIS, TN 38141

REESE WILLIAM A & LINDA L  
310 N MONTGOMERY ST  
MEMPHIS, TN 38104

RIVER CITY RENTAL HOUSING LLC  
119 S MAIN ST  
MEMPHIS, TN 38103

ROBIN ROUND LLC  
100 PEABODY PL  
MEMPHIS, TN 38103

ROBINSON MARK  
661 WALKER AVE  
MEMPHIS, TN 38126

ROBINSON MICHAEL D  
935 BLANCHARD RD  
MEMPHIS, TN 38116

SADLER JAMES E AND KIMBERLY C  
HODGSON  
61 VIKING DR  
CORDOVA, TN 38018

SAENZ AARON  
269 MALVERN ST  
MEMPHIS, TN 38104

SALAT SHENNA  
24 W GEORGIA AVE  
MEMPHIS, TN 38103

SAMUEL D GOFF  
341 MALVERN ST  
MEMPHIS, TN 38104

SELLERS ESTRELITA L  
251 N BELLEVUE BLVD  
MEMPHIS, TN 38105

SERENITY RECOVERY CENTERS INC  
1094 POPLAR AVE  
MEMPHIS, TN 38105

SHELBY COUNTY TAX SALE #83.1 EXH  
#1121  
160 N MAIN ST  
MEMPHIS, TN 38103

SHERRY E ROSS  
2011 HUNTER AVE  
MEMPHIS, TN 38108

SHILLINGS ANNAZETTE R REVOCABLE  
TRUST  
1244 FRIEDMAN ST  
PERRIS, CA 92571

SMITH JANA G  
300 N MONTGOMERY ST  
MEMPHIS, TN 38104

STARKS GLORIA J & ROBERT L  
226 N BELLEVUE BLVD  
MEMPHIS, TN 38105

STEPHENS MICHAEL J  
296 MALVERN ST  
MEMPHIS, TN 38104

STEWART BEVERLY A  
310 MALVERN ST  
MEMPHIS, TN 38104

STUTZMAN INVESTMENTS LLC  
803 GRAYLING BAY  
COSTA MESA, CA 92626

TANGANYIKA ENTERPRISES LLC  
466 GARLAND AVE  
MEMPHIS, TN 38104

TAYLOR ROBERT M  
343 N MONTGOMERY ST  
MEMPHIS, TN 38104

TENNESSEE STATE OF  
170 N MAIN ST  
MEMPHIS, TN 38103

TENNISON BROTHERS INC  
450 N BELLEVUE BLVD  
MEMPHIS, TN 38105

THOMAS & MAYTE MOORE  
295 N CLAYBROOK ST  
MEMPHIS, TN 38104

THOMPSON EVERETT M & LAURA H  
239 N MONTGOMERY ST  
MEMPHIS, TN 38104

TIMOTHY KEY  
243 N MONTGOMERY ST  
MEMPHIS, TN 38104

TIPTON DESSIE  
7270 RYAN HILL RD  
MILLINGTON, TN 38053

TONGA PROPERTIES  
296 N AVALON ST  
MEMPHIS, TN 38112

TOWNSEND MELANIE J  
3450 SANDSTONE CIR  
COLUMBUS, IN 47201

TRAN DAO THI  
425 MALVERN ST  
MEMPHIS, TN 38104

VERNA JAMES  
13045 COLDWATER DR  
OLIVE BRANCH, MS 38654

WADLINGTON NEIL C  
314 N MONTGOMERY ST  
MEMPHIS, TN 38104

WAREHOUSE GARAGE LLC  
7684 APPLE VALLEY RD  
GERMANTOWN, TN 38138

WE-R-HOUSING LLC  
100 PEABODY PL  
MEMPHIS, TN 38103

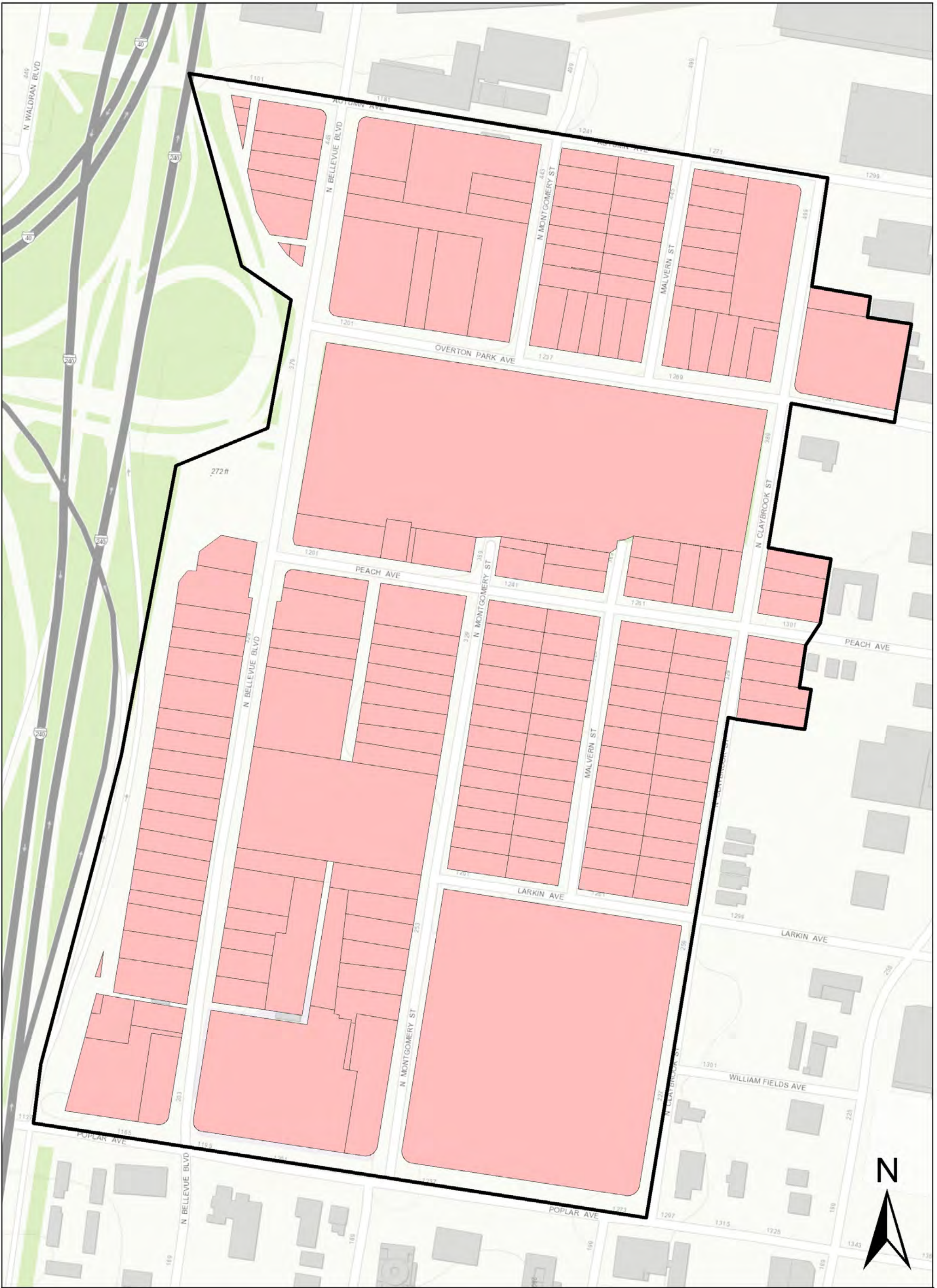
WEST CECELIA  
419 MALVERN ST  
MEMPHIS, TN 38104

WEST REBECCA  
419 MALVERN ST  
MEMPHIS, TN 38104

WHITE DEBRA  
251 N MONTGOMERY  
MEMPHIS, TN 38104



WILLIAMS OREE B AND APRIL W  
MCLAUGHLIN  
1379 TUTWILER ST  
MEMPHIS, TN 38107

WOFFORD PETER W  
3333 POPLAR AVE  
MEMPHIS, TN 38111



### Proposed Crosstown Historic District

#### Legend

-  Historic District Proposed Boundary
-  Parcels inside Proposed Historic District

**PARCELS TO BE REMOVED FROM PROPOSED CROSSTOWN HISTORIC DISTRICT**

Owner Name: WAREHOUSE GARAGE LLC  
Property Address: 5050 N CLAYBROOK ST  
Parcel ID: 020018 00018C

Owner Name: MOORE WM R COLLEGE OF TECHNOLOGY  
Property Address: 475 N BELLEVUE BLVD  
Parcel ID: 020097 00005

Owner Name: TENNISON BROS INC  
Property Address: 0 N BELLEVUE BLVD  
Parcel ID: 020096 00002Z

Owner Name: TENNISON BROS INC  
Property Address: 0 N BELLEVUE BLVD  
Parcel ID: 020096 00001Z

Owner Name: TENNISON BROTHERS INC  
Property Address: 0 N BELLEVUE BLVD  
Parcel ID: 020096 00001

Owner Name: CORPORATE AIR INC  
Property Address: 468 N BELLEVUE BLVD  
Parcel ID: 020002 00012C

Owner Name: TENNISON BROS INC  
Property Address: 0 N BELLEVUE BLVD  
Parcel ID: 020002 00001Z

Owner Name: TENNISON BROTHERS  
Property Address: 450 N BELLEVUE ST  
Parcel ID: 020002 00013

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORPORATION  
Property Address: AUTUMN AVE  
Parcel ID: 020017 00003

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: 495 N WATKINS  
Parcel ID: 020017 00008

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: 0 AUTUMN AVE  
Parcel ID: 020017 00004

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: 0 AUTUMN AVE  
Parcel ID: 020017 00005

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: AUTUMN AVE  
Parcel ID: 020017 00007

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: AUTUMN AVE  
Parcel ID: 020017 00006

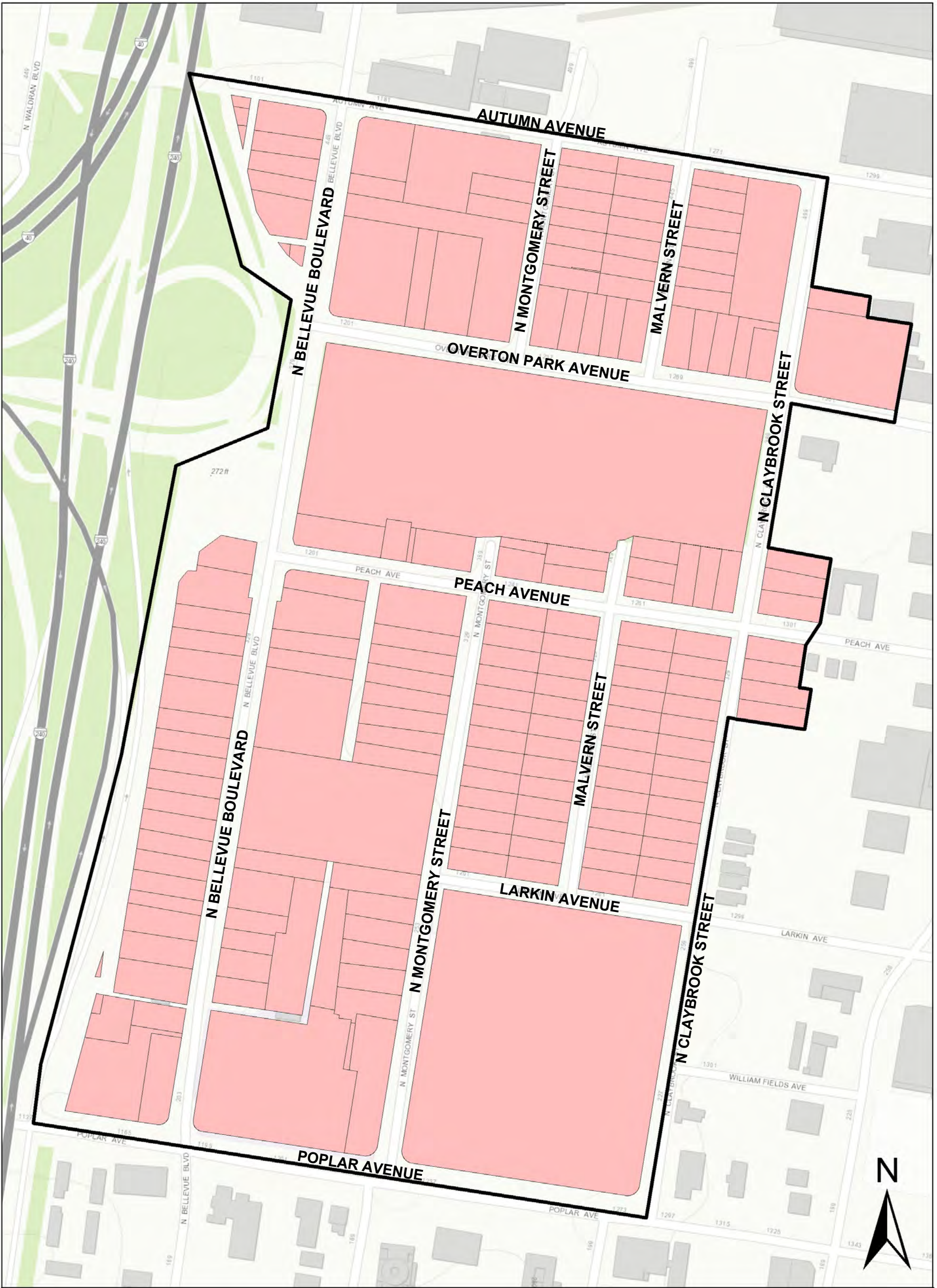
Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORPORATION  
Property Address: 500 CLAYBROOK ST  
Parcel ID: 020016 00017

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: TOWER AVE  
Parcel ID: 020016 00018

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: CLAYBROOK ST  
Parcel ID: 020017 00009



Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: TOWER AVE  
Parcel ID: 020017 00010

Owner Name: MEMPHIS CENTER CITY REVENUE FINANCE CORP  
Property Address: N WATKINS ST  
Parcel ID: 020017 00012



## Proposed Crosstown Historic District

### Legend

-  Historic District Proposed Boundary
-  Parcels inside Proposed Historic District

**NOTICE OF PUBLIC HEARING ON PROPOSED AMENDMENT  
TO THE ZONING MAP OF THE CITY OF MEMPHIS**

Notice is hereby given that a Public Hearing will be held by the City Council of the City of Memphis in the Council Chambers, First Floor, City Hall, 125 North Main Street, Memphis, Tennessee 38103 on Tuesday, May 18, 2021 at 3:30 P.M., in the matter of amending the Zoning Map of the City of Memphis, being Chapter 28, Article IV of the Code of Ordinances, City of Memphis, Tennessee, as amended, as follows:

- CASE NUMBER:** CTHD
- LOCATION:** Area roughly bound by Autumn Avenue to the North, North Claybrook Street to the East, Poplar Avenue to the South, and Interstate 240 to the West
- COUNCIL DISTRICTS:** District 7 and Super District 8 – Positions 1, 2, and 3
- OWNER/APPLICANT:** Jennifer Amido and Crosstown Memphis Community Development Corporation
- REPRESENTATIVE:** Jennifer Amido and Anna Joy Tamayo
- EXISTING ZONING:** Residential Single-Family – 15 (R-15), Residential Urban – 3 (RU-3), Commercial Mixed Use – 1 (CMU-1), and Commercial Mixed Use – 3 (CMU-3)
- REQUEST:** Historic (H) Overlay District
- AREA:** +/-81.30 acres

**RECOMMENDATIONS:**

Memphis and Shelby County Division of Planning and Development: *Approval*

Memphis Landmarks Commission: *Approval*

Memphis and Shelby County Land Use Control Board: *Approval*

**NOW, THEREFORE,** you will take notice that on Tuesday, May 18, 2021, at 3:30 P.M. the City Council of the City of Memphis, Tennessee will be in session at the City Hall, Council Chambers, 125 North Main Street, Memphis, Tennessee 38103 to hear remonstrance's or protests against the making of such changes; such remonstrance's or protests must be by personal appearances, or by attorneys, or by petition, and then and there you will be present if you wish to remonstrate or protest against the same.

This case will also be heard at the Planning and Zoning Committee on the same day with the specific time to be determined prior to the meeting date and posted on the City of Memphis' website.

**THIS THE \_\_\_\_\_, \_\_\_\_\_**

**FRANK COLVETT, JR.**  
**CHAIRMAN OF COUNCIL**

**ATTEST:**


**DYWUANA MORRIS**  
**CITY COMPTROLLER**

**TO BE PUBLISHED:**




**Legend**

- polylineLayer
- Override 1
- polygonLayer
- Override 1
- polylineLayer
- Override 1
- Roads
- Parcels

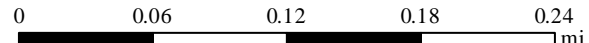


Map prepared through Shelby County Government's online mapping Portal on 11/6/2020

N



0 0.06 0.12 0.18 0.24 mi





CROSTOWN GROUP LLC 7500 CAPITAL DR MEMPHIS, TN 38141	FOUR HUNDRED BELLEVUE LLC 100 PEABODY PL STE 1300 MEMPHIS, TN 38103	JULIOT JACOB AND SYDNEY SEPULVEDA 300 MALVERN MEMPHIS, TN 38104
LOUIS KIM AND KAI LOUIS 2582 MOONBEAM MILLINGTON, TN 38053	MIDTOWN RESTORATION LLC AND RED DOOR MEMPHIS LLC 1268 SLEDGE AVE MEMPHIS, TN 38104	TAMAYO IVAN AND ANNA J TAMAYO 294 N MONTGOMERY MEMPHIS, TN 38104
CLARA E & JACOB WALZ 319 CLAYBROOK MEMPHIS, TN 38104	ADRIENNE TAYLOR 325 N CLAYBROOK MEMPHIS, TN 38104	ALLEN CHARLES 315 N CLAYBROOK MEMPHIS, TN 38104
AYERS JEFFREY T 299 N MONTGOMERY MEMPHIS, TN 38104	BAKINVESTMENTS LLC 6942 AUTUMN OAKS DR OLIVE BRANCH, MS 38654	BD OF EDUCATION CITY OF MPHS 1266 POPLAR MEMPHIS, TN 38104
BEN BUTLER 2170 MONROE MEMPHIS, TN 38104	BENJAMIN J BUTLER & LAUREL SUCSY 2170 MONROE MEMPHIS, TN 38104	BLANDA PAUL J 1242 OVERTON PARK MEMPHIS, TN 38104
BRAZELL TERRY L & LINDA 1254 OVERTON PARK MEMPHIS, TN 38104	BROWN JULIA B 309 MALVERN MEMPHIS, TN 38104	BRUNO DAVID M SR 285 N CLAYBROOK MEMPHIS, TN 38104
CALICO KENDRA 2800 S MENDENHALL MEMPHIS, TN 38115	CAO PHONG 279 N CLAYBROOK MEMPHIS, TN 38104	CASEY CANDACE M AND ALVIN CASEY & 5130 DURANT MEMPHIS, TN 38116
CHARLES & PRISCILLA TIMS 116 N BELLEVUE MEMPHIS, TN 38105	CHILDRENS BUREAU INC 868 N MANASSAS MEMPHIS, TN 38107	CINDY-JARVIS LIMITED L P 1174 POPLAR MEMPHIS, TN 38105
CITY OF SHELBY & CITY OF MEMPHIS 25 N MAIN MEMPHIS, TN 38103	CORPORATE AIR INC 468 N BELLEVUE MEMPHIS, TN 38105	COTTONWOOD DEVELOPMENTS LLC 6160 FAIRLAWN OLIVE BRANCH, MS 38654
COX ANNA B 305 MALVERN MEMPHIS, TN 38104	CROSTOWN GROUP LLC 7500 CAPITAL DR MEMPHIS, TN 38141	DACUS DONNIE W & CAROLYN A 1983 WIRLEY CORDOVA, TN 38016

DANIEL JOHN & CARLA AND IRA INNOVATIONS 0 PO BOX 681742 FRANKLIN, TN 37068	DAVONDA O ROBERTS 252 N BELLEVUE MEMPHIS, TN 38105	DEEPER WALK MINISTRIES INC 316 N BELLEVUE MEMPHIS, TN 38105
DILLMAN CHRISTIE A 285 MALVERN MEMPHIS, TN 38104	DJJS INVESTMENTS LLC 15804 SE 24TH ST BELLEVUE, WA 98008	DONALD GRUNDEN 290 N MONTGOMERY MEMPHIS, TN 38104
DOOR OF HOPE INC 0 PO BOX 40387 MEMPHIS, TN 38174	DOSHIER EDITH 417 N BELLEVUE MEMPHIS, TN 38105	DOWNTOWN MEMPHIS MINISTRY INC 1940 MADISON AVE MEMPHIS, TN 38104
DOYLE JAMES G AND LINDA B DOYLE (ESTATE 1276 OVERTON PARK MEMPHIS, TN 38104	DP MEMPHIS PROPERTY I LLC 1623 1623 S ST NW WASHINGTON, DC 20009	ELMI YASIN H & ISTARLADEN F MOHAMED 264 N MONTGOMERY MEMPHIS, TN 38104
EQUITY TRUST CO CUSTODIAN PO BOX 1529 ELYRIA, OH 44036	FENNER BERNICE B 348 N CLAYBROOK MEMPHIS, TN 38104	FOUR HUNDRED BELLEVUE LLC 100 PEABODY MEMPHIS, TN 38103
GEETER EARTHA I 266 MALVERN MEMPHIS, TN 38104	GIPSON JAYNE P 263 N CLAYBROOK MEMPHIS, TN 38104	GOFF SAM & SARA 143 CLARK MEMPHIS, TN 38104
GOLDATE ALIS AND CHARLES BUEHL JR 1921 HIDDEN OAKS GERMANTOWN, TN 38138	GORFEL PRODUCTIONS 22 N FRONT ST STE 1055 MEMPHIS, TN 38103	GRACE HOUSE OF MEMPHIS 329 N BELLEVUE MEMPHIS, TN 38105
GREENE PROPERTIES LLC 3820 SEDGWICK BRONX, NY 10463	HAYNES CHRIS AND MONIKA BIXBY (RS) 326 MALVERN MEMPHIS, TN 38104	HINES RAYFIELD 306 MALVERN MEMPHIS, TN 38104
HOLMAN ANDRE 295 MALVERN MEMPHIS, TN 38104	HUYNH DUJ 274 N MONTGOMERY MEMPHIS, TN 38104	IMRAN MIRZA 9614 MISTY BROOK CORDOVA, TN 38016
EFFRESS STEVEN 103 N BELLEVUE MEMPHIS, TN 38105	JENNIFER M & EMMANUEL A AMIDO 297 N MONTGOMERY STREET MEMPHIS, TN 38104	JERROLD DANIEL 286 MALVERN MEMPHIS, TN 38104

JOCELYN HENDERSON 200 JEFFERSON AVE STE 1500 MEMPHIS, TN 38103	JONES STEPHEN R & PEGGY J 299 MALVERN MEMPHIS, TN 38104	JORDAN MATTHEW & JULLIES D 237 N BELLEVUE MEMPHIS, TN 38105
KA AZ SPENCER 426 N MONTGOMERY MEMPHIS, TN 38104	KEOKANLAYA NAOVALATH 2496 WOOD HILL HORN LAKE, MS 38637	KING FRENCHIE 410 MALVERN MEMPHIS, TN 38104
LE HEN Q AND HUY H LE 352 N CLAYBROOK MEMPHIS, TN 38104	LE TUYEN NGOC 265 MALVERN MEMPHIS, TN 38104	LOTT RICKEY D 238 N BELLEVUE MEMPHIS, TN 38105
LOVE GREGORY J 320 MALVERN MEMPHIS, TN 38104	LUIS E GONZALEZ & KARIMNIA MARY J 1350 CONCOURSE AVE APT 761 MEMPHIS, TN 38104	MARGARET A BENDER 309 N MONTGOMERY MEMPHIS, TN 38104
MARGARET E BOWDEN 1305 PEACH MEMPHIS, TN 38104	MARK PRESCOTT 293 N BELLEVUE MEMPHIS, TN 38105	MARTIN LAWRENCE 3247 PATRICIA ELLEN MEMPHIS, TN 38133
MCDIVITT DANNY P 340 MALVERN MEMPHIS, TN 38104	MCELROY WILLIAM N JR 325 MALVERN MEMPHIS, TN 38104	MCKINNIE ROBERT 2410 NDJAMENA DULLES, VA 20189
MCLEOD LISA & MARK 2440 KENWOOD BARTLETT, TN 38134	MEEK LARRY R 3106 DIXON DURHAM, NC 27707	MEMPHIS APARTMENT INVESTMENTS LLC 6745 LENOX CENTER MEMPHIS, TN 38115
MEMPHIS CENTER CITY REVENUE FINANCE CORP .14 N MAIN MEMPHIS, TN 38103	MEMPHIS RECOVERY CENTERS INC 219 N MONTGOMERY MEMPHIS, TN 38104	MGR OVERTON LLC 100 PEABODY MEMPHIS, TN 38103
MOORE WILLIAM R SCHOOL OF TECH 200 POPLAR MEMPHIS, TN 38104	MULLINS B A JR AND DOUGLAS C MULLINS (RS 328 N BELLEVUE MEMPHIS, TN 38105	NAPIER WILLIAM & PAT 2780 KEASLER GERMANTOWN, TN 38139
MATE & ANNA JOY ROGERS 573 GALLOWAY MEMPHIS, TN 38112	PAPPAS KEVIN T 309 N CLAYBROOK MEMPHIS, TN 38104	PARIS MANAGEMENT LLC PO BOX 3385 MEMPHIS, TN 38173

PATTON VICKI 305 N CLAYBROOK MEMPHIS, TN 38104	PHILLIPS WILLIAM R JR 2809 KIRBY PKWY MEMPHIS, TN 38119	PRAY OUTREACH MINISTRIES 7089 GLENEAGLES MEMPHIS, TN 38141
REESE WILLIAM A & LINDA L 310 N MONTGOMERY MEMPHIS, TN 38104	RIVER CITY RENTAL HOUSING LLC 119 S MAIN MEMPHIS, TN 38103	WOFFORD PETER W 3333 POPLAR MEMPHIS, TN 38111
ROBINSON MARK 661 WALKER AVE MEMPHIS, TN 38126	ROBINSON MICHAEL D 935 BLANCHARD RD MEMPHIS, TN 38116	ROUND ROBIN LLC 100 PEABODY MEMPHIS, TN 38103
SADLER JAMES E AND KIMBERLY C HODGSON 61 VIKING CORDOVA, TN 38018	SAENZ AARON 269 MALVERN MEMPHIS, TN 38104	SALAT SHENNA 24 W GEORGIA MEMPHIS, TN 38103
SAMUEL D GOFF 341 MALVERN MEMPHIS, TN 38104	SELLERS ESTRELITA L 251 N BELLEVUE MEMPHIS, TN 38105	SERENITY RECOVERY CENTERS INC 1094 POPLAR MEMPHIS, TN 38105
SHELBY COUNTY TAX SALE PO BOX 2751 MEMPHIS, TN 38101	SHELBY COUNTY TAX SALE 0501 EXH #1241 PO BOX 2751 MEMPHIS, TN 38101	SHERRY E ROSS 2011 HUNTER AVE MEMPHIS, TN 38108
SHILLINGS ANNAZETTE R REVOCABLE TRUST 1244 FRIEDMAN ST PERRIS, CA 92571	SMITH JANA G 300 N MONTGOMERY MEMPHIS, TN 38104	STARKS GLORIA J & ROBERT L 226 N BELLEVUE MEMPHIS, TN 38105
STEPHENS MICHAEL J 96 MALVERN MEMPHIS, TN 38104	STEWART BEVERLY A 310 MALVERN MEMPHIS, TN 38104	STUTZMAN INVESTMENTS LLC 803 GRAYLING BAY COSTA MESA, CA 92626
ANGANYIKA ENTERPRISES LLC 66 GARLAND MEMPHIS, TN 38104	TAYLOR ROBERT M 343 N MONTGOMERY MEMPHIS, TN 38104	TENNESSEE STATE OF 170 N MAIN MEMPHIS, TN 38103
ENNISON BROS INC 50 N BELLEVUE MEMPHIS, TN 38105	THOMAS & MAYTE MOORE 295 N CLAYBROOK MEMPHIS, TN 38104	THOMPSON EVERETT M & LAURA H 239 N MONTGOMERY MEMPHIS, TN 38104

TIMOTHY KEY  
243 N MONTGOMERY  
MEMPHIS, TN 38104

TIPTON DESSIE  
7270 RYAN HILL  
MILLINGTON, TN 38053

TONGA PROPERTIES  
296 N AVALON  
MEMPHIS, TN 38112

TOWNSEND MELANIE J  
3450 SANDSTONE  
COLUMBUS, IN 47201

TRAN DAO THI  
425 MALVERN  
MEMPHIS, TN 38104

VERNA JAMES  
13045 COLDWATER  
OLIVE BRANCH, MS 38654

WADLINGTON NEIL C  
314 N MONTGOMERY  
MEMPHIS, TN 38104

WAREHOUSE GARAGE LLC  
7684 APPLE VALLEY  
GERMANTOWN, TN 38138

WE-R-HOUSING LLC  
100 PEABODY  
MEMPHIS, TN 38103

WEST CECELIA  
419 MALVERN  
MEMPHIS, TN 38104

WEST REBECCA  
419 MALVERN  
MEMPHIS, TN 38104

WHITE DEBRA  
251 N MONTGOMERY  
MEMPHIS, TN 38104

WILLIAMS OREE B AND APRIL W  
MCLAUGHLIN  
1379 TUTWILER  
MEMPHIS, TN 38107

SERENITY RECOVERY CENTERS INC  
1094 POPLAR AVE  
MEMPHIS TN 38105

NGO DAVID  
299 N CLEVELAND ST  
MEMPHIS TN 38104

DUPPER GARRY L  
4018 SILKTREE DR  
GARLAND TX 75043

MEMPHIS CENTER CITY REVENUE FINANCE CORP  
114 N MAIN ST  
MEMPHIS TN 38103

BOWDEN MARGARET  
1305 PEACH  
MEMPHIS TN 38104

SMALL TRAKELA & TREY  
290 N CLAYBROOK ST  
MEMPHIS TN 38104

HAYES TAWANDA L  
270 N CLAYBROOK ST  
MEMPHIS TN 38104

NGO DAVID  
299 N CLEVELAND ST  
MEMPHIS TN 38104

CLEVELAND LARKIN HOMEOWNERS ASSOCIATION  
4701 SUMMER AVE  
MEMPHIS TN 38122

STAFFORD GARRY J  
PO BOX 18955  
MEMPHIS TN 38181

JBJ PROPERTIES LLC  
4701 SUMMER AVE  
MEMPHIS TN 38122

LAM OWNER LLC  
205 HONEYSUCKLE LN  
SUMMERVILLE SC 29485

DUPPER GARRY  
278 N CLAYBROOK ST  
MEMPHIS TN 38104

YOUNG LIFE  
658 COLONIAL RD  
MEMPHIS TN 38117

LAM OWNER LLC  
205 HONEYSUCKLE LN  
SUMMERVILLE SC 29485

GAJJAR NEIL  
294 N CLAYBROOK ST  
MEMPHIS TN 38104

DISTRICT APARTMENTS LLC  
8645 RIVERCHASE DR  
GERMANTOWN TN 38139

MUNEER QURATULANNE  
9359 CENTRAL AVE #D1  
MONTCLAIR CA 91763

CUPPLES TAYLOR  
298 N CLAYBROOK ST  
MEMPHIS TN 38104

SMOOTHIE KING MEMPHIS LLC  
1995 UNION AVE  
MEMPHIS TN 38104

NDTCO AS CUSTODIAN FBO SUZANNE CADLEY IR  
1070 W CENTURY DR  
LOUISVILLE CO 80027

MIDTOWN 10 TURNLEY LLC  
4701 SUMMER AVE  
MEMPHIS TN 38122

TONGA PROPERTIES LLC  
296 N AVALON ST  
MEMPHIS TN 38112

KASPA PROPERTIES LLC  
4701 SUMMER AVE  
MEMPHIS TN 38122

WATKINS ANITA  
266 N CLAYBROOK ST  
MEMPHIS TN 38104

NGO DAVID  
299 N CLEVELAND ST  
MEMPHIS TN 38104

EASTERN STAR MISSN BAPT CH INC  
1334 EXCHANGE AVE  
MEMPHIS TN 38104

MEMPHIS CENTER CITY REVENUE FINANCE CORP  
114 N MAIN ST  
MEMPHIS TN 38103

BOWDEN PHILLIP R  
1417 MONROE AVE  
MEMPHIS TN 38104

TORRES CHRISTINA L & ALEXANDER H BARTON  
1116 POPLAR AVE #1  
MEMPHIS TN 38105

MEMPHIS CENTER CITY REVENUE FINANCE  
114 N MAIN ST  
MEMPHIS TN 38103

MISSISSIPPI BOULEVARD CHRISTIAN CHURCH  
PO BOX 3005  
MEMPHIS TN 38173

TRONE CHRISTOPHER G AND JOSHUA A SMITH  
350 3RD ST  
HANOVER PA 17331

TENNISON BROTHERS  
450 N BELLEVUE BLVD  
MEMPHIS TN 38105

TENNISON BROS INC  
PO BOX 40126  
MEMPHIS TN 38174

TENNISON BROTHERS INC  
450 N BELLEVUE BLVD  
MEMPHIS TN 38105

TENNESSEE STATE OF  
5334 BOSWELL  
MEMPHIS TN 38120

TENNISON BROS INC  
PO BOX 40126  
MEMPHIS TN 38174

TENNESSEE STATE OF  
5334 BOSWELL  
MEMPHIS TN 38120

TENNESSEE STATE OF  
3540 SUMMER AVE #310  
MEMPHIS TN 38122

BRYTON TOWER HOMEOWNERS ASSOCIATION INC  
1271 POPLAR AVE #104  
MEMPHIS TN 38104

UNITED STATES POSTAL SERVICE  
GENERAL DELIVERY  
MEMPHIS TN 38101

MEMPHIS TENN CONGREGATION OF JEHOVAHS  
1378 OVERTON PARK AVE  
MEMPHIS TN 38104

BRYTON TOWER HOMEOWNERS ASSOCIATION INC  
1271 POPLAR AVE #104  
MEMPHIS TN 38104

STATE OF TENNESSEE  
170 N MAIN ST  
MEMPHIS TN 38103

O'S REALTY INC  
4561 MILLBRANCH RD #2  
MEMPHIS TN 38116

BRYTON TOWER HOMEOWNERS  
1271 POPLAR AVE  
MEMPHIS TN 38104

TENNESSEE STATE OF  
170 N MAIN ST  
MEMPHIS TN 38103

BROAD ST LLC  
2595 BROAD AVE  
MEMPHIS TN 38112

RESIDENCES AT THE GREENSTONE CONDO ASSOC  
350 FIFTH AVE #3304  
NEW YORK NY 10118

WAREHOUSE GARAGE LLC  
7684 APPLE VALLEY RD  
GERMANTOWN TN 38138

CASH AMERICA CENTRAL INC  
1600 W 7TH ST  
FORT WORTH TX 76102

WAYMAN DALTON T & MEREDITH B  
1116 POPLAR AVE #5  
MEMPHIS TN 38105

SKEFOS JAMES J  
2884 WALNUT GROVE RD  
MEMPHIS TN 38111

MEMPHIS CENTER FOR REPRODUCTIVE HEALTH  
1726 POPLAR AVE  
MEMPHIS TN 38104

CORZINE MICHELLE  
1116 POPLAR AVE #4  
MEMPHIS TN 38105

NICHOLS ARTHUR S AND DAVID ELLIS AND  
4844 MARCEL AVE  
MEMPHIS TN 38122

TENN STATE OF  
170 N MAIN ST  
MEMPHIS TN 38103

DENTAL CONNECTION-POPLAR LLC  
1195 POPLAR AVE  
MEMPHIS TN 38105

MARTIN PASCUALA  
3398 SPINNERS CV  
BARTLETT TN 38134

MID-TOWN CONGREGATION OF JEHOVAHS  
4844 MARCEL AVE  
MEMPHIS TN 38122

BOWDEN PHILLIP R  
1417 MONROE AVE  
MEMPHIS TN 38104

HOLDER L MARK  
6608 PLEASANT PL  
LITTLE ROCK AR 72205

MEMPHIS TN ASSEMBLY HALL OF JEHOVAHS  
400 CLEVELAND ST  
MEMPHIS TN 38104

BONNER O ALEX JR  
1271 POPLAR AVE #211  
MEMPHIS TN 38104

REED MICHAEL R  
1271 POPLAR AVE #201  
MEMPHIS TN 38104

PEACH LLC  
PO BOX 770081  
MEMPHIS TN 38177

FREY ERIC AND JESSICA SHEA  
673 N AUBURNDALE ST  
MEMPHIS TN 38107

WEESNER KAREN K  
4140 HWY 7 N  
HOLLY SPRINGS MS 38635

BROAD ST LLC  
2595 BROAD AVE  
MEMPHIS TN 38112

HARRIS SHARON  
PO BOX 192  
MEMPHIS TN 38101

FRIENDS PROPERTIES LLC  
1121 POPLAR VIEW LN N #1  
COLLIERVILLE TN 38017

BROAD ST LLC  
2595 BROAD AVE  
MEMPHIS TN 38112

HUGHES JOHN  
3064 ULTRAGREEN LN  
LAKELAND TN 38002

ZINK JANET A  
200 N WALDRAN BLVD #18  
MEMPHIS TN 38105

WASHINGTON ETHEL M  
2740 WOODLAND HILLS CV  
MEMPHIS TN 38127

MARTIN PASCUALA  
3398 SPINNERS CV  
MEMPHIS TN 38134

HOLLAND MELISSA K  
200 N WALDRAN BLVD #14  
MEMPHIS TN 38105

YORD INVESTMENTS LLC  
706 NE 191ST ST  
MIAMI FL 33179

DAVIS TERESA C  
1515 NUUANU AVE #85  
HONOLULU HI 96817

BLACKSTAR URBAN FUND II LLC  
350 FIFTH AVE #59TH FLOOR  
NEW YORK NY 10118

SERENITY RECOVERY CENTERS INC  
301 N BELLEVUE BLVD  
MEMPHIS TN 38105

BREWER R Q & DOLLY  
2555 POPLAR AVE  
MEMPHIS TN 38112

CRAIG JOHNATHAN  
1118 POPLAR AVE #9  
MEMPHIS TN 38105

TONGA PROPERTIES LLC  
296 N AVALON ST  
MEMPHIS TN 38112

MAXWELL JEDDIE  
1271 POPLAR AVE #205  
MEMPHIS TN 38104

THOMSON RICHARD J & JANNA K  
1118 POPLAR AVE #8  
MEMPHIS TN 38105